

**38 UNDERCLIFF ROAD  
FRESHWATER NSW 2030**

## PROJECT

Proposed demolition of existing single dwelling and construction of new Class 1 dual-occupancy [attached] dwelling with garaging, pool and associated landscape works.

DRAWING LIST					
	NUMBER	TITLE	REV.	PAPER	SCALE
DEVELOPMENT APPLICATION					
	DA0000	COVERPAGE	DA01	A3	NTS
	DA0001	BASIX COMMITMENTS	DA01	A3	NTS
ANALYSIS & SITE PLANS					
	DA1001	SITE ANALYSIS PLAN	DA01	A3	1:200
	DA1002	SITE, WASTE MANAGEMENT & ROOF PLAN	DA01	A3	1:200
	DA1003	DEMOLITION PLAN	DA01	A3	1:200
	DA1004	DRAFT STRATA SUBDIVISION PLAN	DA01	A3	NTS
GENERAL ARRANGEMENT					
	DA2000	GARAGE PLAN	DA01	A3	1:100
	DA2001	GROUND FLOOR PLAN	DA01	A3	1:100
	DA2002	LEVEL 1 FLOOR PLAN	DA01	A3	1:100
	DA2003	LEVEL 2 FLOOR PLAN	DA01	A3	1:100
	DA2004	ROOF PLAN	DA01	A3	1:100
ELEVATIONS					
	DA3000	NORTH ELEVATION	DA01	A3	1:100
	DA3001	SOUTH ELEVATION	DA01	A3	1:100
	DA3002	WEST ELEVATION	DA01	A3	1:100
	DA3003	EAST ELEVATION	DA01	A3	1:100
SECTIONS - SHORT					
	DA4000	CROSS SECTION 1	DA01	A3	1:100
	DA4001	CROSS SECTION 2	DA01	A3	1:100
	DA4002	CROSS SECTION 3	DA01	A3	1:100
SECTIONS - LONG					
	DA4010	LONG SECTION A	DA01	A3	1:100
	DA4011	LONG SECTION B	DA01	A3	1:100
EXTERNAL FINISHES					
	DA6000	EXTERNAL FINISHES	DA01	A3	NTS
COUNCIL CONTROLS					
	DA9100	LANDSCAPED AREA CALCULATIONS	DA01	A3	1:200
	DA9101	EXCAVATION / OR FILL CALCULATIONS	DA01	A3	1:200
OTHER SUPPORTING DOCUMENTS					
	DA9300	ENVELOPE DIAGRAMS	DA01	A3	NTS
	DA9301	MAXIMUM BUILDING HEIGHT DIAGRAMS	DA01	A3	NTS
	DA9302	ARTISTIC IMPRESSION	DA01	A3	NTS



# DEVELOPMENT APPLICATION

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS' DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	<b>LEGEND</b> -- TO BE DEMOLISHED  AL ALUMINIUM B BASIN BW BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRIVER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN INS INSULATION KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METTE DECOR OIF OVERFLOW PC POWDER COATED PV PHOTO VOLTAGE R RENDER + PAINT RWH RAIN WATER HEAD ST STONE T TIMBER WM WASH MACHINE CONCRETE BLOCK / BRICK MASONRY FRAMING GROUND GRAVEL / LOOSE FILL SOFT LANDSCAPING STONE CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES	<b>BASIX COMMITMENTS</b> (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	<b>ARCHITECT:</b>  35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 <a href="http://www.mhndu.com">www.mhndu.com</a> <small>MHNDU Design Urban Pty Ltd, ABN 94 003 717 682 NSW Registration Number 4907</small>	<b>DRAWING TITLE:</b>  <b>COVERPAGE</b>  <b>PROJECT ADDRESS:</b>  <b>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</b>  <b>LOT 22 DP 5118</b>	<b>PROJECT NUMBER:</b>  <b>24-091</b>  <b>ISSUE DATE:</b>  17/10/2024  <b>SCALE:</b>  NTS @A3	<b>DRAWN BY:</b>  JD	<b>CHECKED:</b>  AEH	<b>DWG NUMBER:</b>  <b>DA0000</b>  <b>REVISION:</b>  <b>DA01</b>



**Multi Dwelling**

Certificate number: 1768409M

This certificate confirms that the proposed development will meet the NSW governments requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meanings given by the document entitled 'BASIX Definitions' dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Friday, 11 October 2024  
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary			
Project name	38 Undercliff Rd, Freshwater NSW		
Street address	38 UNDERCLIFF ROAD, FRESHWATER 2096		
Local Government Area	NORTHERN BEACHES		
Plan type and plan number	Deposited Plan DP5118		
Lot no.	22		
Section no.	2		
No. of residential flat buildings	0		
Residential flat buildings no. of dwellings	0		
Multi-dwelling housing no. of dwellings	2		
No. of single dwelling houses	0		
Project score			
Water	✓ 43		Target 40
Thermal Performance	✓ Pass		Target Pass
Energy	✓ 74		Target 72
Materials	✓ 100		Target n/a

If any changes to this BASIX certificate are required, please contact IGS with following details:  
- Project reference: 38 Undercliff Rd, Freshwater NSW 2096  
- Contact number: 0303 108 801

**Certificate Prepared by**

Name / Company Name: IGS  
ABN (if applicable): 68163019029

**Schedule of BASIX commitments**

1. Commitments for multi-dwelling housing

- (a) Dwellings  
(i) Water  
(ii) Energy  
(iii) Thermal Performance and Materials

2. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Buildings 'Other'  
(i) Materials  
(ii) Common areas and central systems/facilities  
(i) Water  
(ii) Energy

**Schedule of BASIX commitments**

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings

				Show on DA plans	Show on CC/DCD plans & specs	Certifier check
<b>(i) Water</b>						
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.						
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).						
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.						
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.						
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion system of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.						
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.						
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).						
(h) The pool or spa must be located as specified in the table.						
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (including any area which supplies any other alternative water supply system), and is to divert overflow as specified. Each system must be connected as specified.						

Features										Individual spa			
Dwelling no.	All shower-baths	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All dish-washers	All clothes washers	Volume (m³) of hot water storage tank	Pool cover	Pool location	Pool shaded	Volume (m³) of hot water storage tank	Spa cover
All dwellings	3 star (> 1.5 L/min)	4 star	5 star	5 star	-	-	-	17	no	outdoors	no	-	-

Alternative water source										Spa top-up			
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (L)	Laundry connection	Pool top-up	Spa top-up					
All dwellings	Individual water tank (No. 1)	Tank size (m³) 200 litres	To collect run-off from at least: 115 square metres of roof area; 0 square metres of garden and lawn area; and 10 square metres of planter box area.	yes	-	yes	yes	-					

				Show on DA plans	Show on CC/DCD plans & specs	Certifier check
<b>(ii) Energy</b>						
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.						
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.						
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.						
(d) The applicant must install the cooling and heating system specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, under at least 1 living/bedroom area of the dwelling. Two cooling or heating systems is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "ceiling" is specified beside an air conditioning system, then the system must provide for downlight zoning between living areas and bedrooms.						
(e) The commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.						

(ii) Energy				Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of natural lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.						
(g) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.						
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.						
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".						
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.						

Hot water system				Bathroom ventilation system				Kitchen ventilation system				Laundry ventilation system			
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	Each bathroom	Operation control	Each laundry	Operation control	Each bathroom	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous - 6.5 star	individual fan, ducted to façade or roof	interlocked to light with timer off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light with timer off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light with timer off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light with timer off

Cooling				Heating				Natural lighting			
Dwelling no.	Living areas	Bedroom areas	Living areas	Bedroom areas	Living areas	Bedroom areas	No. of bedrooms or toilets	Main kitchen			
All dwellings	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	3-phase air conditioning / EER 3.0 - 3.5	0	-			

**DA LEGEND**

LEGEND  
--- TO BE DEMOLISHED

AL ALUMINIUM	LB LETTER BOX
BASIN	LD LINEAR DRAIN
BW BRICK WORK	MD METAL DECK
CKT COOK TOP	OF OVERFLOW
CT CERAMIC TILE	PVC POWDER COATED
D DRYER	PV PHOTO VOLTAIC
DB DOWN PIPE	RW RAINWATER HEAD
FC FIBRE CEMENT	ST STONE
GAS MAIN	T TIMBER
KS KITCHEN SINK	WM WASH MACHINE

MATERIAL CUT		EXISTING BUILDING	
CONCRETE		CONCRETE	
MASONRY		MASONRY	
FRAMING		FRAMING	
GROUND		GROUND / LOOSE FILL	
INSULATION		INSULATION	
STONE		STONE	

MATERIAL SURFACE		CONCRETE	
CONCRETE		CONCRETE	
BLOCK / BRICK		BLOCK / BRICK	
STONE / PAVING		STONE / PAVING	
TIMBER		TIMBER	
GLAZING		GLAZING	
SOFT LANDSCAPING		SOFT LANDSCAPING	
GRAVEL / PEBBLES		GRAVEL / PEBBLES	

**BASIX COMMITMENTS**  
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768409M AND STAMPED PLANS)

ARCHITECT:

**MHNDUNION**  
35 RICHARDS LANE  
SURRY HILLS SYDNEY NSW 2010  
T +61 2 9101 1111  
F +61 2 9101 1100  
[www.mhndu.com](http://www.mhndu.com)  
Nominated Architect  
Bridn Meyerson  
NSW Registration Number 4907

DRAWING TITLE:

**BASIX COMMITMENTS**

PROJECT ADDRESS:

**38 UNDERCLIFF ROAD, NSW FRESHWATER 2096**

**LOT 22 DP 5118**

PROJECT NUMBER:

**24-091**

ISSUE DATE:

**17/10/2024**

SCALE:

**NTS @ A3**

DWG NUMBER:

**DA0001**

REVISION:

**DA01**

CHECKED:

**AEH**

REF: BMDoutd\_bdb-26 - BMDoutd Basic for Archid 26/24-091\_38 Undercliff Road Freshwater DA

**Description of project**

Project address		Common area landscape	
Project name	38 Undercliff Rd, Freshwater NSW	Common area lawn (m²)	0
Street address	38 UNDERCLIFF ROAD, FRESHWATER 2096	Common area garden (m²)	0
Local Government Area	NORTHERN BEACHES	Area of indigenous or low water use species (m²)	0
Plan type and plan number	Deposited Plan DP5118	Assessor details and thermal loads	
Lot no.	22	Assessor number	DMM121407
Section no.	-	Certificate number	000018433
<b>Project type</b>		Climate zone	6c
<b>Project score</b>			
No. of residential flat buildings	0	Water	✓ 43 Target 40
Residential flat buildings no. of dwellings	0	Thermal Performance	✓ Pass Target Pass
Multi-dwelling housing no. of dwellings	2	Energy	✓ 74 Target 72
No. of single dwelling houses	0	Materials	✓ 100 Target n/a
<b>Site details</b>			
Site area (m²)	576.7		
Roof area (m²)	255.9		
Non-residential floor area (m²)	-		
Residential car spaces	4		
Non-residential car spaces	-		

**Description of project**

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses									
Dwelling no.	Residential flat buildings (m²)	Residential flat buildings no. of dwellings	Residential flat buildings no. of single dwelling houses	Residential flat buildings no. of double dwelling houses	Residential flat buildings no. of triple dwelling houses	Residential flat buildings no. of quadruple dwelling houses	Residential flat buildings no. of penthouse dwelling houses	Residential flat buildings no. of other dwelling houses	Residential flat buildings no. of other dwelling houses
001	44	242	0	126.8	0	0	0	0	0
002	44	242	0	123	0	0	0	0	0

**Description of project**

The tables below describe the dwellings and common areas within the project

**Common areas of the development (non-building specific)**

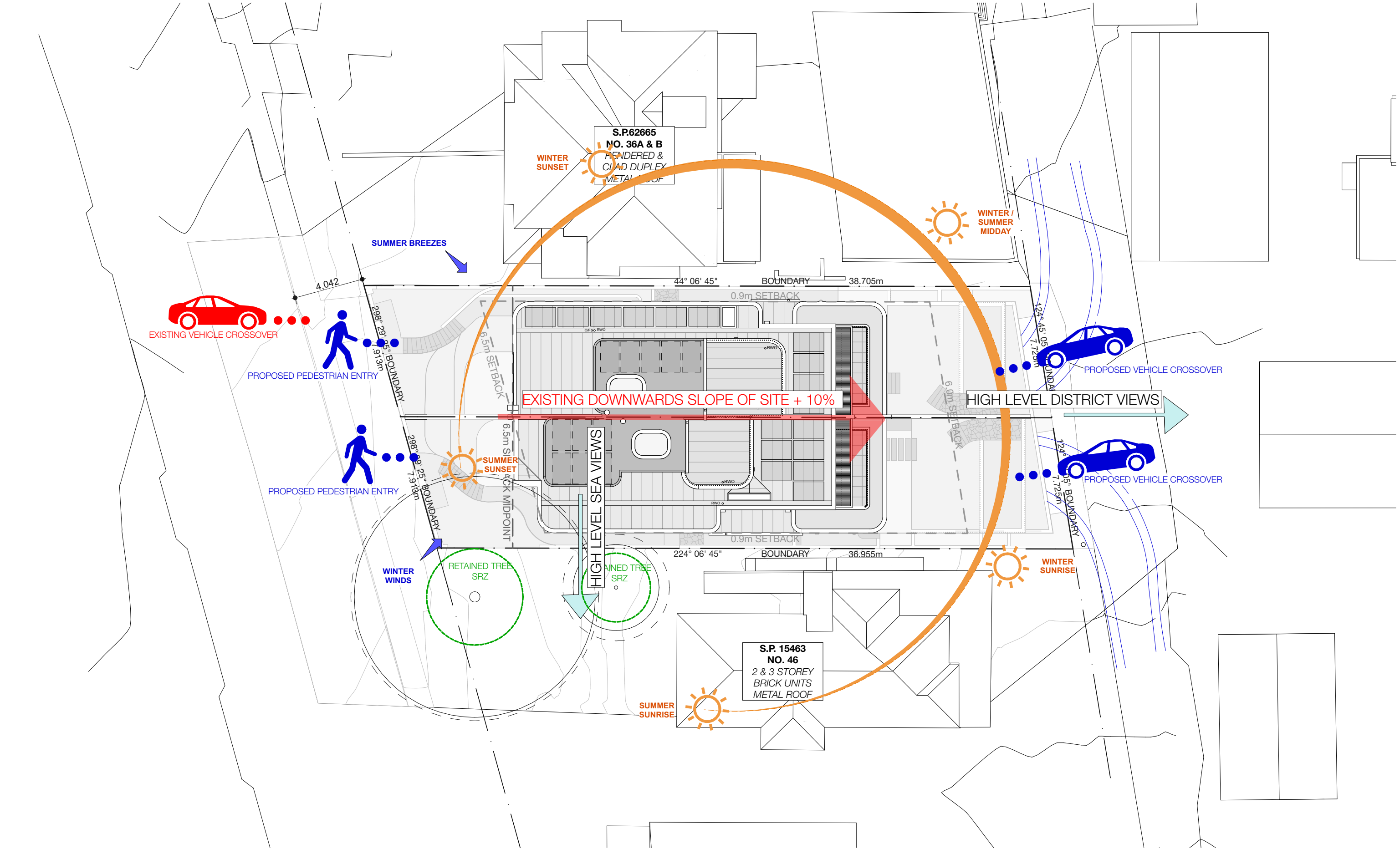
Common area		Floor area (m²)	
Undercover car park area		91.3	
Plant or service room			

REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

**GENERAL NOTES**

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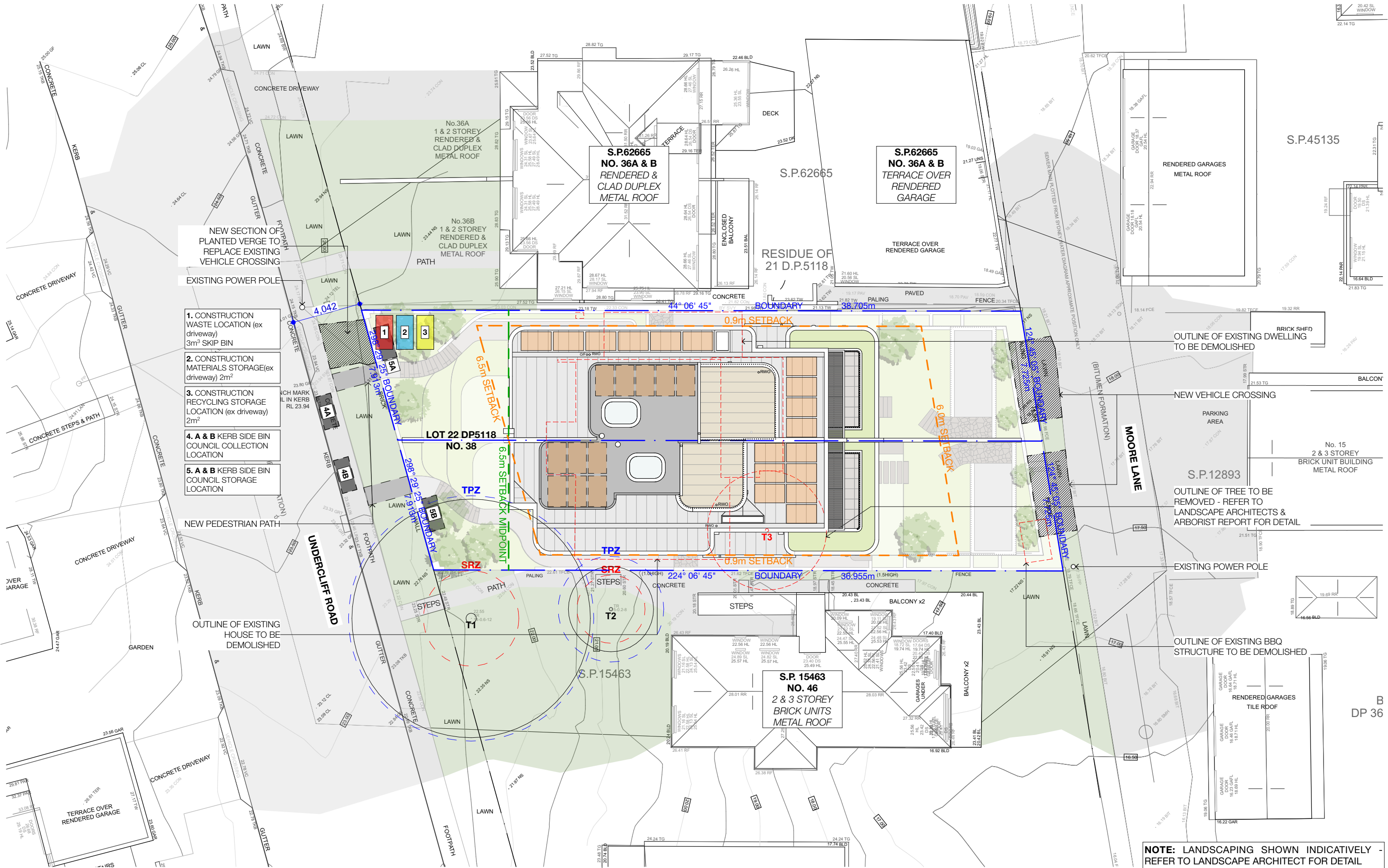




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REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091\_38 Undercliff Road Freshwater\_DA



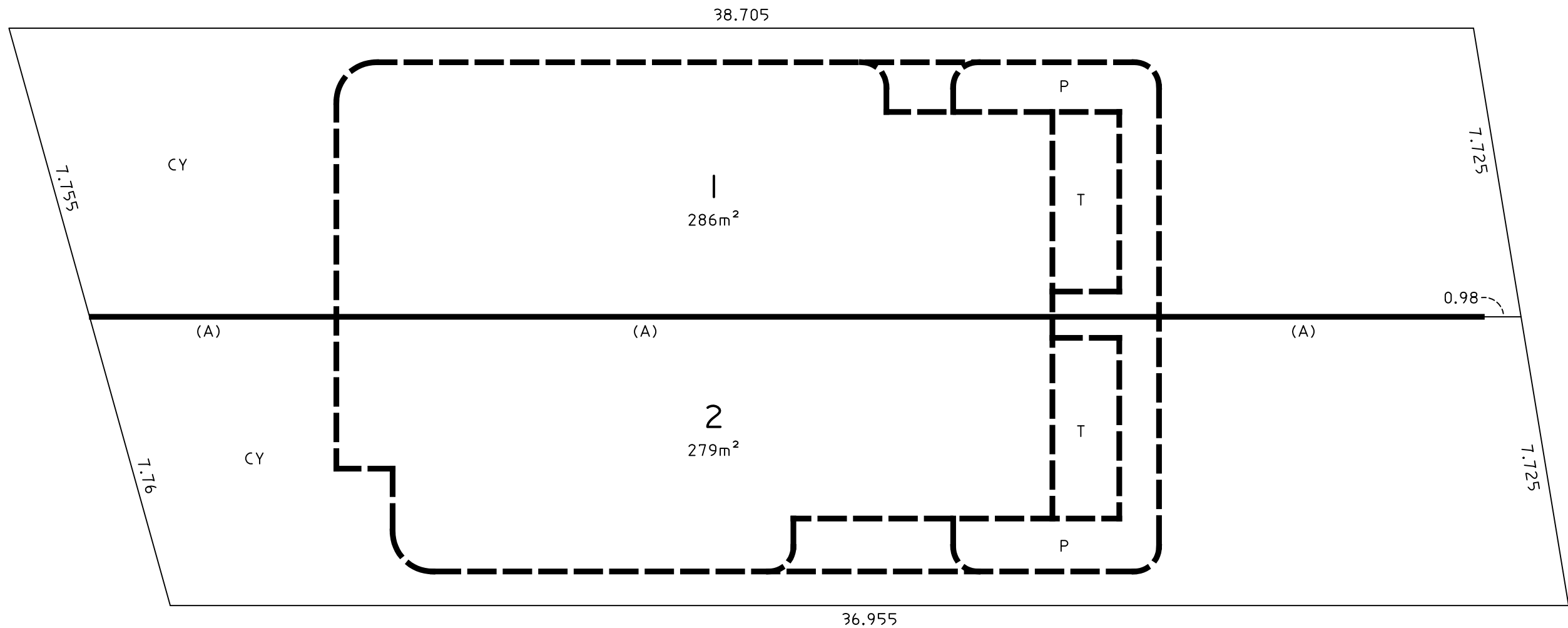


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																PROJECT ADDRESS: <b>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</b>		ISSUE DATE: 17/10/2024		REVISION: <b>DA01</b>	
																LOT 22 DP 5118		SCALE: 1:200 @ A3		DRAWN BY: JD	
																				CHECKED: AEH	
																		NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL			









CY - COURTYARD  
P - PLANTER  
T - TERRACE

THE WHOLE OF THE STRUCTURE OF THE BUILDING STANDING ON EACH LOT, INCLUDING WALLS, FLOORS, CEILINGS, AND ROOFS, FORMS PART OF THE LOT AND IS NOT COMMON PROPERTY.

— — WALLS SHOWN THUS FORM PART OF THEIR SUBJECT LOT AND ARE NOT COMMON PROPERTY.

(A) - THE COMMON WALL DENOTED (A) IS COMMON PROPERTY.

AREAS SHOWN ON THE FLOOR PLAN HAVE BEEN CALCULATED FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY. THEY MAY DIFFER FROM FLOOR AREAS FOR OTHER PURPOSES.

THOSE PARTS OF SERVICE LINES WHICH SERVICE ONE LOT ONLY AND ARE LOCATED OUTSIDE OF THAT LOT ARE COMMON PROPERTY.

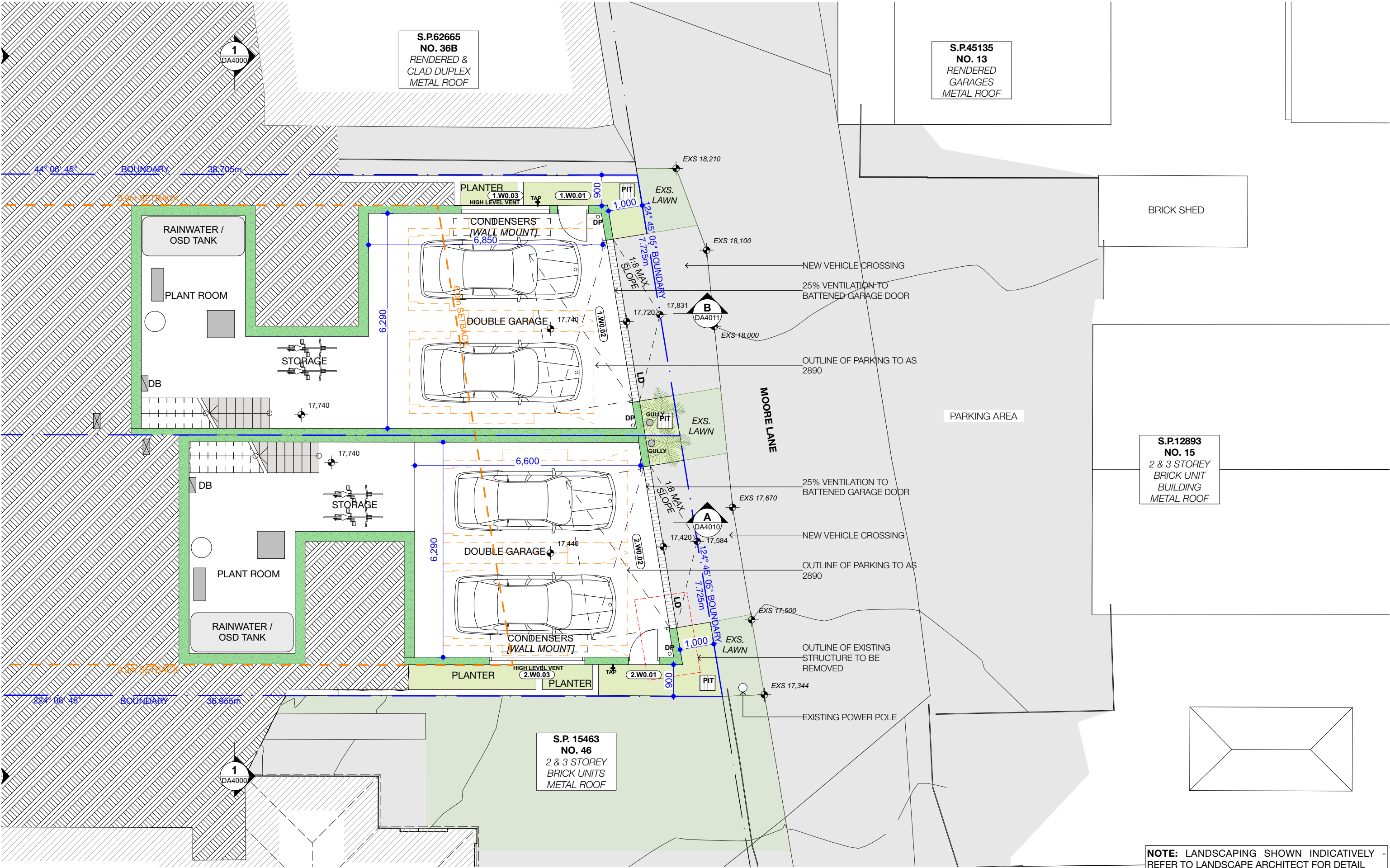
FOR CLARITY NOT ALL COMMON PROPERTY STRUCTURES ARE SHOWN.

LOTS 1 AND 2 ARE LIMITED IN STRATUM FROM 10 METRES BELOW TO 15 METRES ABOVE THE UPPER SURFACE OF THEIR RESPECTIVE CONCRETE GARAGE FLOOR SLAB.

**NOTE:** DRAFT STRATA PLAN SHOWN TAKEN FROM DRAFT STRATA PLAN PREPARED BY CMS SURVEYORS  
- REFER TO SEPARATE DOCUMENT SUBMITTED AS PART OF DA APPLICATION FOR FURTHER INFORMATION

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	<b>LEGEND</b> — TO BE DEMOLISHED <b>AL</b> ALUMINIUM <b>B</b> BASIN <b>BWK</b> BRICK WORK <b>CKT</b> COOK TOP <b>CT</b> CERAMIC TILE <b>D</b> DRYER <b>DB</b> ELEC BOARD <b>DP</b> DOWN PIPE <b>GM</b> GAS MAIN <b>KS</b> KITCHEN SINK <b>LB</b> LETTER BOX <b>LD</b> LINEAR DRAIN <b>MD</b> METAL DECK <b>OF</b> OVERFLOW <b>PVC</b> POWDER COATED <b>PV</b> PHOTO VOLTAC <b>RP</b> RENDER + PAINT <b>RWH</b> RAINWATER HEAD <b>ST</b> STONE <b>T</b> TIMBER <b>WM</b> WASH MACHINE	<b>MATERIAL CUT</b> — EXISTING BUILDING — CONCRETE — MASONRY — FRAMING — GROUND — GRAVEL / LOOSE FILL — INSULATION — STONE	<b>MATERIAL SURFACE</b> — CONCRETE — BLOCK / BRICK — RENDER — STONE / PAVING — TIMBER — GLAZING — SOFT LANDSCAPING — GRAVEL / PEBBLES	<b>BASIX COMMITMENTS</b> (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	<b>ARCHITECT:</b> <b>MHNDU</b> 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 <a href="http://www.mhndu.com">www.mhndu.com</a> Nominated Architect Bridin Meyerson NSW Registration Number 4907	<b>DRAFT STRATA SUBDIVISION PLAN</b> PROJECT ADDRESS: <b>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</b> <b>LOT 22 DP 5118</b>	PROJECT NUMBER: <b>24-091</b> ISSUE DATE: 17/10/2024 SCALE: NTS @ A3 DRAWN BY: JD CHECKED: AEH	DWG NUMBER: <b>DA1004</b> REVISION: <b>DA01</b>





**NOTE:** LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

**GENERAL NOTES**

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DA LEGEND	
LEGEND	
- - - TO BE DEMOLISHED	
AL	ALUMINIUM
B	BASIN
BWK	BRICK WORK
CKT	COOK TOP
CT	CERAMIC TILE
D	DRYER
DB	ELEC BOARD
DP	DOWN PIPE
FC	FIBRE CEMENT
GM	GAS MAIN
KS	KITCHEN SINK
LB	LETTER BOX
LD	LINEAR DRAIN
MD	METAL DECK
OP	OVERFLOW
PVC	POWDER COATED
PV	PHOTO VOLTAC
RH	RAINWATER HEAD
ST	STONE
T	TIMBER
WM	WASH MACHINE

MATERIAL CUT	
EXISTING BUILDING	
CONCRETE	CONCRETE
MASONRY	MASONRY
FRAMING	FRAMING
GROUND	GROUND
GRAVEL / LOOSE FILL	GRAVEL / LOOSE FILL
INSULATION	INSULATION
STONE	STONE

MATERIAL SURFACE	
CONCRETE	
BLOCK / BRICK	BLOCK / BRICK
RENDER	RENDER
STONE / PAVING	STONE / PAVING
TIMBER	TIMBER
GLAZING	GLAZING
SOFT LANDSCAPING	SOFT LANDSCAPING
GRAVEL / PEBBLES	GRAVEL / PEBBLES

**BASIX COMMITMENTS**  
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

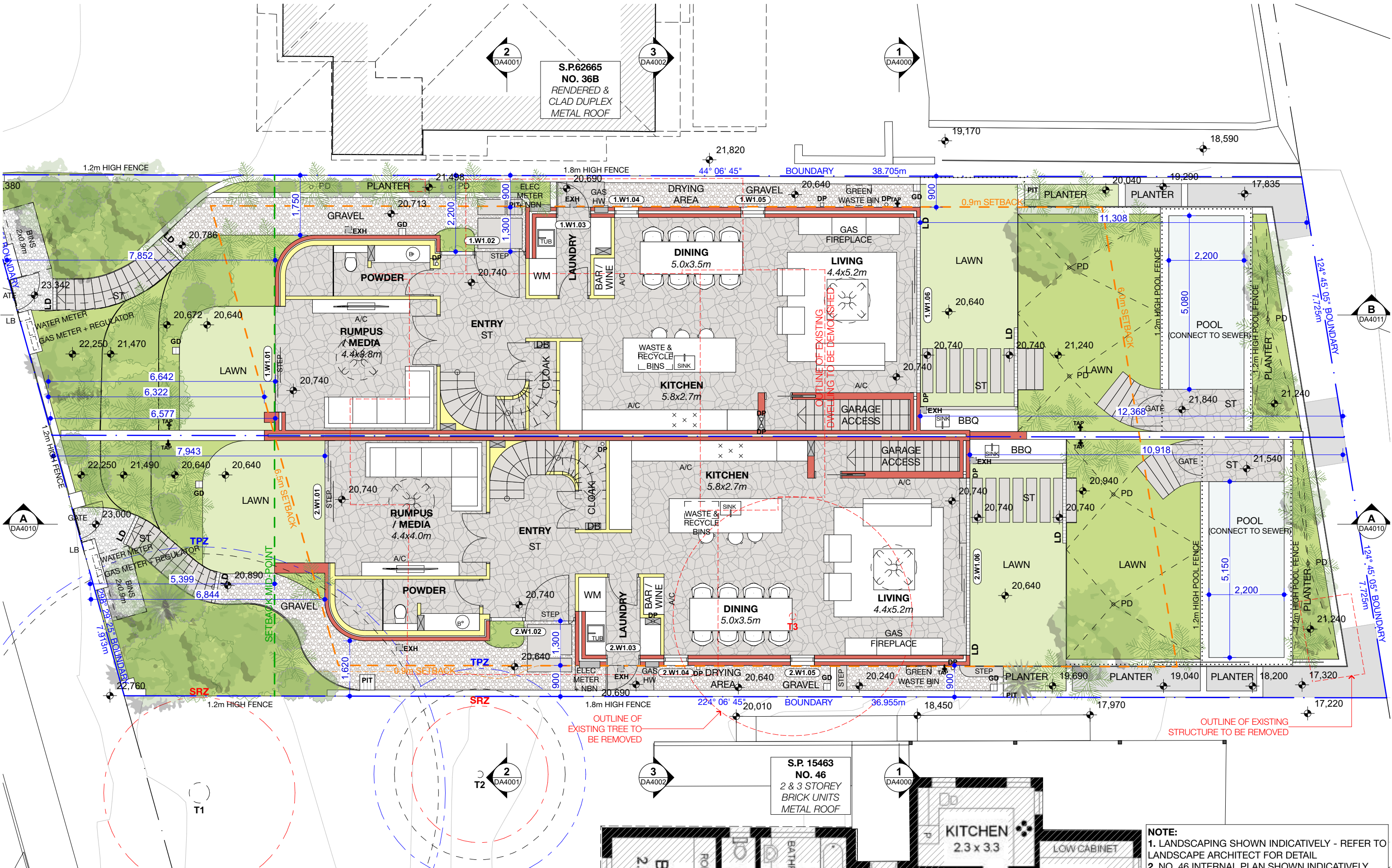
ARCHITECT:  
**MHNDU**  
35 RICHARDS LANE  
SURRY HILLS SYDNEY NSW 2010  
T +61 2 9101 1111  
F +61 2 9101 1100  
[www.mhndu.com](http://www.mhndu.com)  
Nominated Architect  
Bridn Meyer  
NSW Registration Number 4907

DRAWING TITLE:  
**GARAGE PLAN**  
PROJECT ADDRESS:  
**38 UNDERCLIFF ROAD, NSW FRESHWATER 2096**  
**LOT 22 DP 5118**

PROJECT NUMBER:  
**24-091**  
ISSUE DATE:  
17/10/2024  
SCALE:  
1:100 @ A3  
DRAWN BY:  
JD  
CHECKED:  
AEH  
DWG NUMBER:  
**DA2000**  
REVISION:  
**DA01**

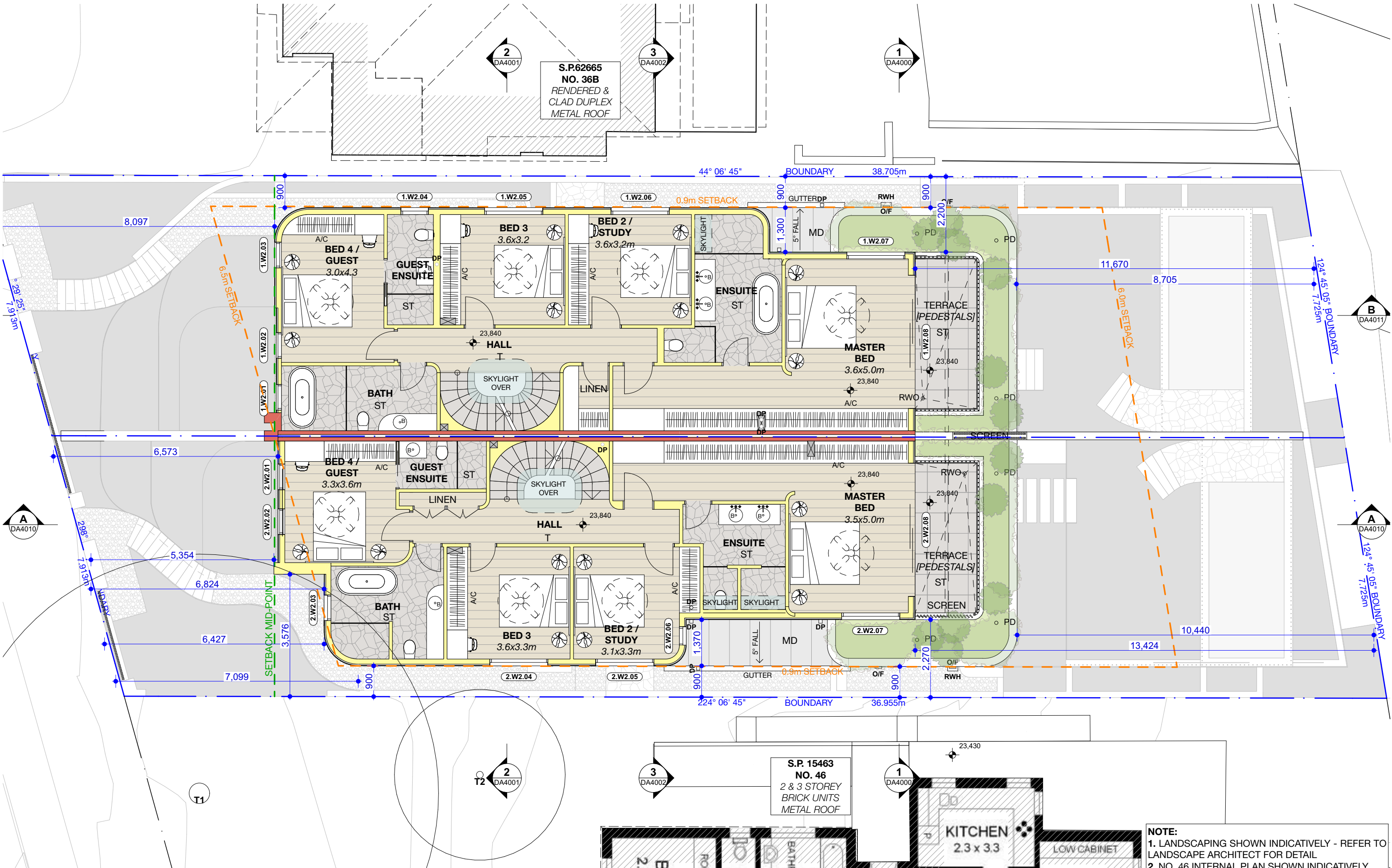
REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091\_38 Undercliff Road Freshwater DA





REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES		DA LEGEND		LEGEND		MATERIAL CUT		MATERIAL SURFACE		BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)		ARCHITECT:		DRAWING TITLE:		PROJECT NUMBER:		DWG NUMBER:	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	<div>1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.</div> <div>2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.</div> <div>3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.</div> <div>4. MINDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.</div> <div>5. CONTRACTOR TO NOTIFY MINDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.</div> <div>6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED</div> <div>7. MINDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.</div> <div>8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.</div>		<div>AL ALUMINIUM</div> <div>BWK BASIN</div> <div>CKT BRICK WORK</div> <div>CT COOK TOP</div> <div>CT CERAMIC TILE</div> <div>D DRYER</div> <div>DB ELEC BOARD</div> <div>DP DOWN PIPE</div> <div>FC FIBRE CEMENT</div> <div>GM GAS MAIN</div> <div>KS KITCHEN SINK</div> <div>LB LETTER BOX</div> <div>LD LINEAR DRAIN</div> <div>MD METAL DECK</div> <div>OF OVERFLOW</div> <div>PVC POWDER COATED</div> <div>PV PHOTO VOLTAGE</div> <div>RWH RAINWATER HEAD</div> <div>ST STONE</div> <div>T TIMBER</div> <div>WM WASH MACHINE</div>		<div>TO BE DEMOLISHED</div>		<div>EXISTING BUILDING</div> <div>CONCRETE</div> <div>BLOCK / BRICK</div> <div>RENDER</div> <div>STONE / PAVING</div> <div>TIMBER</div> <div>GLAZING</div> <div>SOFT LANDSCAPING</div> <div>GRAVEL / PEBBLES</div>		<div>35 RICHARDS LANE</div> <div>SURRY HILLS SYDNEY NSW 2010</div> <div>T +61 2 9101 1111</div> <div>F +61 2 9101 1100</div> <div>www.mhndu.com</div> <div>Nominated Architect Bridn Meyerson NSW Registration Number 4907</div>		<div>GROUND FLOOR PLAN</div> <div>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</div> <div>LOT 22 DP 5118</div>		<div>24-091</div> <div>17/10/2024</div> <div>1:100 @ A3</div>		<div>DA2001</div> <div>REVISION:</div> <div>DA01</div> <div>CHECKED:</div> <div>AEH</div>					





REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

**GENERAL NOTES**

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DA LEGEND		MATERIAL CUT		MATERIAL SURFACE	
LEGEND		LEGEND		LEGEND	
AL	ALUMINIUM	CB	CONCRETE	CB	CONCRETE
B	BASIN	LD	LINEAR DRAIN	BL	BLOCK / BRICK
BWK	BRICK WORK	MD	METAL DECK	R	RENDER
CKT	COOK TOP	OP	OVERFLOW	SP	STONE / PAVING
CT	CERAMIC TILE	PVC	POWDER COATED	T	TIMBER
D	DRYER	PV	PHOTO VOLTIC	GL	GLAZING
DB	ELEC BOARD	RP	RENDER + PAINT	SL	SOFT LANDSCAPING
DP	DOWN PIPE	RWH	RAINWATER HEAD	ST	STONE
FC	FIBRE CEMENT	ST	STONE	INS	INSULATION
GM	GAS MAIN	T	TIMBER	GRA	GRAVEL / LOOSE FILL
KS	KITCHEN SINK	WM	WASH MACHINE	INS	INSULATION
				STN	STONE

**BASIX COMMITMENTS**  
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:  
**MHNDU**  
35 RICHARDS LANE  
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F +61 2 9101 1100  
www.mhndu.com  
MHNDU Design Urban Pty Ltd. ABN 94 003 717 682  
NSW Registration Number 4907

**DRAWING TITLE:**  
**LEVEL 1 FLOOR PLAN**

**PROJECT ADDRESS:**  
**38 UNDERCLIFF ROAD, NSW FRESHWATER 2096**

**LOT 22 DP 5118**

**PROJECT NUMBER:**  
**24-091**

**ISSUE DATE:**  
17/10/2024

**SCALE:**  
1:100 @ A3

**DRAWN BY:**  
JD

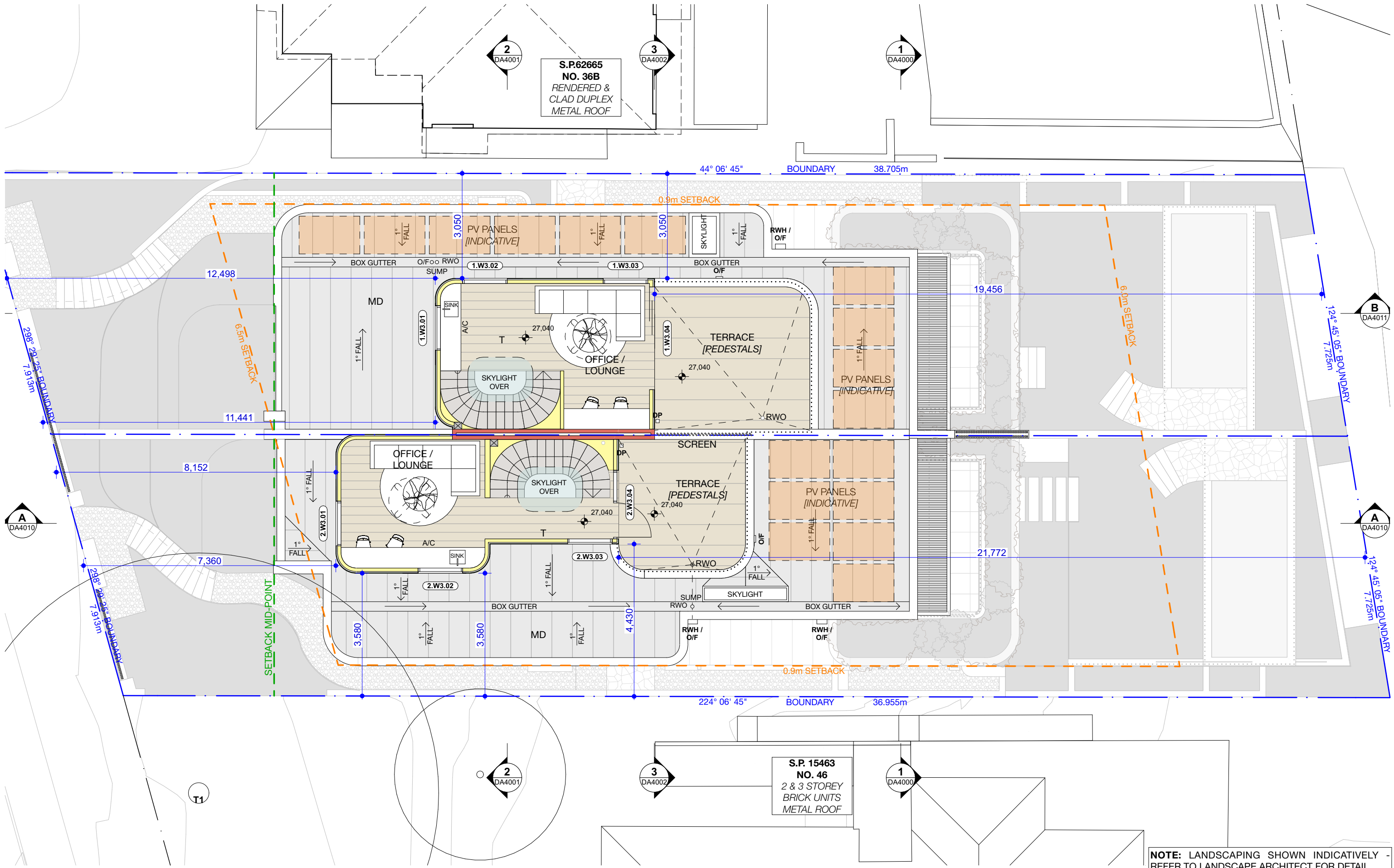
**CHECKED:**  
AEH

**DWG NUMBER:**  
**DA2002**

**REVISION:**  
**DA01**

**NOTE:**  
1. LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL  
2. NO. 46 INTERNAL PLAN SHOWN INDICATIVELY





NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

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DA LEGEND	
AL ALUMINIUM	LB LETTER BOX
B BASIN	LD LINEAR DRAIN
BWK BRICK WORK	MD METAL DECK
CKT COOK TOP	OF OVERFLOW
CT CERAMIC TILE	PVC POWDER COATED
D DRYER	PV PHOTO VOLTAGE
DB ELEC BOARD	RP RENDER + PAINT
DP DOWN PIPE	RWH RAINWATER HEAD
FC FIBRE CEMENT	ST STONE
GM GAS MAIN	T TIMBER
KS KITCHEN SINK	WM WASH MACHINE

MATERIAL CUT	
EXISTING BUILDING	CONCRETE
MASONRY	RENDER
FRAMING	STONE / PAVING
GROUND	TIMBER
GRAVEL / LOOSE FILL	GLAZING
INSULATION	SOFT LANDSCAPING
STONE	GRAVEL / PEBBLES

MATERIAL SURFACE	
CONCRETE	BLOCK / BRICK
RENDER	STONE / PAVING
TIMBER	GLAZING
SOFT LANDSCAPING	GRAVEL / PEBBLES

**BASIX COMMITMENTS**  
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ARCHITECT:  
**MHNDU**  
35 RICHARDS LANE  
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[www.mhndu.com](http://www.mhndu.com)  
A/N/0 Design Union Pty Ltd. A/N/0 003 717 682  
Nominated Architect  
Bridn Meyerson  
NSW Registration Number 4907

**DRAWING TITLE:**  
**LEVEL 2 FLOOR PLAN**

**PROJECT ADDRESS:**  
**38 UNDERCLIFF ROAD, NSW FRESHWATER 2096**

**LOT 22 DP 5118**

**PROJECT NUMBER:**  
**24-091**

**ISSUE DATE:**  
17/10/2024

**SCALE:**  
1:100 @ A3

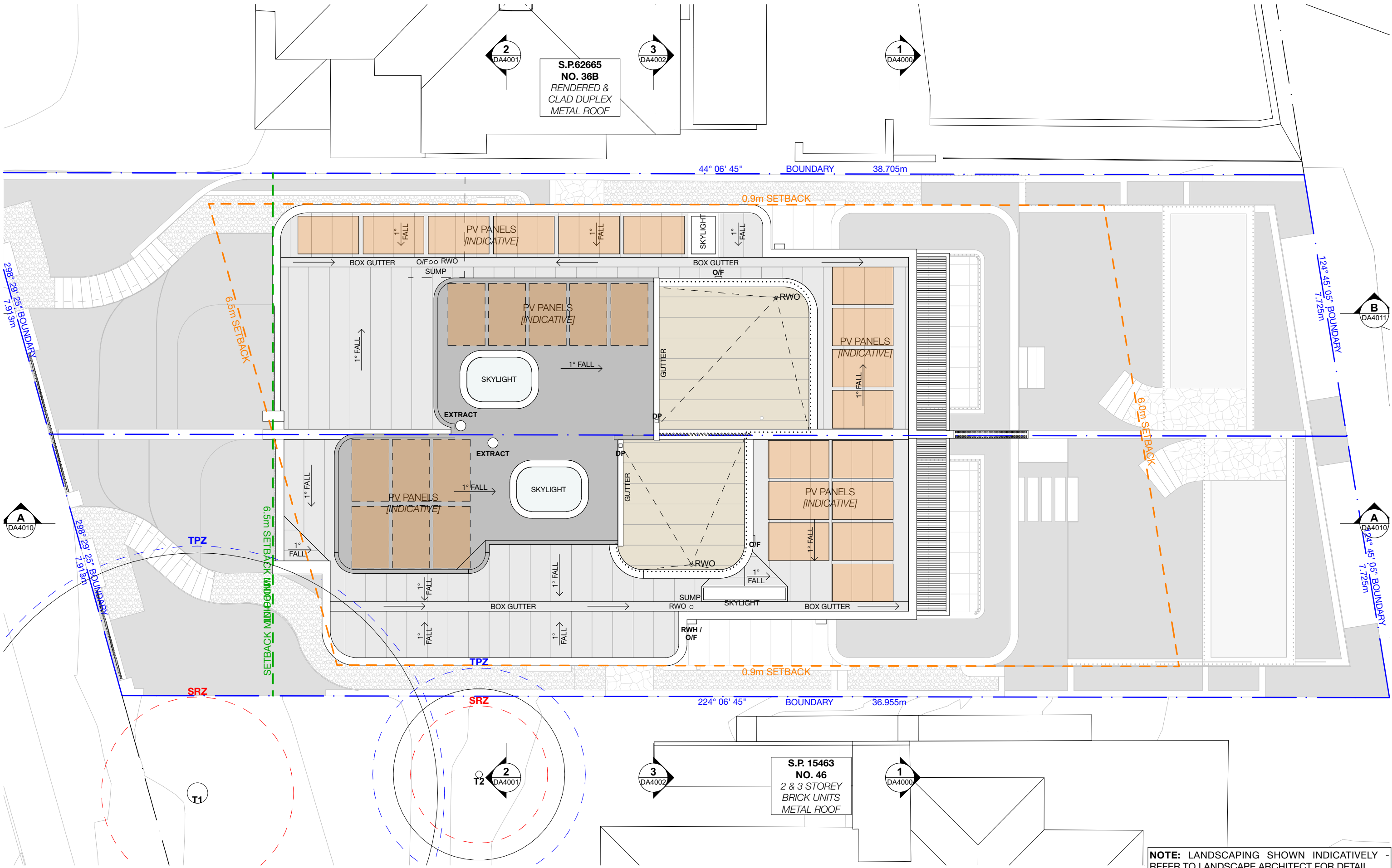
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JD

**CHECKED:**  
AEH

**DWG NUMBER:**  
**DA2003**

**REVISION:**  
**DA01**

**REF:** BMM0001: bdb-26 - BMM0001 Basic for Archicad 26/24/091\_38 Undercliff Road Freshwater DA



NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

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DA LEGEND	
LEGEND	
AL ALUMINIUM	LB LETTER BOX
B BASIN	LD LINEAR DRAIN
BWK BRICK WORK	MD METAL DECK
CKT COOK TOP	OF OVERFLOW
CT CERAMIC TILE	PVC POWDER COATED
D DRYER	PV PHOTO VOLTAGE
DB ELEC BOARD	RP RENDER + PAINT
DP DOWN PIPE	RWH RAINWATER HEAD
FC FIBRE CEMENT	ST STONE
GM GAS MAIN	T TIMBER
KS KITCHEN SINK	WM WASH MACHINE

MATERIAL CUT	
EXISTING BUILDING	CONCRETE
MASONRY	FRAMING
GROUND	GRAVEL / LOOSE FILL
INSULATION	STONE

MATERIAL SURFACE	
CONCRETE	BLOCK / BRICK
RENDER	STONE / PAVING
TIMBER	GLAZING
SOFT LANDSCAPING	GRAVEL / PEBBLES

**BASIX COMMITMENTS**  
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:  
**MHNDU**  
35 RICHARDS LANE  
SURRY HILLS SYDNEY NSW 2010  
T +61 2 9101 1111  
F +61 2 9101 1100  
[www.mhndu.com](http://www.mhndu.com)  
Nominated Architect  
Bridn Meyererson  
NSW Registration Number 4907

**DRAWING TITLE:**  
**ROOF PLAN**

**PROJECT ADDRESS:**  
**38 UNDERCLIFF ROAD, NSW FRESHWATER 2096**

**LOT 22 DP 5118**

**PROJECT NUMBER:**  
**24-091**

**ISSUE DATE:**  
17/10/2024

**SCALE:**  
1:100 @ A3

**DRAWN BY:**  
JD

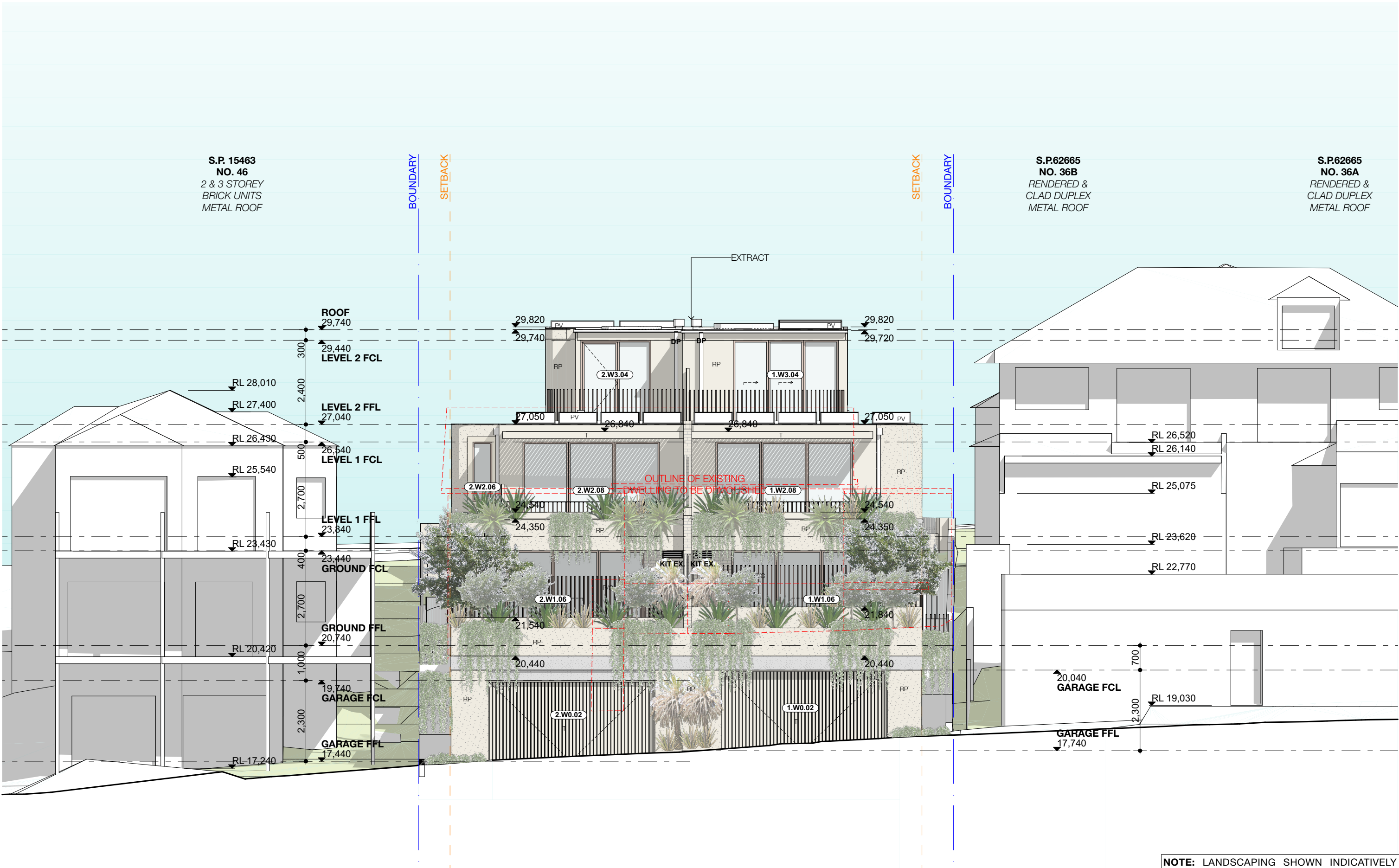
**CHECKED:**  
AEH

**DWG NUMBER:**  
**DA2004**

**REVISION:**  
**DA01**

REF: BMDout: bdb-26 - BMDcloud Basic for Archicad 26/24-091\_38 Undercliff Road Freshwater DA





**NOTE:** LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES		DA LEGEND		MATERIAL CUT		MATERIAL SURFACE		BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)		ARCHITECT:		DRAWING TITLE:		PROJECT NUMBER:		DWG NUMBER:	
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION			LEGEND								<div>MHNDUUNION</div> <div>35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com</div> <div><div>Nominated Architect Bridie Maynard NSW Registration Number 4907</div></div> <div><div>MHNDU Design Union Pty Ltd.</div><div>ABN 94 003 717 682</div></div>		NORTH ELEVATION		24-091		DA3000	
				1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.		TO BE DEMOLISHED		EXISTING BUILDING				PROJECT ADDRESS:				ISSUE DATE:		REVISION:			
				2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.		AL ALUMINIUM		LB LETTER BOX		CONCRETE				17/10/2024		DA01					
				3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.		B BASIN		LD LINEAR DRAIN		CONCRETE				SCALE:		DRAWN BY:		CHECKED:			
				4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.		BWK BRICK WORK		MD METAL DECK		MASONRY				1:100 @ A3		JD		AEH			
				5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.		CKT COOK TOP		QF OVERFLOW		FRAMING											
				6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED.		CT DRYER		PC POWDER COATED		STONE / PAVING											
				7. MHNDU TO REVIEW ALL CONTRACTORS' DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.		DB ELEC BOARD		RP RENDER & PAINT		TIMBER											
				8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.		PC FIBRE CEMENT ST		RWH ROOF HEAD		GLAZING											
						KS KITCHEN SINK		WM WASH MACHINE		SOFT LANDSCAPING											
										GRAVEL / LOOSE FILL											
										GRAVEL / PEBBLES											
																		</			



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REV	INIT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

**GENERAL NOTES**

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DA LEGEND			
LEGEND			
- - - TO BE DEMOLISHED			
AL	ALUMINIUM	LB	LETTER BOX
B	BASIN	LD	LINEAR DRAIN
BWK	BRICK WORK	MD	METAL DECK
CKT	COOK TOP	OF	OVERFLOW
CT	CERAMIC TILE	PVC	POWDER COATED
D	DRYER	PV	PHOTO VOLTIC
DB	ELEC BOARD	RP	RENDER + PAINT
DP	DOWN PIPE	RWH	RAINWATER HEAD
FC	FIBRE CEMENT	ST	STONE
GM	GAS MAIN	T	TIMBER
KS	KITCHEN SINK	WM	WASH MACHINE

MATERIAL CUT	
EXISTING BUILDING	CONCRETE
CONCRETE	MASONRY
FRAMING	GROUND
GRAVEL / LOOSE FILL	INSULATION
STONE	

MATERIAL SURFACE	
CONCRETE	BLOCK / BRICK
RENDER	STONE / PAVING
TIMBER	GLAZING
SOFT LANDSCAPING	GRAVEL / PEBBLES

**BASIX COMMITMENTS**  
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:  
**MHNDU** UNION  
35 RICHARDS LANE  
SURRY HILLS SYDNEY NSW 2010  
T +61 2 9101 1111  
F +61 2 9101 1100  
[www.mhndu.com](http://www.mhndu.com)  
Nominated Architect  
Bridin Meyerson  
NSW Registration Number 4907

DRAWING TITLE:  
**SOUTH ELEVATION**  
PROJECT ADDRESS:  
**38 UNDERCLIFF ROAD, NSW FRESHWATER 2096**  
**LOT 22 DP 5118**

PROJECT NUMBER:  
**24-091**  
ISSUE DATE:  
17/10/2024  
SCALE:  
1:100 @ A3

DWG NUMBER:  
**DA3001**  
REVISION:  
**DA01**  
CHECKED:  
AEH

DRAWN BY:  
JD

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24/091\_38 Undercliff Road Freshwater DA

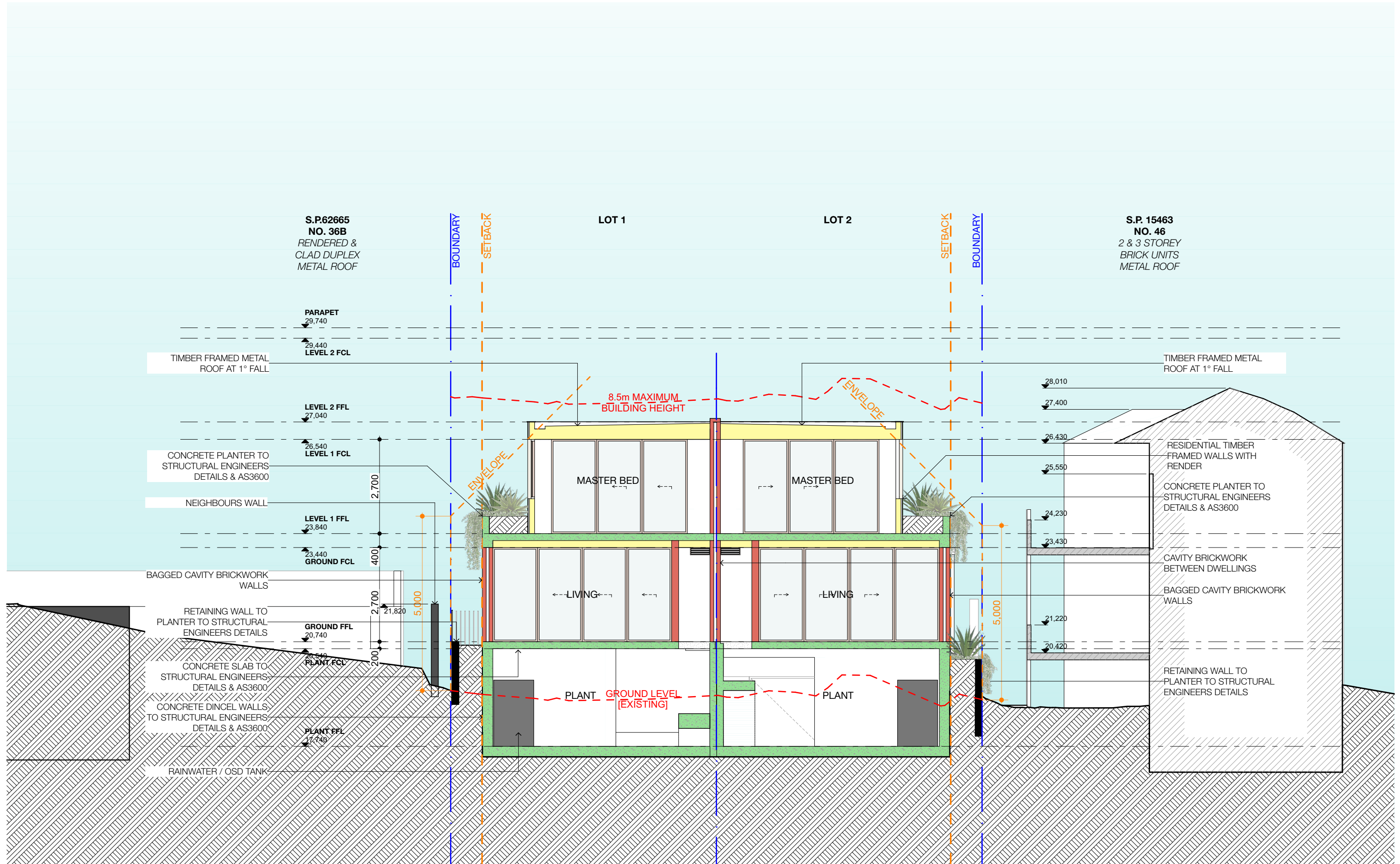




REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONTRACTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS' DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	<b>LEGEND</b> - - - TO BE DEMOLISHED <b>AL</b> ALUMINIUM <b>LB</b> LETTER BOX <b>S</b> BASIN <b>LD</b> LINEAR DRAIN <b>BWK</b> BRICK WORK <b>MD</b> METAL DECK <b>CKT</b> COOK TOP <b>OP</b> OVERFLOW <b>CT</b> CERAMIC TILE <b>PVC</b> POWDER COATED <b>D</b> DRYER <b>PV</b> PHOTO VOLTAGE <b>DB</b> ELEC BOARD <b>RP</b> RENDER + PAINT <b>DP</b> DOWN PIPE <b>RWH</b> RAINWATER HEAD <b>FC</b> FIBRE CEMENT <b>ST</b> STONE <b>GM</b> GAS MAIN <b>T</b> TIMBER <b>KS</b> KITCHEN SINK <b>WM</b> WASH MACHINE	<b>CONCRETE</b> CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE	<b>CONCRETE</b> BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES	<b>BASIX COMMITMENTS</b> (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	<b>ARCHITECT:</b> <b>MHNDU</b> 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 <a href="http://www.mhndu.com">www.mhndu.com</a> Nominated Architect Bridn Meyerson NSW Registration Number 4907	<b>WEST ELEVATION</b> PROJECT ADDRESS: <b>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</b> <b>LOT 22 DP 5118</b>	PROJECT NUMBER: <b>24-091</b> ISSUE DATE: 17/10/2024 SCALE: 1:100 @ A3	DWG NUMBER: <b>DA3002</b> REVISION: <b>DA01</b> DRAWN BY: JD CHECKED: AEH

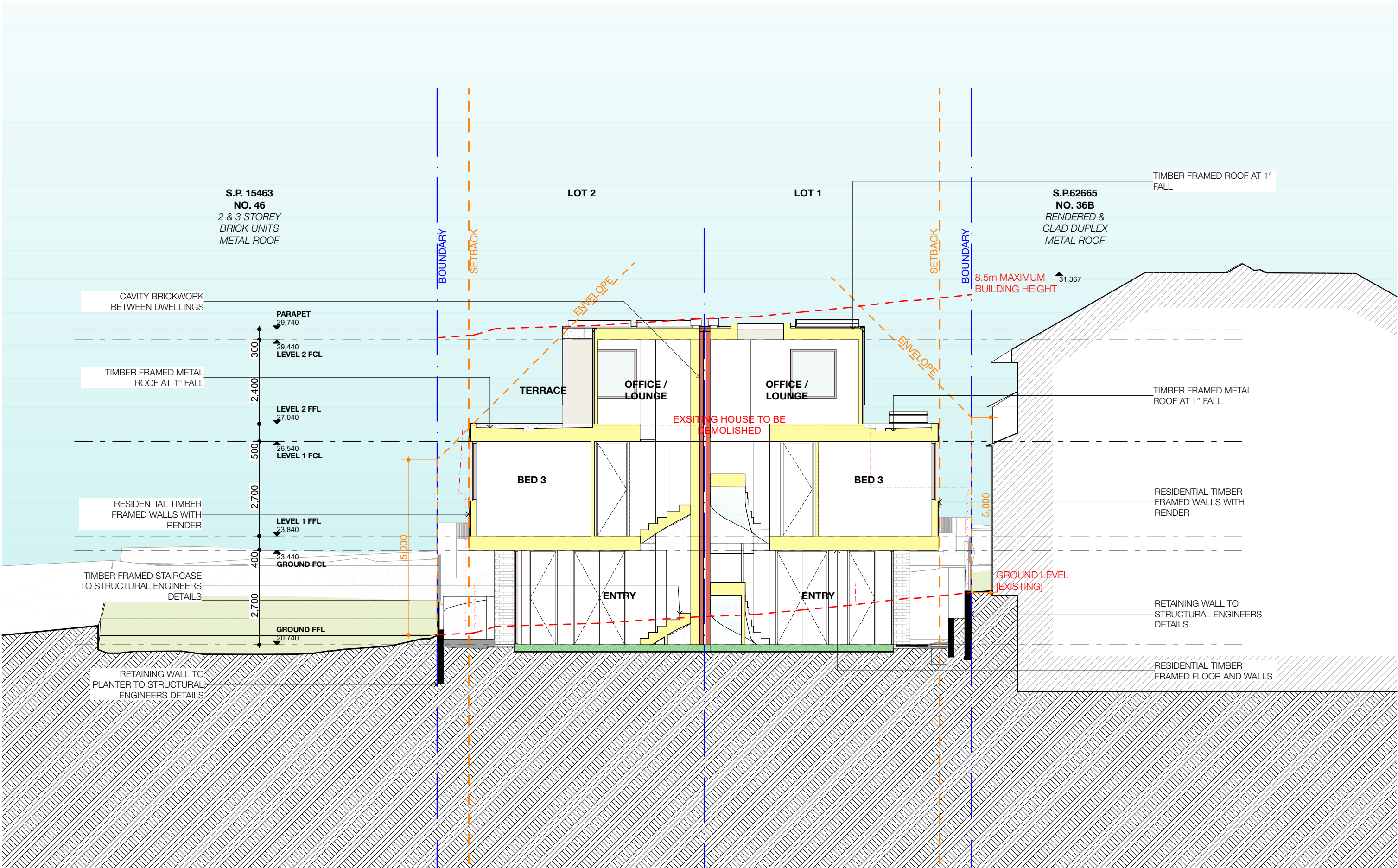






REV	INT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	ARCHITECT:  35 RICHARDS LANE SURRY HILLS SYDNEY / NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>MHN Design Union Pty Ltd, ABN 94 003 717 682 NSW Registration Number 4907</small>	DRAWING TITLE:  CROSS SECTION 1  PROJECT ADDRESS:  38 UNDERCLIFF ROAD, NSW FRESHWATER 2096  LOT 22 DP 5118	PROJECT NUMBER:  24-091  ISSUE DATE:  17/10/2024  SCALE:  1:100 @ A3	DWG NUMBER:  DA4000  REVISION:  DA01  CHECKED:  AEH
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION									
				1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.	LEGEND -- -- TO BE DEMOLISHED	AL ALUMINIUM B BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN LO OVERFLOW M MASONRY PC POWDER COATED PV PHOTO VOLTAGE R RENDER + PAINT RWH RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE	EXISTING BUILDING CONCRETE CONCRETE MASONRY FRAMING STONE / PAVING TIMBER GROUND GRAVEL / LOOSE FILL GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES					
				2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.								
				3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.								
				4. MHN DU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.								
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REF: BMS000-100-26 - BMS000 Basic for Archibud 2024-091, 38 Undercliff Road Freshwater, DA



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

GENERAL NOTES
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DA LEGEND
LEGEND
TO BE DEMOLISHED
AL ALUMINIUM
B BASIN
BRW BRICK WORK
CKT COOK TOP
CT CERAMIC TILE
D DRYER
DB ELEC BOARD
DP DOWN PIPE
FC FIBRE CEMENT
GM GAS MAIN
KS KITCHEN SINK
LB LETTER BOX
LD LINEAR DRAIN
MD METAL DECK
OF OVERFLOW
PC POWDER COATED
PV PHOTO VOLTAC
RP RENDER + PAINT
RWH RAINWATER HEAD
ST STONE
T TIMBER
WM WASH MACHINE

MATERIAL CUT
EXISTING BUILDING
CONCRETE
MASONRY
FRAMING
GROUND
GRAVEL / LOOSE FILL
INSULATION
STONE

MATERIAL SURFACE
CONCRETE
BLOCK / BRICK
RENDER
STONE / PAVING
TIMBER
GLAZING
SOFT LANDSCAPING
GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

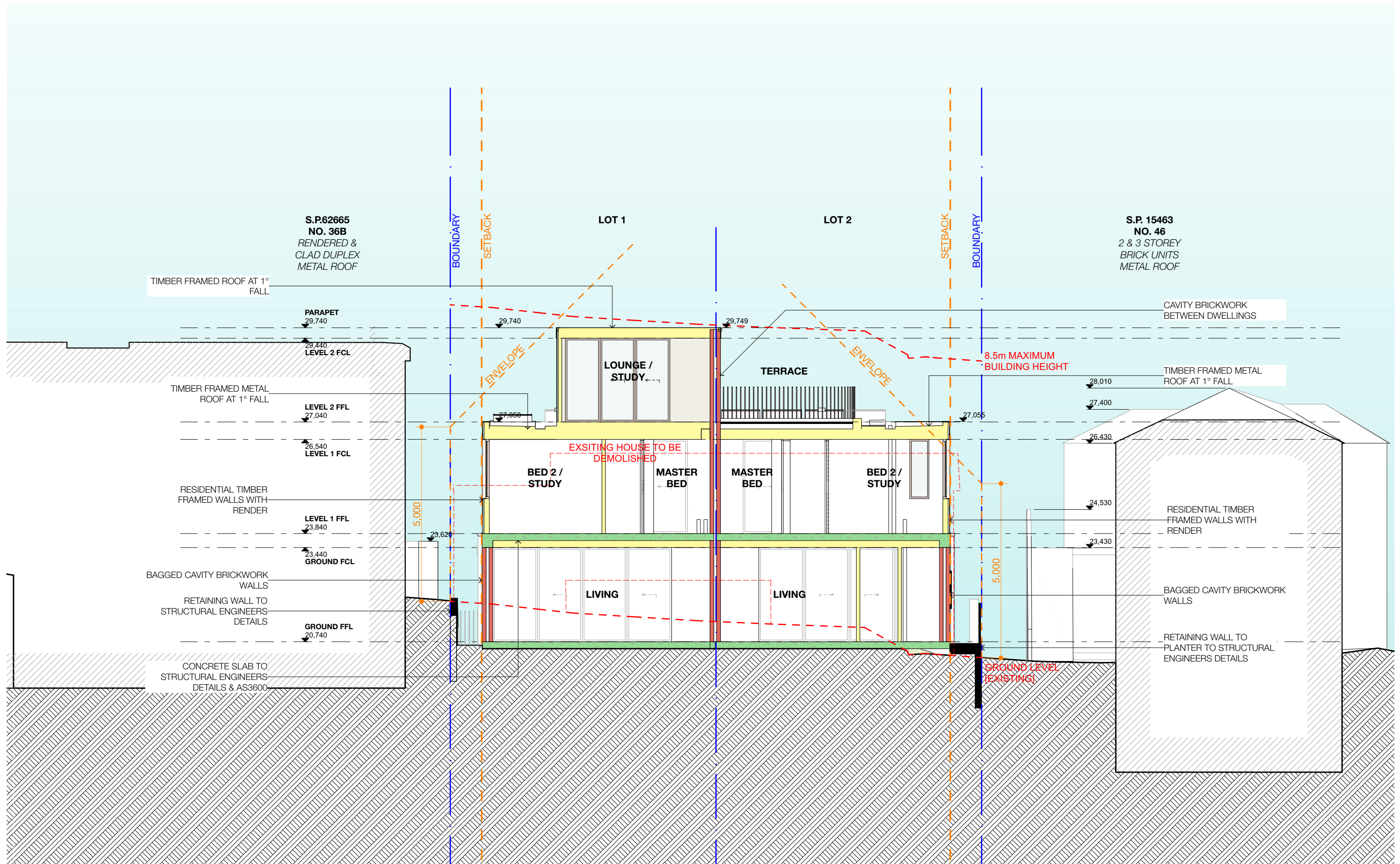
ARCHITECT:
<b>MHNDU</b> UNION
35 RICHARDS LANE
SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
<a href="http://www.mhndu.com">www.mhndu.com</a>
Mhndu Design Urban Pty Ltd.
ABN 94 003 717 682
Nominated Architect
Brian Meyerson
NSW Registration Number 4907

DRAWING TITLE:
<b>CROSS SECTION 2</b>
PROJECT ADDRESS:
<b>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</b>
LOT 22 DP 5118

PROJECT NUMBER:
<b>24-091</b>
ISSUE DATE:
17/10/2024
SCALE:
1:100 @ A3
DRAWN BY:
JD
DWG NUMBER:
<b>DA4001</b>
REVISION:
<b>DA01</b>
CHECKED:
AEH

REF: BMDout: bdb-26 - BMDout Basic for ArchiCad 26/24-091\_38 Undercliff Road Freshwater DA





REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

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DA LEGEND	
LEGEND	
- - - TO BE DEMOLISHED	
AL ALUMINIUM	LB LETTER BOX
B BASIN	LD LINEAR DRAIN
BWK BRICK WORK	MD METAL DECK
CKT COOK TOP	OP OVERFLOW
CT CERAMIC TILE	PVC POWDER COATED
D DRYER	PV PHOTO VOLTAGE
DB ELEC BOARD	RP RENDER + PAINT
DP DOWN PIPE	RWH RAINWATER HEAD
FC FIBRE CEMENT	ST STONE
GM GAS MAIN	T TIMBER
KS KITCHEN SINK	WM WASH MACHINE

MATERIAL CUT	
EXISTING BUILDING	
CONCRETE	CONCRETE
MASONRY	MASONRY
FRAMING	FRAMING
GROUND	GROUND
GRAVEL / LOOSE FILL	GRAVEL / LOOSE FILL
INSULATION	INSULATION
STONE	STONE

MATERIAL SURFACE	
CONCRETE	
BLOCK / BRICK	BLOCK / BRICK
RENDER	RENDER
STONE / PAVING	STONE / PAVING
TIMBER	TIMBER
GLAZING	GLAZING
SOFT LANDSCAPING	SOFT LANDSCAPING
GRAVEL / PEBBLES	GRAVEL / PEBBLES

**BASIX COMMITMENTS**  
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:

**MHNDU** UNION

35 RICHARDS LANE  
SURRY HILLS SYDNEY NSW 2010  
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F +61 2 9101 1100  
[www.mhndu.com](http://www.mhndu.com)

MHNDU Design Urban Pty Ltd.

ABN 94 003 717 682

Nominated Architect  
Bridn Meyer  
NSW Registration Number 4907

DRAWING TITLE:

**CROSS SECTION 3**

PROJECT ADDRESS:

**38 UNDERCLIFF ROAD, NSW FRESHWATER 2096**

**LOT 22 DP 5118**

PROJECT NUMBER:

**24-091**

ISSUE DATE:

**17/10/2024**

SCALE:

**1:100 @ A3**

DRAWN BY:

**JD**

DWG NUMBER:

**DA4002**

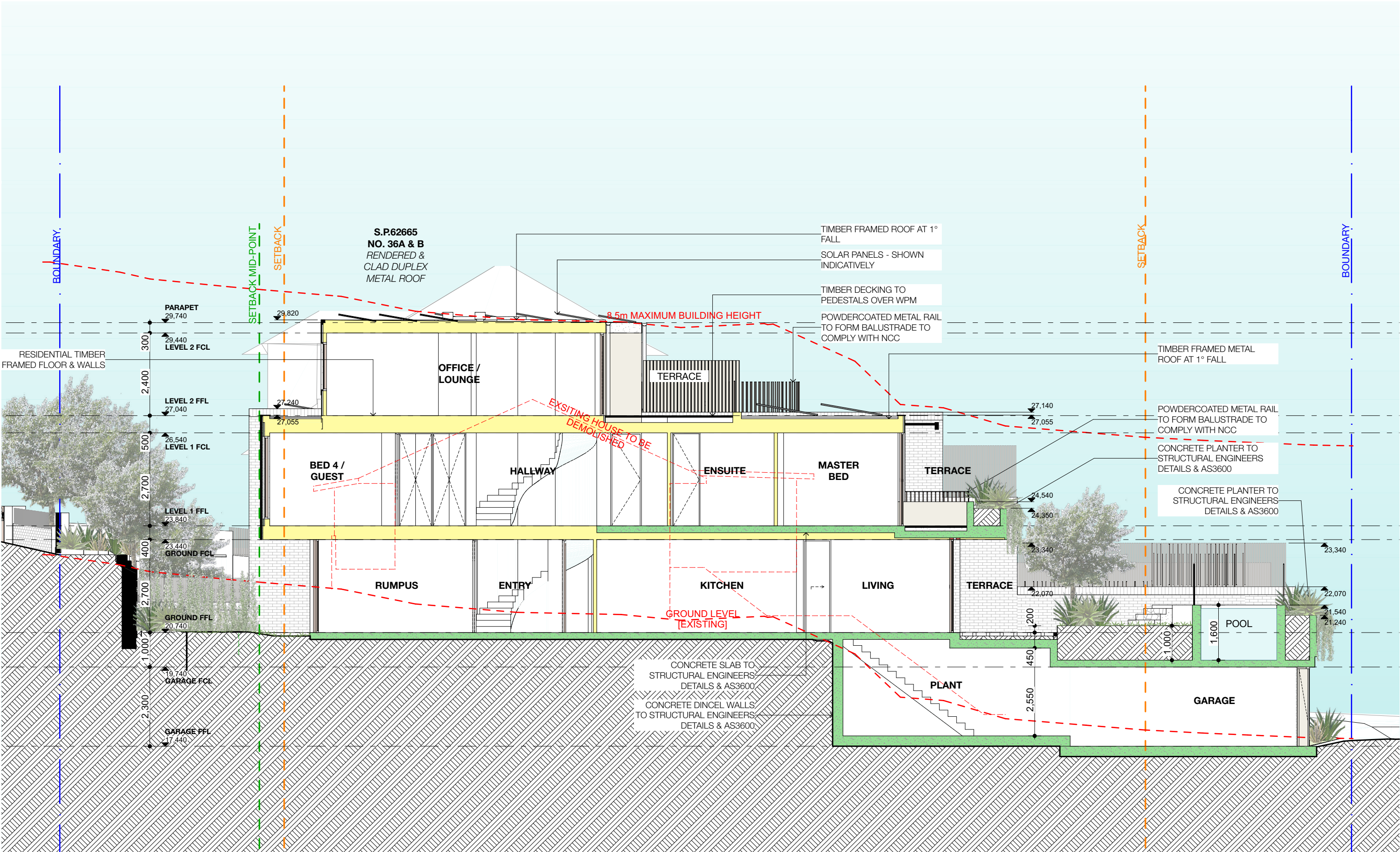
REVISION:

**DA01**

CHECKED:

**AEH**

REF: BHMcloud: bdb-26 - BHMcloud Basic for Archicad 26/24-091\_38 Undercliff Road Freshwater DA



REV	INT.	DATE	REVISION DETAILS
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION

**GENERAL NOTES**

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DA LEGEND	
LEGEND	
- - - TO BE DEMOLISHED	
AL ALUMINIUM	LB LETTER BOX
B BASIN	LD LINEAR DRAIN
BWK BRICK WORK	MD METAL DECK
CKT COOK TOP	OF OVERFLOW
CT CERAMIC TILE	PVC POWDER COATED
D DRYER	PV PHOTO VOLTAGE
DB ELEC BOARD	RP RENDER + PAINT
DP DOWN PIPE	RWH RAINWATER HEAD
FC FIBRE CEMENT	ST STONE
GM GAS MAIN	T TIMBER
KS KITCHEN SINK	WM WASH MACHINE

MATERIAL CUT	
LEGEND	
EXISTING BUILDING	CONCRETE
MASONRY	RENDER
FRAMING	STONE / PAVING
GROUND	TIMBER
GRAVEL / LOOSE FILL	GLAZING
INSULATION	SOFT LANDSCAPING
STONE	GRAVEL / PEBBLES

MATERIAL SURFACE	
LEGEND	
CONCRETE	BLOCK / BRICK
RENDER	STONE / PAVING
STONE / PAVING	TIMBER
TIMBER	GLAZING
GLAZING	SOFT LANDSCAPING
SOFT LANDSCAPING	GRAVEL / PEBBLES

**BASIX COMMITMENTS**  
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:  
**MHNDU**  
35 RICHARDS LANE  
SURRY HILLS SYDNEY NSW 2010  
T +61 2 9101 1111  
F +61 2 9101 1100  
[www.mhndu.com](http://www.mhndu.com)  
ABN 94 003 717 682

Nominated Architect  
Bridn Meyer  
NSW Registration Number 4907

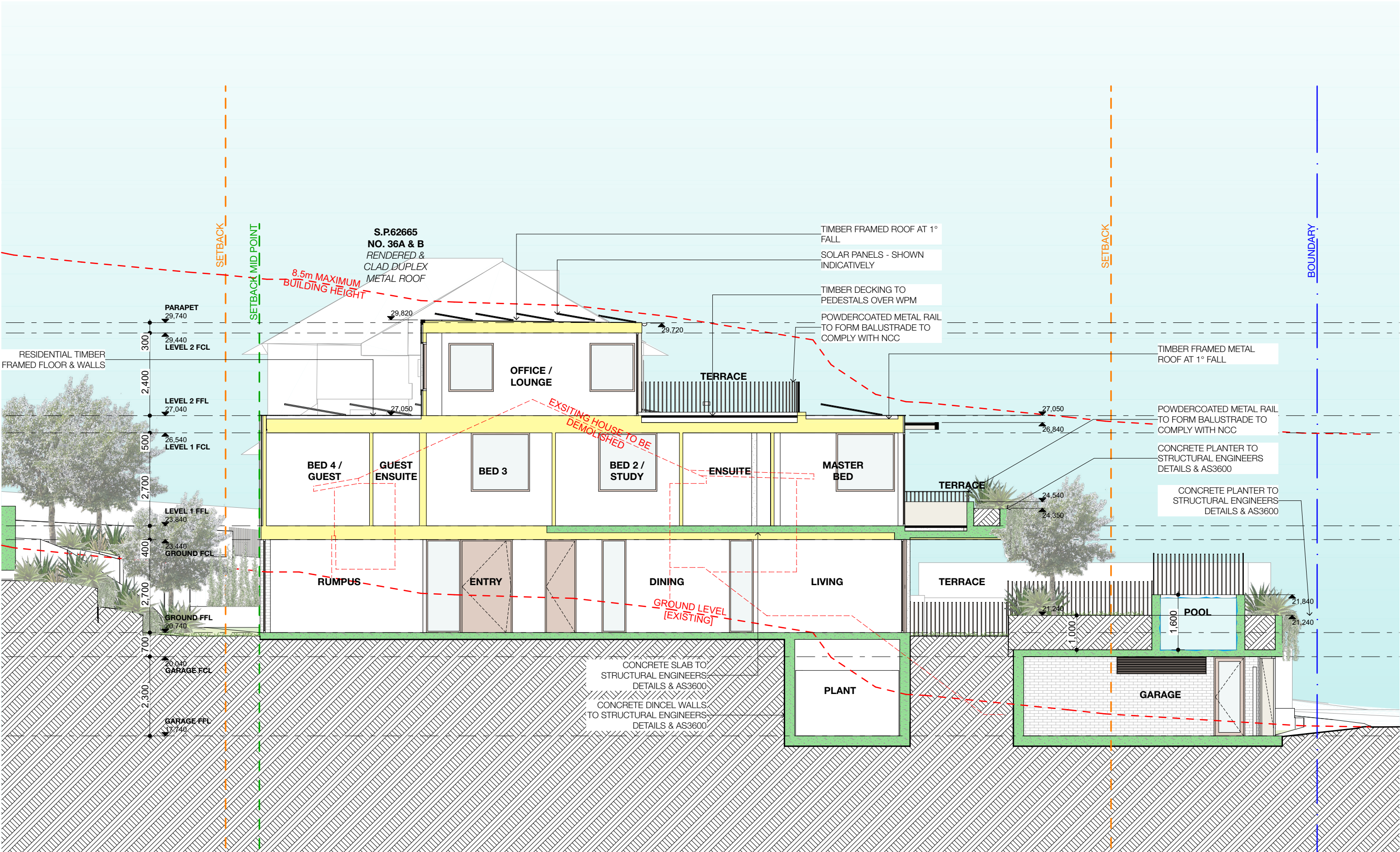
DRAWING TITLE:  
**LONG SECTION A**  
PROJECT ADDRESS:  
**38 UNDERCLIFF ROAD, NSW FRESHWATER 2096**  
**LOT 22 DP 5118**

PROJECT NUMBER:  
**24-091**  
ISSUE DATE:  
17/10/2024  
SCALE:  
1:100 @ A3  
DRAWN BY:  
JD  
CHECKED:  
AEH

DWG NUMBER:  
**DA4010**  
REVISION:  
**DA01**

REF: BMDout: bdb-26 - BMDcloud Basic for Archicad 26/24-091\_38 Undercliff Road Freshwater DA





REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	ARCHITECT:  35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>Nominated Architect Bridn Meyerson NSW Registration Number 4907</small>	DRAWING TITLE:  LONG SECTION B  PROJECT ADDRESS:  38 UNDERCLIFF ROAD, NSW FRESHWATER 2096  LOT 22 DP 5118	PROJECT NUMBER:  24-091  ISSUE DATE:  17/10/2024  SCALE:  1:100 @ A3	DWG NUMBER:  DA4011  REVISION:  DA01  DRAWN BY:  JD  CHECKED:  AEH
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION									
				1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.	LEGEND -- -- TO BE DEMOLISHED  AL ALUMINIUM B BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK  LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PC POWDER COATED PV PHOTO VOLTAGE RDR RENDER + PAINT RWI RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE	EXISTING BUILDING  CONCRETE CONCRETE MASONRY  FRAMING  GROUND  GRAVEL / LOOSE FILL  INSULATION  STONE  CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES						

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091\_38 Undercliff Road Freshwater\_D4

REF: BMDout: bdb-26 - BMDcloud Basic for ArchiCad 26/24-091\_38 Undercliff Road Freshwater DA





### REAR LANE ELEVATION

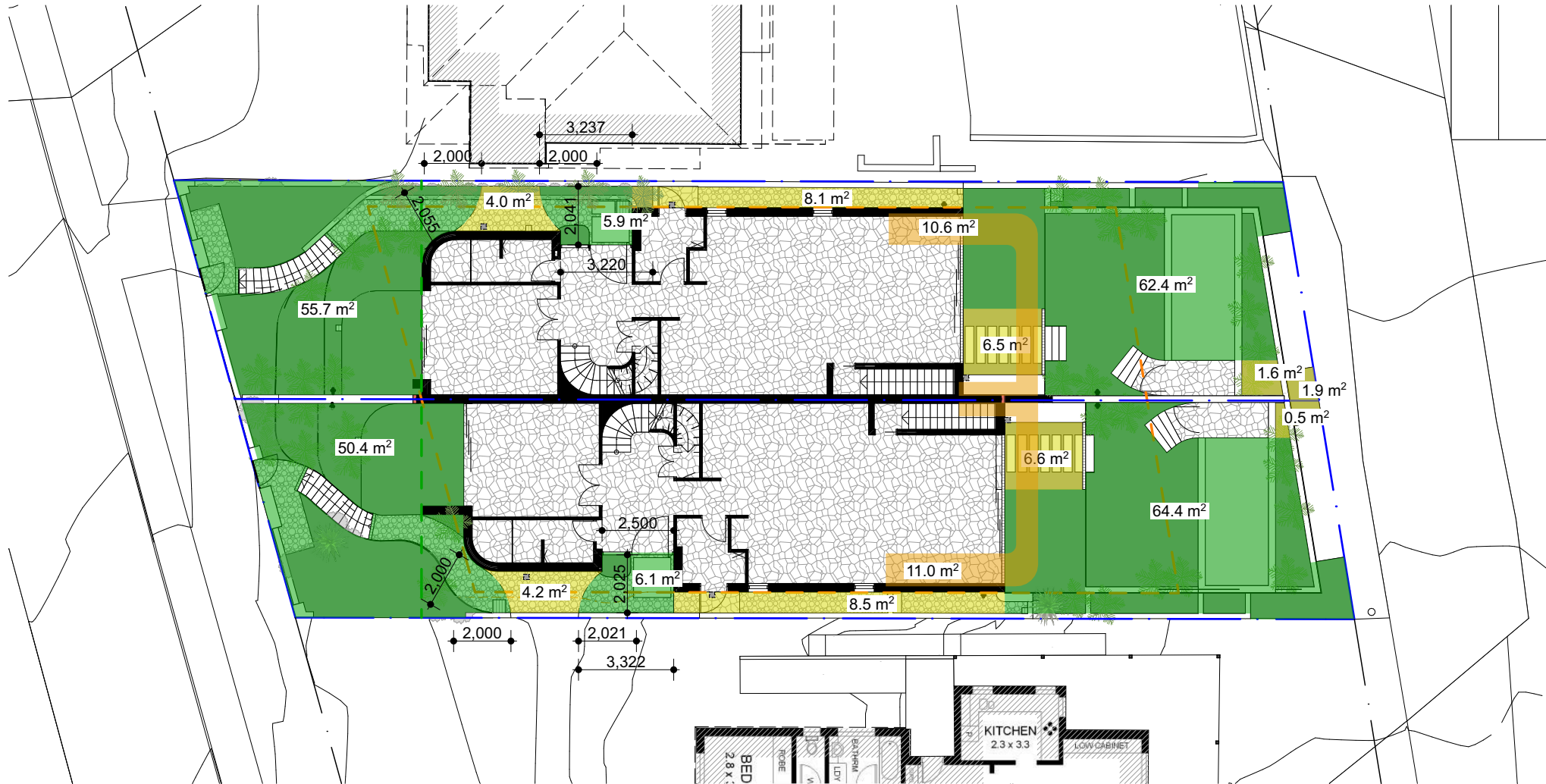
REV				INIT	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIC COMMITMENTS (ALL OTHER BASIC COMMITMENTS AS PER BASIC CERTIFICATE NO. 17684066 AND STAMPED PLANS)	ARCHITECT:  35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 <a href="http://www.mhndu.com">www.mhndu.com</a> <small>Nominated Architect Brahm Meyerstein NSW Registration Number 46027</small>	DRAWING TITLE:  EXTERNAL FINISHES  PROJECT ADDRESS:  38 UNDERCLIFF ROAD, NSW FRESHWATER 2096  LOT 22 DP 5118	PROJECT NUMBER:  24-091  ISSUE DATE:  17/10/2024  SCALE:  NTS @A3	DWG NUMBER:  DA6000  REVISION:  DA01  DRAWN BY:  JD  CHECKED:  AEH				
DA01				JD	17/10/2024	DEVELOPMENT APPLICATION													
							1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.	<div>LEGEND</div> <div>--- TO BE DEMOLISHED</div> <div>AL ALUMINIUM LB LETTER BOX B BASIN LD LINEAR DRAIN BWBK BRICK WORK MD MANTLE DECK CCT CORK CT CERAMIC TILE D DRYER PV PHOTO VOLTAC DB ELEC BOARD RP RENDER + PAINT DP DOWN PIPE RWH RAINWATER HEAD FG FIBRE CEMENT ST STONE GM GAS MAIN T TIMBER KS KITCHEN SINK WM WASH MACHINE</div> <div>MATERIAL CUT</div> <div>--- EXISTING BUILDING</div> <div>--- CONCRETE --- BLOCK / BRICK --- MASONRY --- FRAMING --- GROUND --- GRAVEL / LOOSE FILL --- INSULATION --- STONE</div> <div>MATERIAL SURFACE</div> <div>--- CONCRETE --- BLOCK / BRICK --- RENDER --- STONE / PAVING --- TIMBER --- GLAZING --- SOFT LANDSCAPING --- GRAVEL / PEBBLES</div>	2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.										
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LANDSCAPED AREA					
CONTROL	AREA m²	SITE 576.7	% 41.9% [241.7m²]	REQUIRED 40% [230.7m²]	COMPLIES YES

## CALCULATIONS

TOTAL COMPLYING AREAS	241.7m <sup>2</sup>	41.9%
TOTAL ADDITIONAL AREAS [GROUND]	43.5m <sup>2</sup>	7.6%
TOTAL ADDITIONAL AREAS [FIRST]	21.6m <sup>2</sup>	3.7%
<b>TOTAL</b>	<b>306.8m<sup>2</sup></b>	<b>53.2%</b>



REV

INIT.

DATE

REVISION DETAILS

DA01

JD

17/10/2024

DEVELOPMENT APPLICATION

GENERAL NOTES

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DA LEGEND

-- TO BE DEMOLISHED

AL ALUMINIUM

B BASIN

CKT COOK TOP

CT CERAMIC TILE

D DRYER

DB ELEC BOARD

DP DOWN PIPE

FC FIBRE CEMENT

GM GAS MAIN

KS KITCHEN SINK

LB LETTER BOX

LD LINEAR DRAIN

MD METAL DECK

OF OVERFLOW

PC POWDER COATED

PV PHOTO VOLTAIC

R RENDER + PAINT

RWH RAINWATER HEAD

ST STONE

T TIMBER

WM WASH MACHINE

MATERIAL CUT

EXISTING BUILDING

CONCRETE

MASONRY

FRAMING

GROUND

GRAVEL / LOOSE FILL

INSULATION

STONE

MATERIAL SURFACE

CONCRETE

BLOCK / BRICK

RENDER

STONE / PAVING

PHOTO VOLTAIC

GLAZING

SOFT LANDSCAPING

GRAVEL / PEBBLES

BASIX COMMITMENTS

(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:

MHNDU

35 RICHARDS LANE

SURRY HILLS SYDNEY / NSW 2010

T +61 2 9101 1111

F +61 2 9101 1100

www.mhndu.com

Nominated Architect

Enid Mado Westcott

MHNDU Design Union Pty Ltd.

ABN 94 003 717 682

NSW Registration Number 4907

DRAWING TITLE:

LANDSCAPED AREA CALCULATIONS

PROJECT ADDRESS:

38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:

24-091

ISSUE DATE:

17/10/2024

SCALE:

1:200 @ A3

DWG NUMBER:

DA9100

REVISION:

DA01

CHECKED:

AEH

REF: BBA000: hcb-26 - BBA000: Basic for Archibud 2024-091: 38 Undercliff Road Freshwater, DA

PURPOSE	VOLUME
EXCAVATION - BUILDING	302.67m³
EXCAVATION - PARKING	82.80m³
EXCAVATION - LANDSCAPE	169.14m³
FILL - ALL	39.10m³



REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION	<ol style="list-style-type: none"> <li>ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.</li> <li>DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.</li> <li>CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.</li> <li>MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.</li> <li>CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.</li> <li>CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED.</li> <li>MHNDU TO REVIEW ALL CONTRACTORS' DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.</li> <li>PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.</li> </ol>	<p><b>LEGEND</b></p> <p>TO BE DEMOLISHED</p> <p>AL ALUMINIUM B BASIN BWB BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FM FIRE MANTLE KM KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OIF OVERFLOW PIC POWDER COATED PV PHOTO VOLTAGE RP RENDER + PAINT RW RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE</p>	<p><b>EXISTING BUILDING</b></p> <p>CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE</p>	<p><b>CONCRETE</b> BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES</p>	<p><b>BASIX COMMITMENTS</b> (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)</p>	<p>ARCHITECT:</p> <p><b>MHNDU</b> NION</p> <p>35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 <a href="http://www.mhndu.com">www.mhndu.com</a></p> <p>Nominated Arch/Recd Bridie Mayne DA01 04 003 717 682 NSW Registration Number 4907</p>	<p>DRAWING TITLE:</p> <p><b>EXCAVATION / OR FILL CALCULATIONS</b></p> <p>PROJECT ADDRESS:</p> <p><b>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</b></p> <p><b>LOT 22 DP 5118</b></p>	<p>PROJECT NUMBER:</p> <p><b>24-091</b></p> <p>ISSUE DATE:</p> <p><b>17/10/2024</b></p> <p>SCALE:</p> <p><b>1:200 @ A3</b></p>	<p>DWG NUMBER:</p> <p><b>DA9101</b></p> <p>REVISION:</p> <p><b>DA01</b></p> <p>CHECKED:</p> <p><b>AEH</b></p>

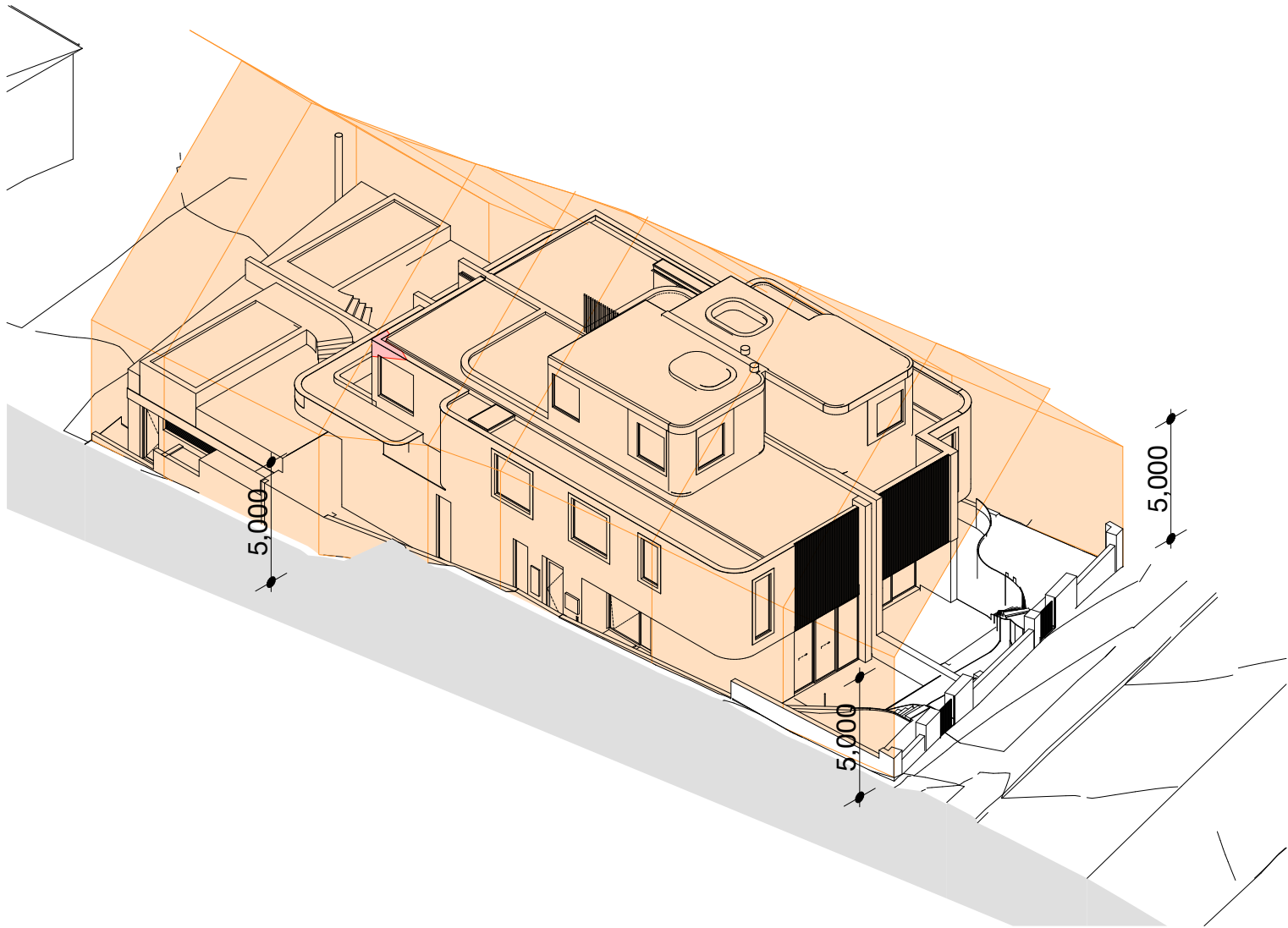


ENVELOPE DIAGRAMS

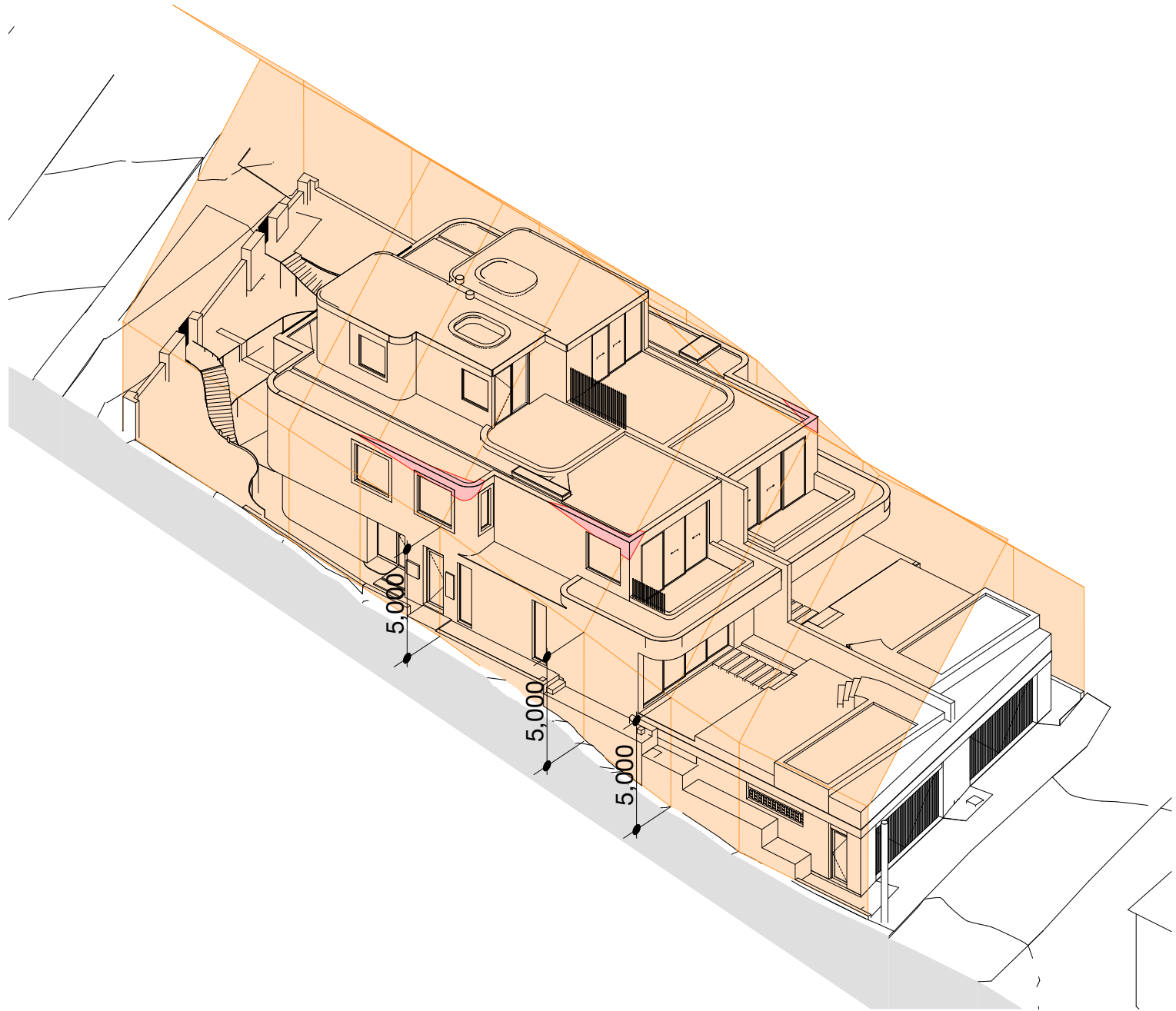
ENVELOPE

**B3 Side Boundary Envelope**  
1. Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of **5 metres**

- BOUNDARY ENVELOPE PLANE
- BOUNDARY ENVELOPE PLANE PROTRUSION



1 PLANNING DIAGRAM - BUILDING ENVELOPE - WEST

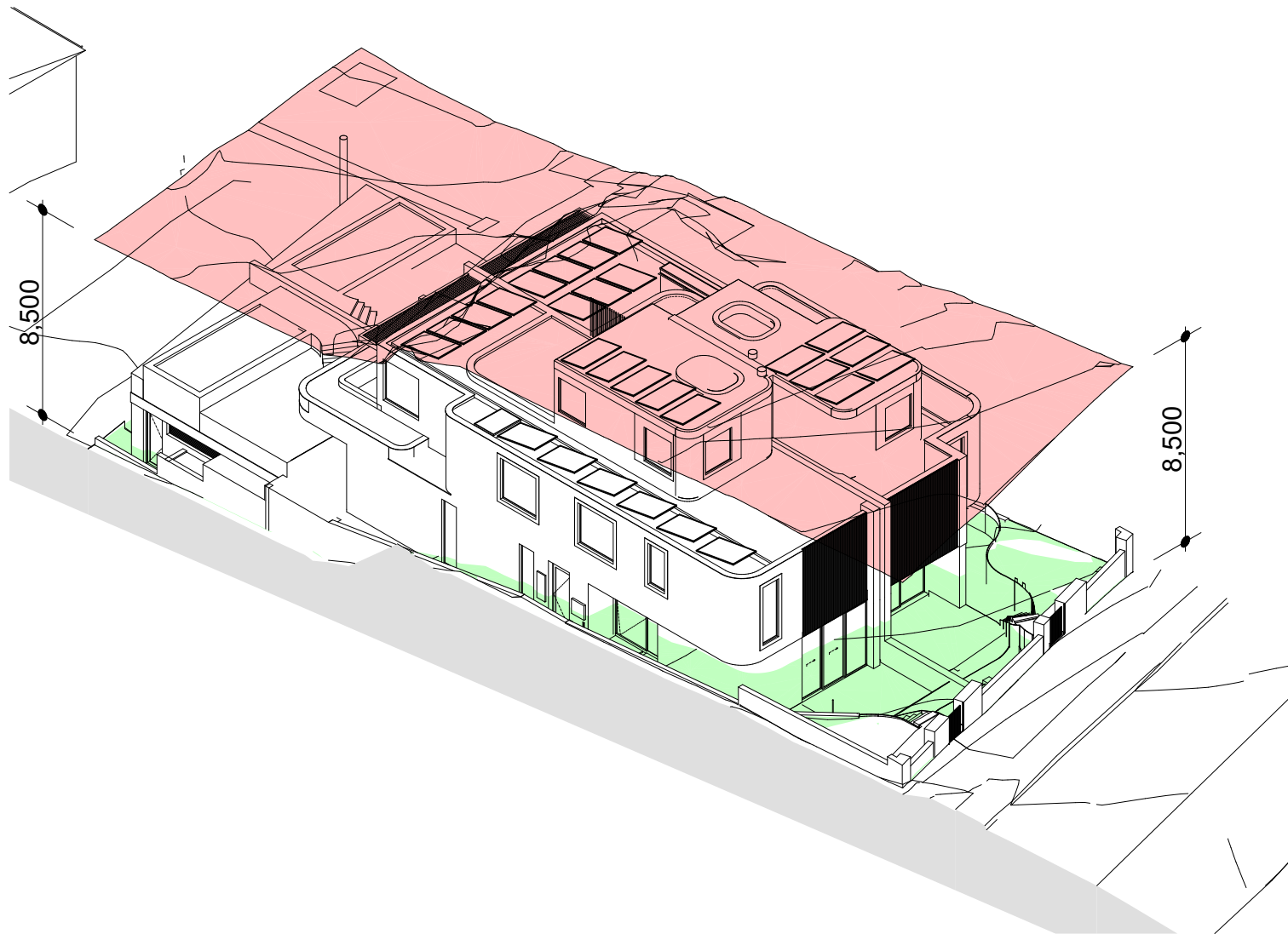
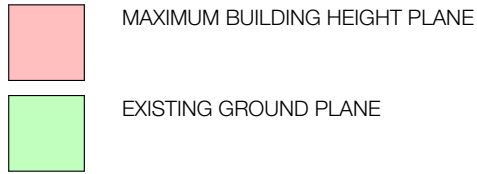


2 PLANNING DIAGRAM - BUILDING ENVELOPE- EAST

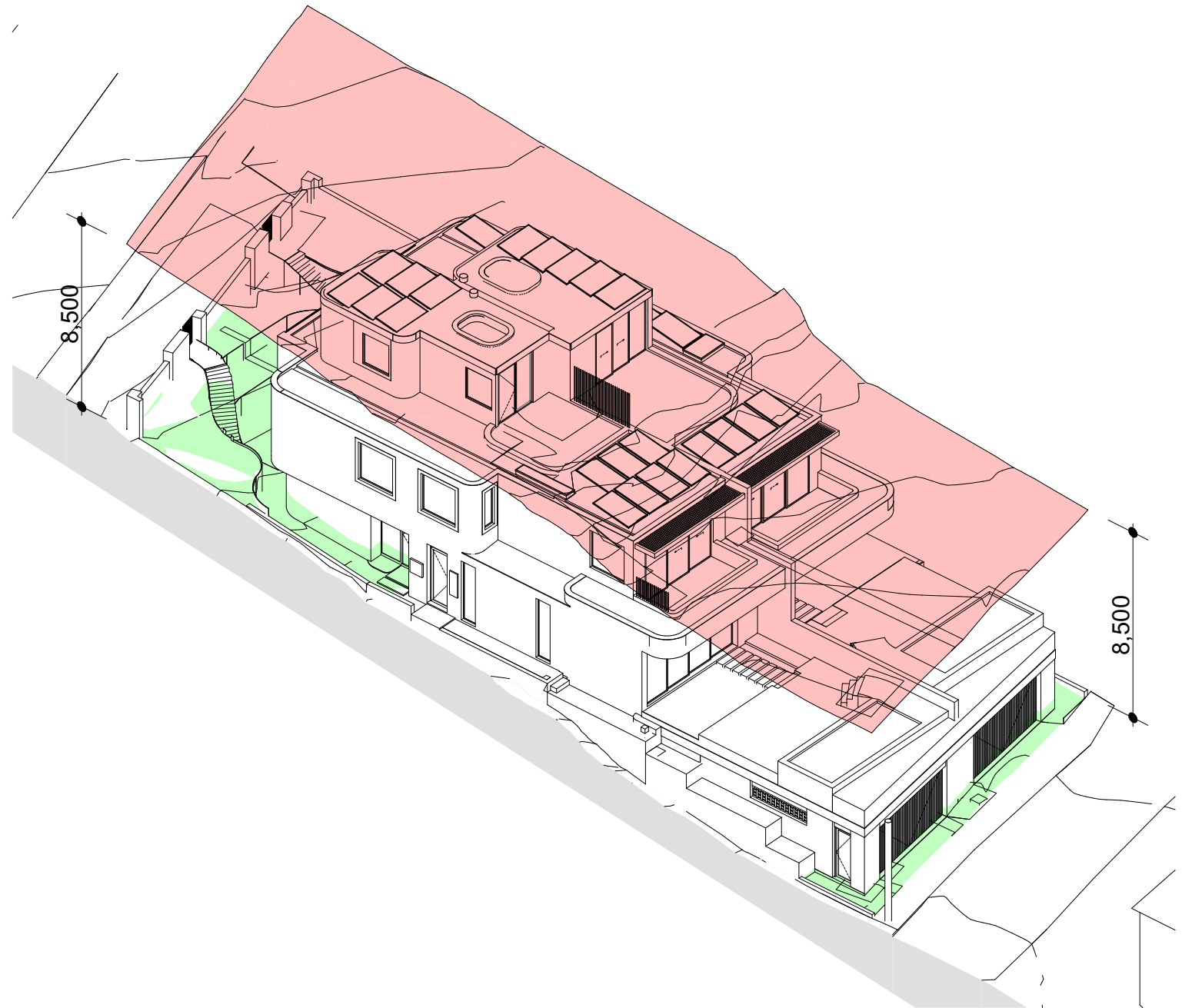
REV	INIT.	DATE	REVISION DETAILS	GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)	ARCHITECT: <div>MHNDU</div> <div>35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com</div> <div><div>Nominated Architect</div><div>Bridin Meyerson</div><div>NSW Registration Number 4907</div></div>	DRAWING TITLE: <div>ENVELOPE DIAGRAMS</div> <div>PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118</div>	PROJECT NUMBER: <div>24-091</div> <div>ISSUE DATE: 17/10/2024</div> <div>SCALE: NTS @ A3</div>	DWG NUMBER: <div>DA9300</div> <div>REVISION: DA01</div> <div>CHECKED: AEH</div>
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION									
				1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.	LEGEND -- TO BE DEMOLISHED	AL ALUMINIUM B BASIN C CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD MATE DECK OIF OVERFLOW PC POWDER COATED PV PHOTO VOLTAGE RP RENDER + PAINT RW RAINWATER HEAD ST STONE WM WASH MACHINE	EXISTING BUILDING CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE	CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES				
				2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.								
				3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.								
				4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.								
				5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.								
				6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED								
				7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.								
				8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.								
REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA												

**MAXIMUM BUILDING HEIGHT**  
**R2 CONTROL - 8.5m**

## R2 CONTROL - 8.5m



### PLANNING DIAGRAM - MAXIMUM BUILDING HEIGHT - WEST



### PLANNING DIAGRAM - MAXIMUM BUILDING HEIGHT - EAST

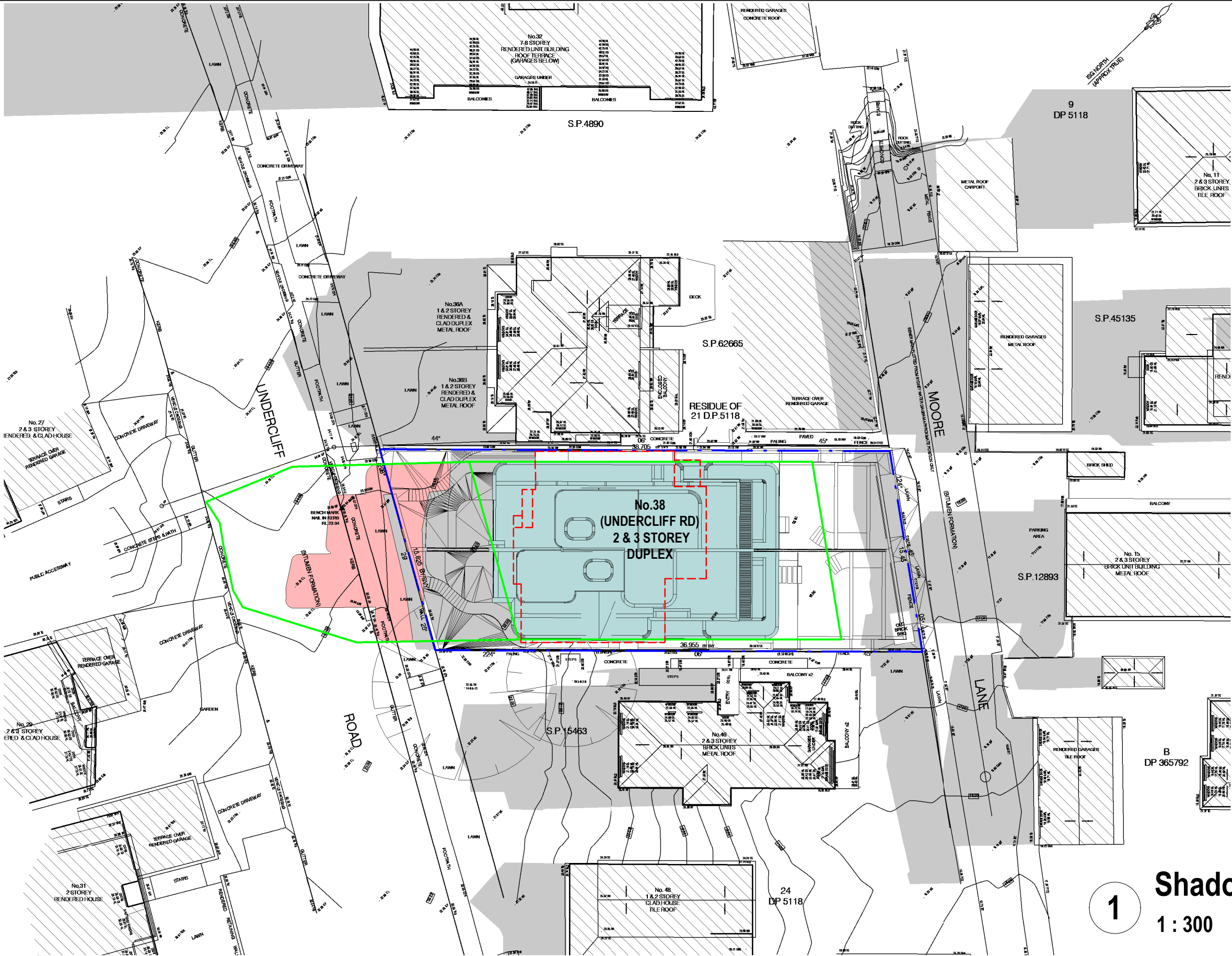
REV	INIT	DATE	REVISION DETAILS	<div>GENERAL NOTES</div> <div>1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSIST</div> <div>2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.</div> <div>3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK</div> <div>4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.</div> <div>5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.</div> <div>6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED</div> <div>7. MHNDU TO REVIEW ALL CONTRACTOR'S DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.</div> <div>8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.</div>	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	<div>BASIX COMMITMENTS</div> <div>(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)</div>	ARCHITECT:	DRAWING TITLE:	PROJECT ADDRESS:	PROJECT NUMBER:	DWG NUMBER:
DA01	JD	17/10/2024	DEVELOPMENT APPLICATION		<div>LEGEND</div> <div>TO BE DEMOLISHED</div> <div>AL ALUMINIUM</div> <div>B BASIN</div> <div>BWB BRICK WORK</div> <div>CKT COOK TOP</div> <div>CT CERAMIC TILE</div> <div>DB ELEC BOARD</div> <div>DP DOWN PIPE</div> <div>7. MHNDU TO REVIEW ALL CONTRACTOR'S DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.</div> <div>8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.</div>	<div>EXISTING BUILDING</div> <div>CONCRETE</div> <div>MASONRY</div> <div>FRAMING</div> <div>GROUND</div> <div>GRAVEL / LOOSE FILL</div> <div>SOFT LANDSCAPING</div> <div>INSULATION</div> <div>STONE</div>	<div>CONCRETE</div> <div>BLOCK / BRICK</div> <div>RENDER</div> <div>STONE / PAVING</div> <div>TIMBER</div> <div>GLAZING</div> <div>STONE</div> <div>LANDSCAPING</div> <div>GRAVEL / PEBBLES</div>		<div>35 RICHARDS LANE</div> <div>SURRY HILLS SYDNEY NSW 2010</div> <div>T +61 2 9101 1111</div> <div>F +61 2 9101 1100</div> <div>www.mhndu.com</div> <div>Not a registered architect</div> <div>Not a registered architect</div> <div>Not a registered architect</div>	<div>MAXIMUM BUILDING HEIGHT DIAGRAMS</div> <div>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</div> <div>LOT 22 DP 5118</div>	<div>24-091</div> <div>17/10/2024</div> <div>SCALE:</div> <div>NTS @ A3</div>	<div>DA9301</div> <div>REVISION:</div> <div>DA01</div> <div>CHECKED:</div> <div>AEH</div>	





REV. INIT. DATE REVISION DETAILS				GENERAL NOTES	DA LEGEND	MATERIAL CUT	MATERIAL SURFACE	BASIC COMMITMENTS	ARCHITECT:	DRAWING TITLE:	PROJECT NUMBER:	DWG NUMBER:	
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- LEGEND:**
- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
  - DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
  - DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
  - DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW
  - DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW EXCEEDING COMPLYING ENVELOPE
  - DENOTES AREA OF PROPOSED REDUCTION OF BUILDING SHADOW (STRUCTURES TO BE DEMOLISHED)
  - DENOTES OUTLINE & SHADOW OF COMPLYING ENVELOPE (CALC. FROM SETBACKS, BUILDING HEIGHT LIMIT & WALL HEIGHT LIMIT)

**NOTE:**

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL & LEVEL SURVEY BY CMS SURVEYORS REF NO. 14689C DATED 4/10/24 & PLANS & MODELS SUPPLIED BY MHNDU REV. PRO1 DATED 4-10-24

**Shadowing June 21st 9.00am**  
1 : 300

**Cad Draft P/L**

ABN 27 083 288 153  
SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS  
MOBILE: 0410 699919  
info@caddraftnsw.com.au

No.	Description	Date
A	DA SUBMISSION	14-10-24

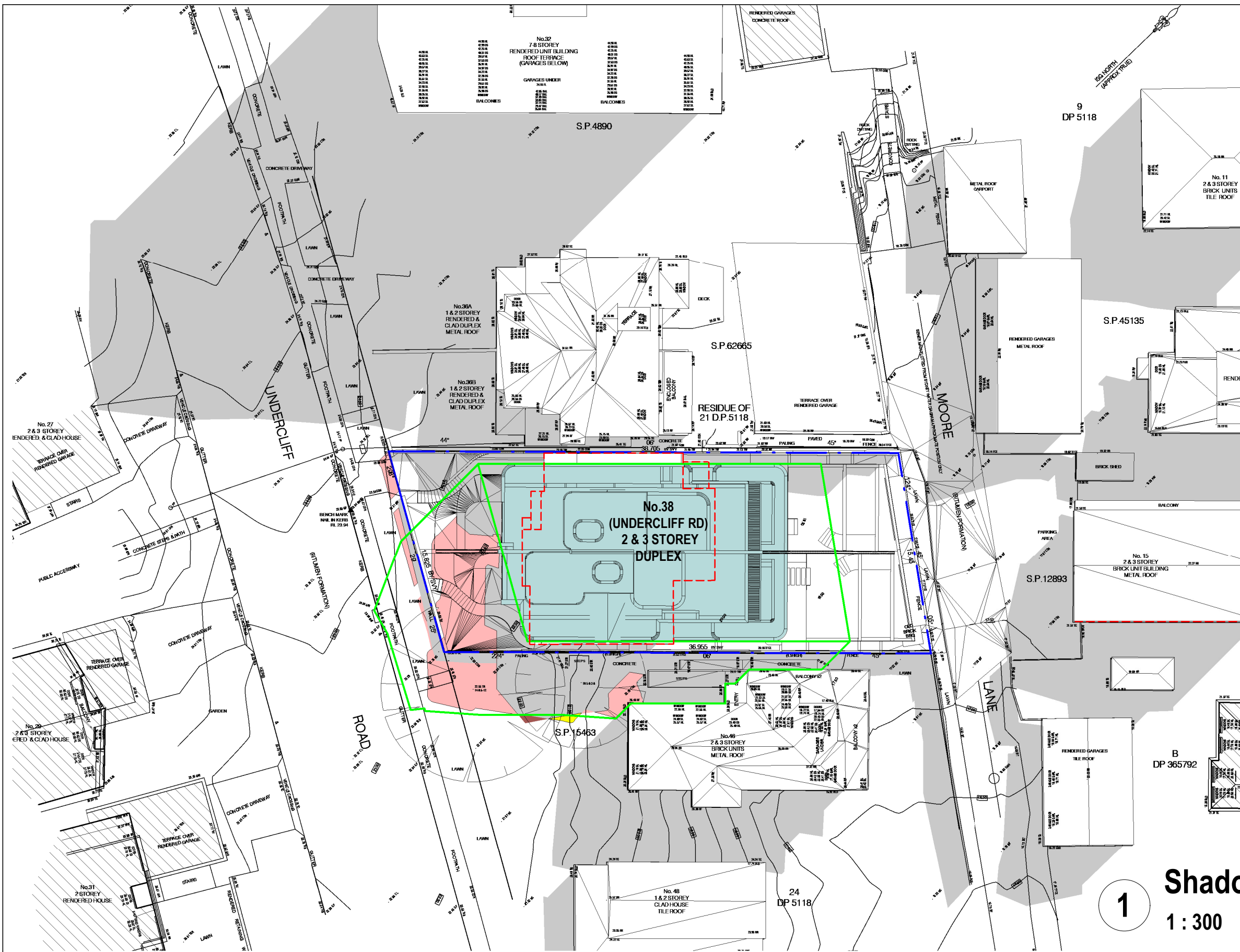
SHADOW DIAGRAMS  
No.38 UNDERCLIFF RD,  
FRESHWATER

CLIENT: ED EVE

**Shadowing June 21st 9.00am**

Project number	24-254	<b>A100</b>	
Date	14-10-2024		
Drawn by	KP		
Checked by	JD		
		Scale	1 : 300





- LEGEND:**
- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
  - DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
  - DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
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**1** Shadowing June 21st 12.00pm  
1 : 300

**Cad Draft P/L**

ABN 27 083 288 153  
SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

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info@caddraftnsw.com.au

No.	Description	Date
A	DA SUBMISSION	14-10-24

SHADOW DIAGRAMS  
No.38 UNDERCLIFF RD,  
FRESHWATER

CLIENT: ED EVE

Shadowing June 21st 12.00pm

Project number	24-254	<b>A101</b>
Date	14-10-2024	
Drawn by	KP	
Checked by	JD	Scale
		1 : 300



**LEGEND:**

- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
- DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
- DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
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**Shadowing June 21st 3.00pm**  
1 : 300

**Cad Draft P/L**

ABN 27 083 288 153  
SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS  
MOBILE: 0410 699919  
info@caddraftnsw.com.au

No.	Description	Date
A	DA SUBMISSION	14-10-24

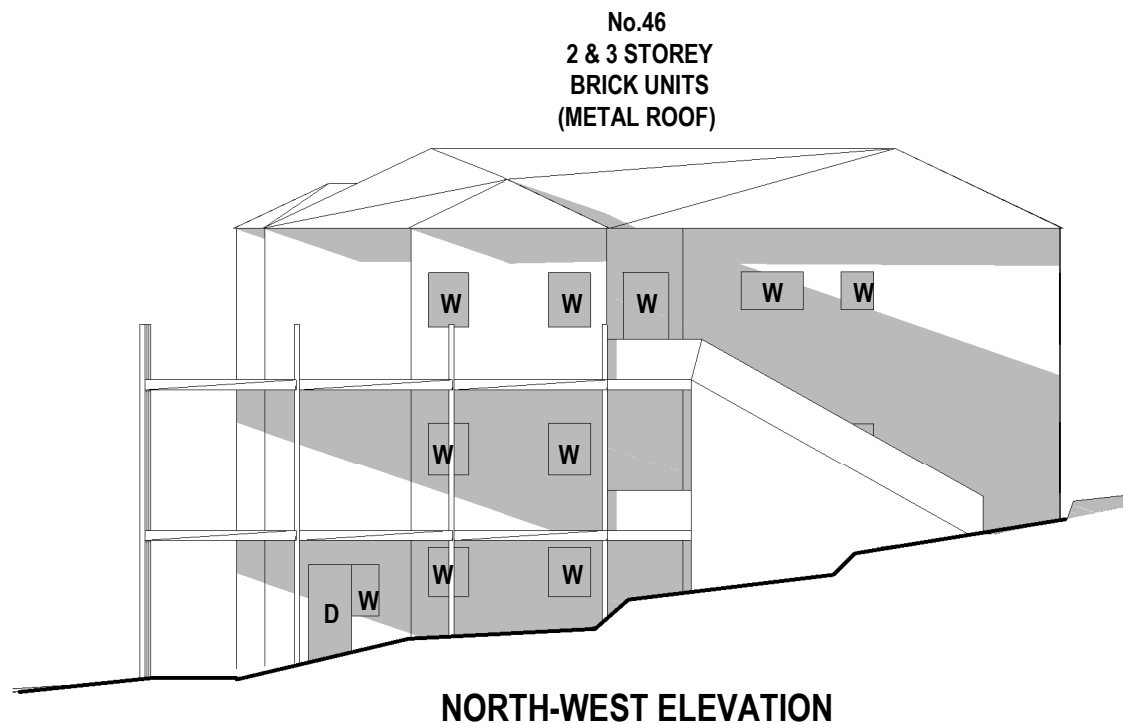
SHADOW DIAGRAMS  
No.38 UNDERCLIFF RD,  
FRESHWATER

CLIENT: ED EVE

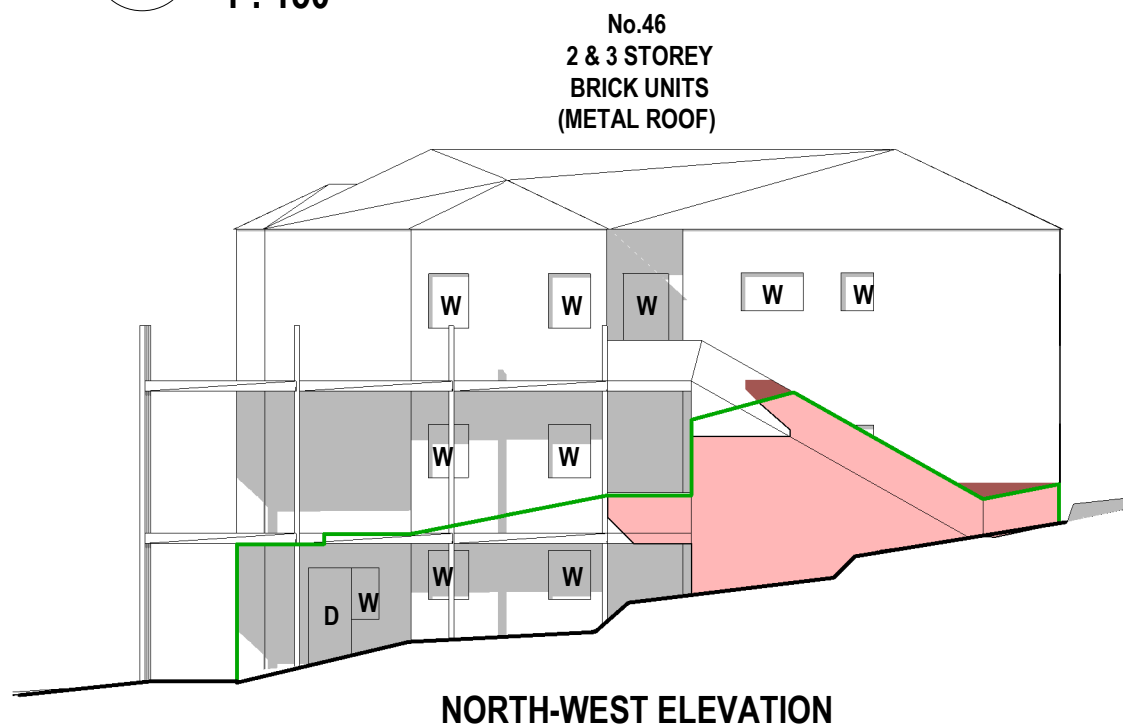
**Shadowing June 21st 3.00pm**

Project number	24-254	<b>A102</b>
Date	14-10-2024	
Drawn by	KP	
Checked by	JD	Scale
		1 : 300

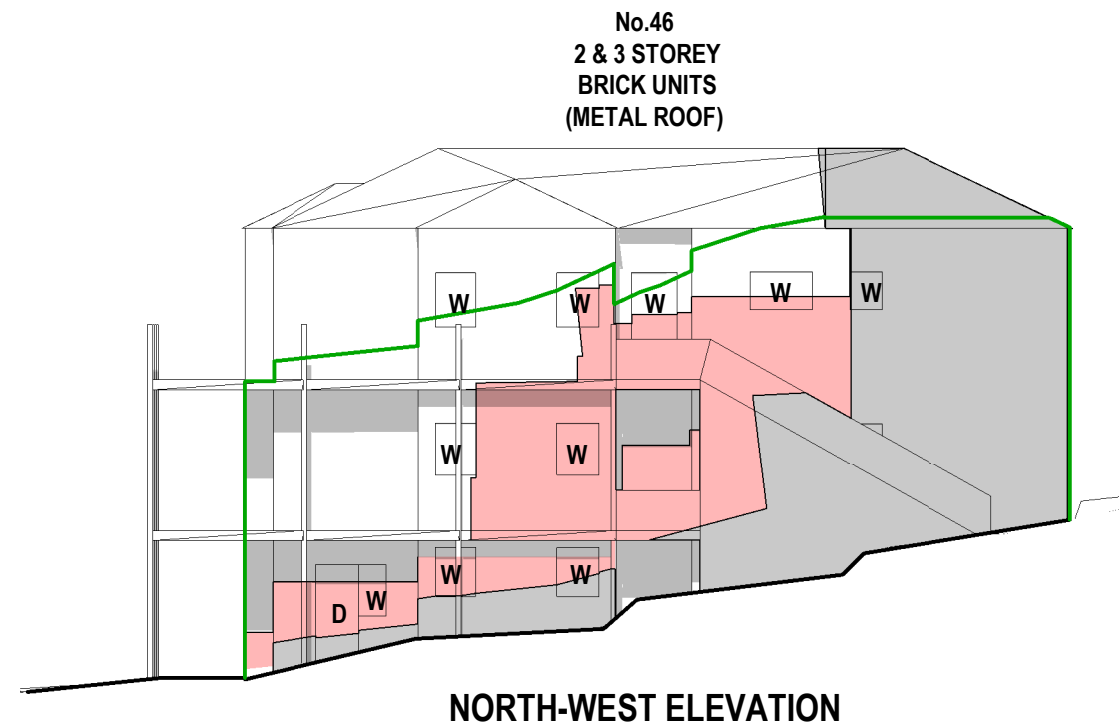




1 June 21st 9.00am  
1 : 150



2 June 21st 12.00pm  
1 : 150



3 June 21st 3.00pm  
1 : 150

LEGEND:

- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
- DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
- DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
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**Cad Draft P/L**  
ABN 27 083 288 153  
SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

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info@caddraftnsw.com.au

No.	Description	Date
A	DA SUBMISSION	14-10-24

SHADOW DIAGRAMS  
No.38 UNDERCLIFF RD,  
FRESHWATER  
  
CLIENT: ED EVE

June 21st - Elevational Shadows

Project number	24-254	A103	
Date	14-10-2024		
Drawn by	KP		
Checked by	JD	Scale	As indicated