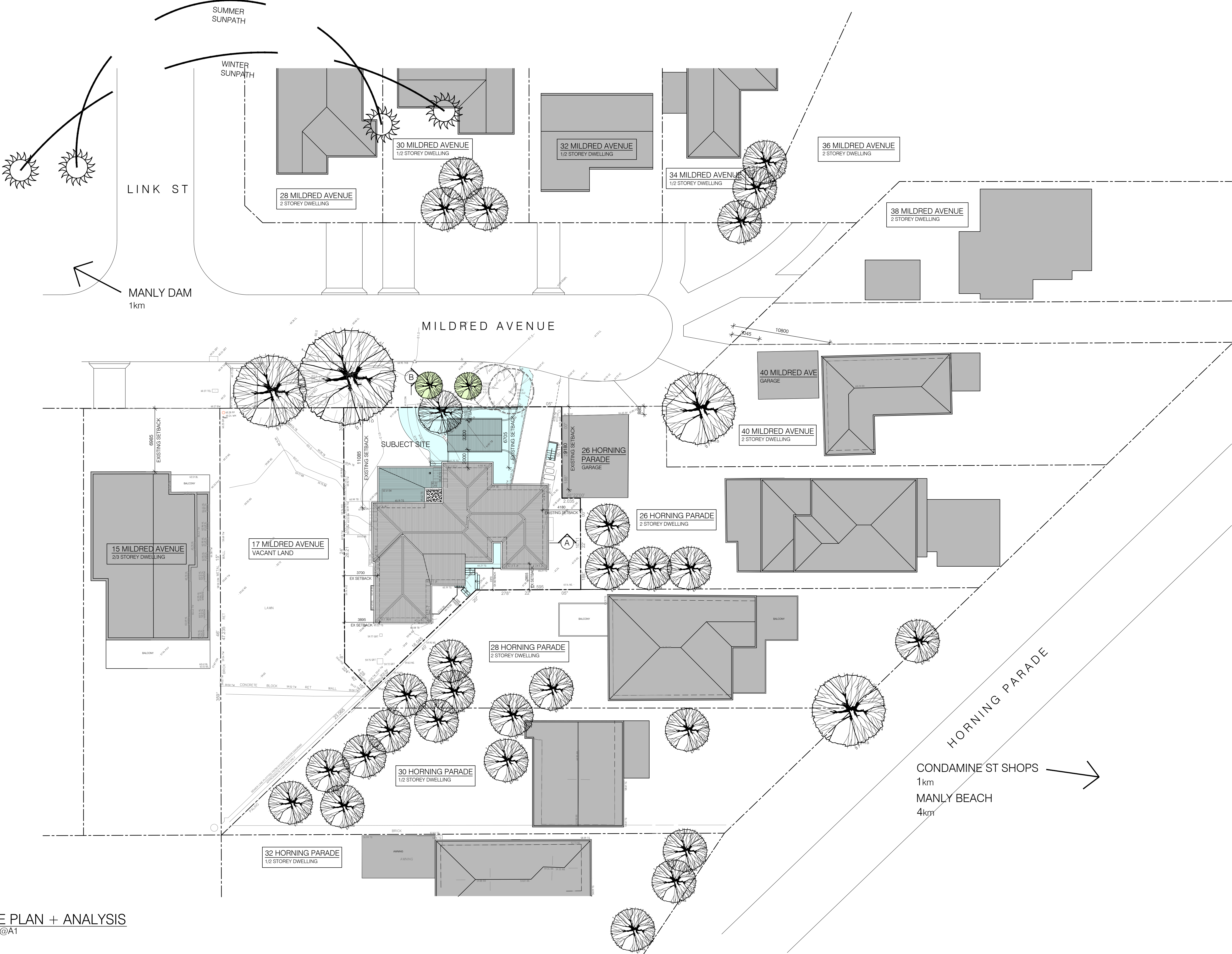


DEVELOPMENT APPLICATION



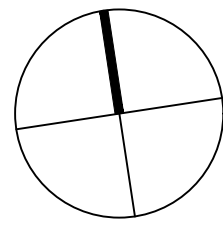
SITE PLAN + ANALYSIS
1:200@A1

NOT FOR CONSTRUCTION

"FIGURED DIMENSIONS TO BE
TAKEN IN PREFERENCE TO
SCALED READINGS."
"IF IN DOUBT, ASK!"

Issue	Amendment	Date
DA	DEVELOPMENT APPLICATION	FEB 2019

LEGEND:	
	EXISTING WALLS
	NEW WALLS
	DEMOLISHED WALLS
	BLUE INDICATES PROPOSED WORKS



Level 1
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Email studio@brenchleyarchitects.com
Brenchley Architects Pty Limited
ABN 44 060 165 942 Nominated Architect Julian Brenchley 6246



RESIDENTIAL ALTERATIONS +
ADDITIONS

address
19 MILDRED AVE,
MANLY VALE

drawing
SITE PLAN + ANALYSIS

SCALE: 1:200 @ A1
ISSUE: DA DATE: FEB 2019
DWG No.: 2018-015-A00

DEVELOPMENT APPLICATION

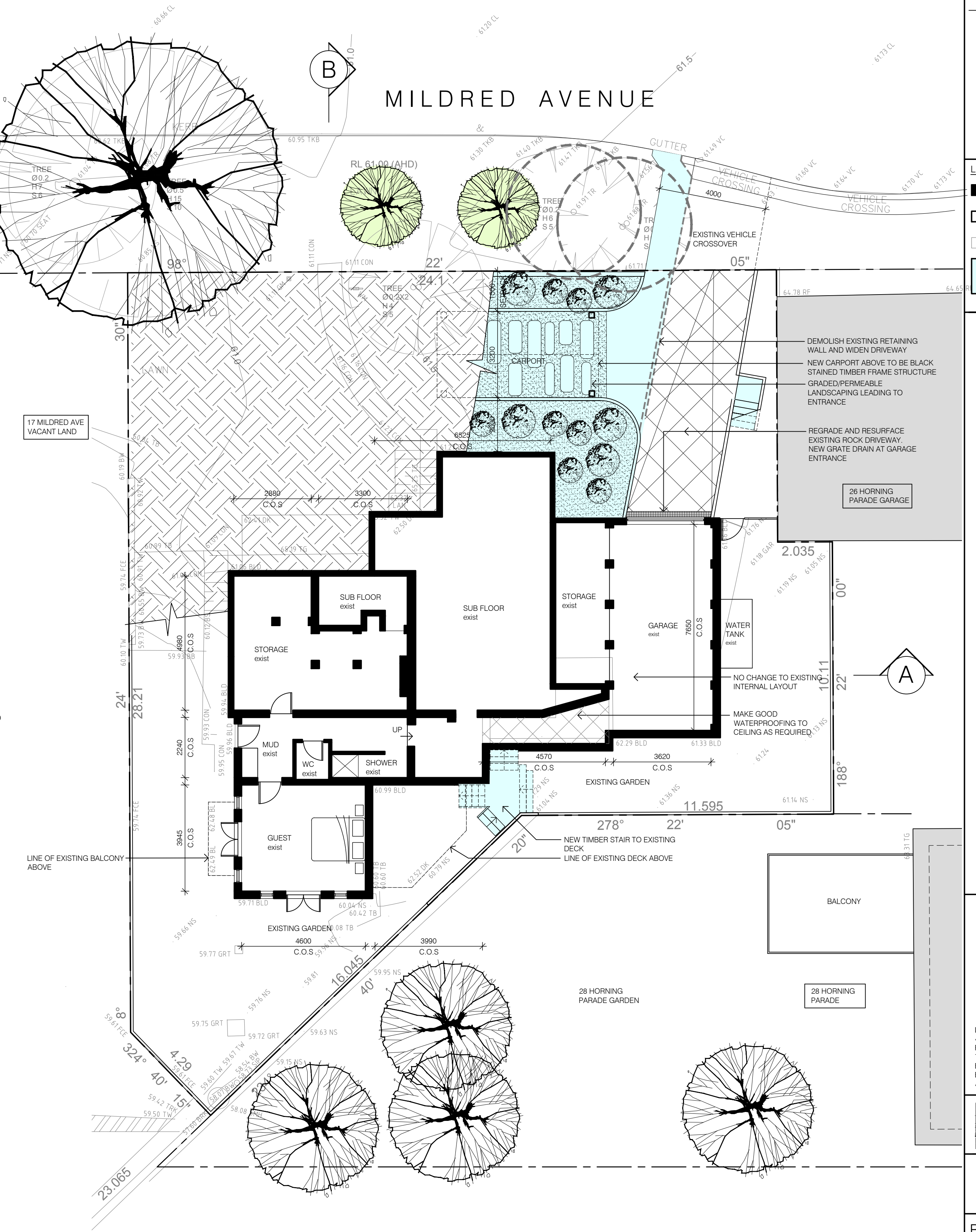
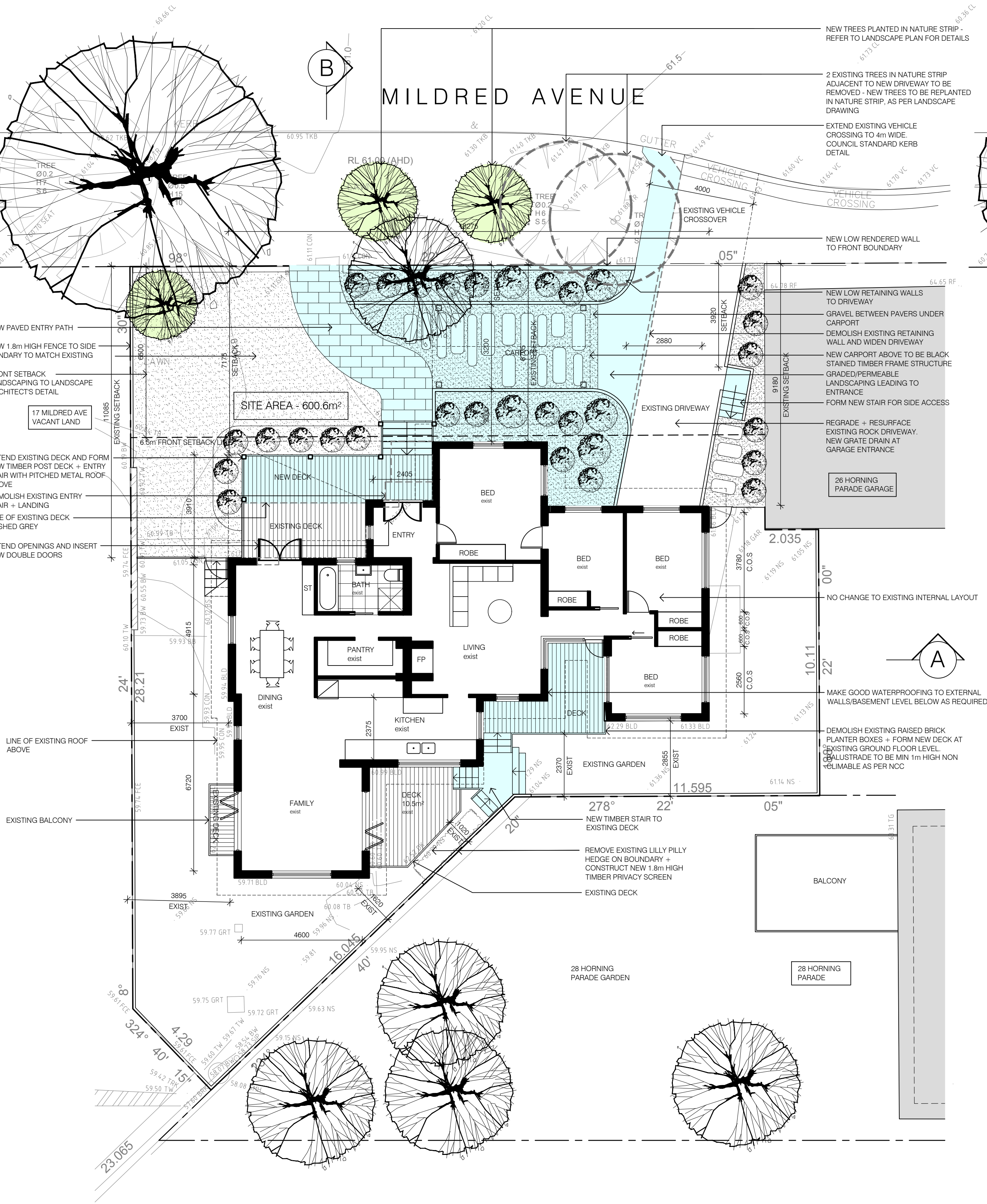
NOT FOR CONSTRUCTION

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Issue	Amendment	Date
DA	DEVELOPMENT APPLICATION	FEB 2019

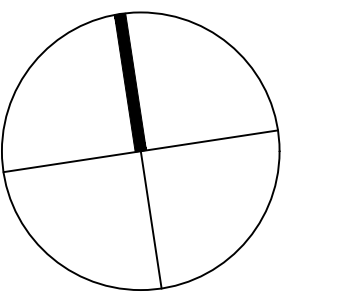
LEGEND:

- EXISTING WALLS
- NEW WALLS
- DEMOLISHED WALLS
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PROPOSED GROUND FLOOR PLAN
1:100@A1

PROPOSED LOWER GROUND FLOOR PLAN
1:100@A1



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RESIDENTIAL ALTERATIONS + ADDITIONS

address
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MANLY VALE

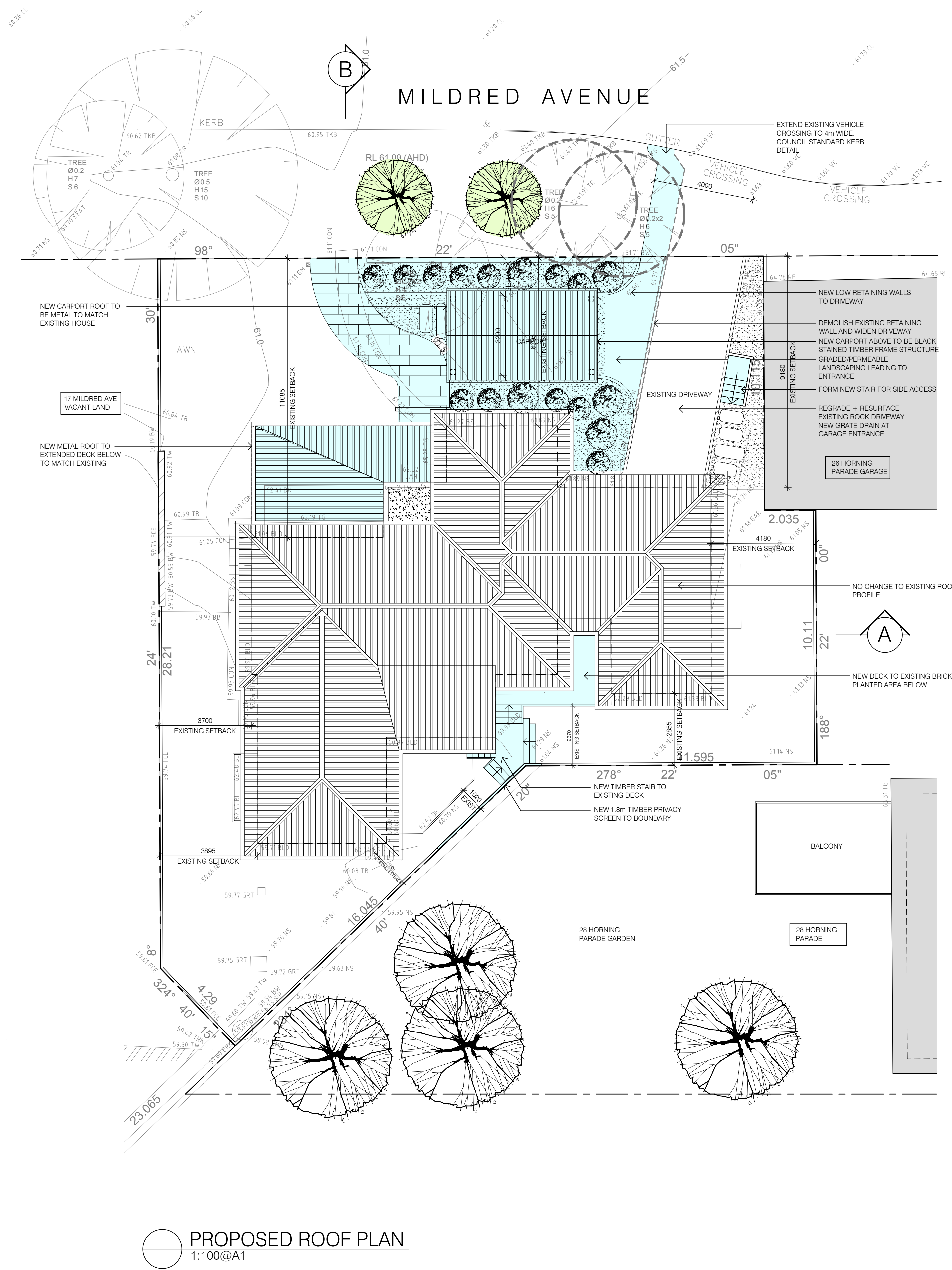
drawing
PLANS

SCALE: 1:100 @ A1

ISSUE: DA DATE: FEB 2019

DWG No.: 2018-015-A01

DEVELOPMENT APPLICATION



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"FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS."
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Issue	Amendment	Date
DA	DEVELOPMENT APPLICATION	FEB 2019

- LEGEND:
- EXISTING WALLS
 - NEW WALLS
 - DEMOLISHED WALLS
 - BLUE INDICATES PROPOSED WORKS



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RESIDENTIAL ALTERATIONS + ADDITIONS

address
19 MILDRED AVE,
MANLY VALE

drawing
ROOF PLAN

SCALE: 1:100 @ A1
ISSUE: DA DATE: FEB 2019
DWG No.: 2018-015-A02

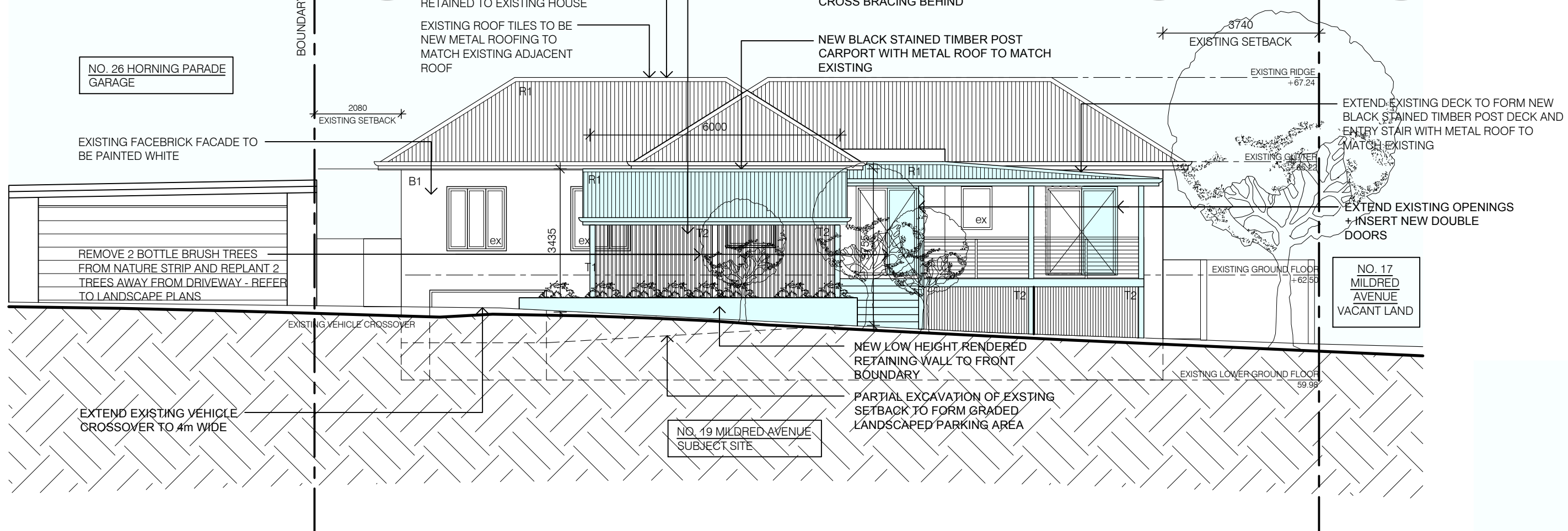
DEVELOPMENT APPLICATION

ALL EXISTING RIDGE HEIGHTS

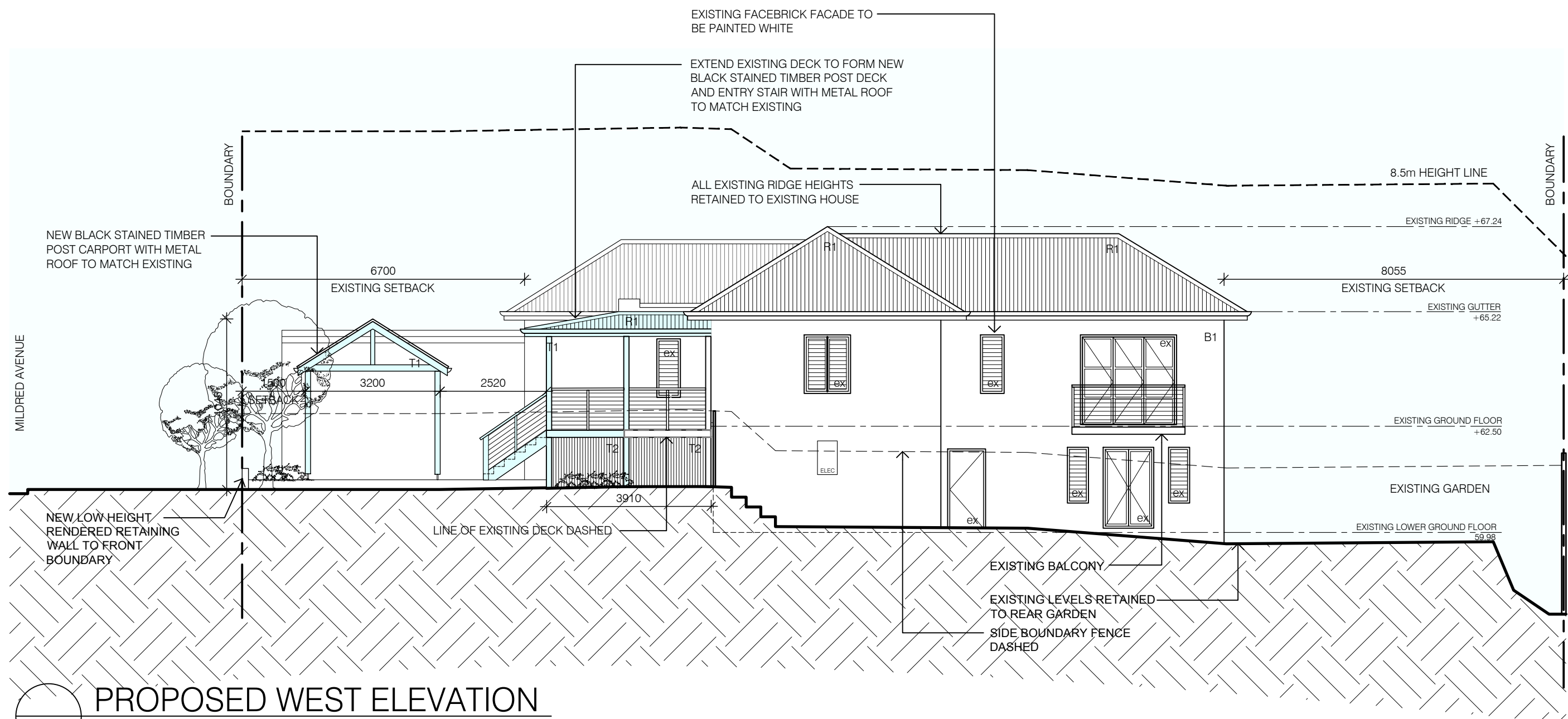
TIMBER BATTENS INSERT 50% OPEN

8'6" RISE HEIGHT LINE

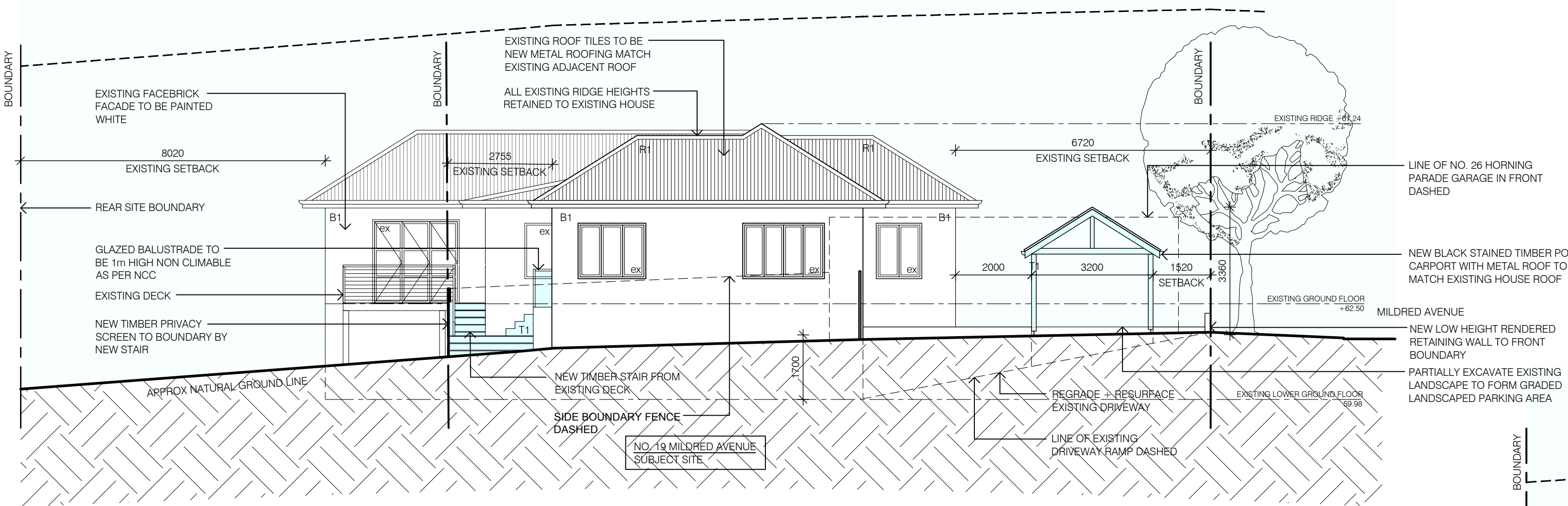
BOUNDARY



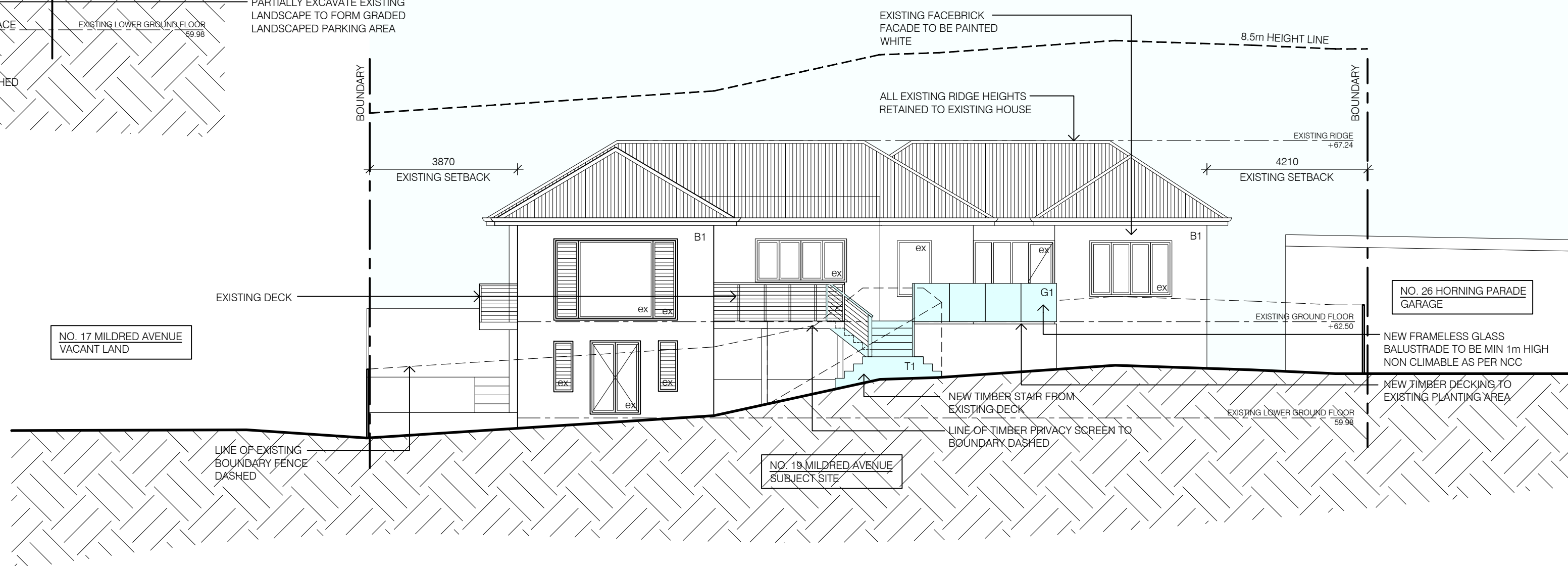
PROPOSED NORTH (FRONT) ELEVATION
1:100@A1



PROPOSED WEST ELEVATION
1:100@A1



PROPOSED EAST ELEVATION
1:100@A1



PROPOSED SOUTH ELEVATION
1:100@A1

NOT FOR CONSTRUCTION

"FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS."

"IF IN DOUBT, ASK!"

Issue	Amendment	Date
DA	DEVELOPMENT APPLICATION	FEB 2019

LEGEND:

-  EXISTING WALLS
 NEW WALLS
 DEMOLISHED WALLS
 BLUE INDICATES PROPOSED WORKS

EXTERNAL FINISHES LEGEND

- | | |
|----|---|
| B1 | WHITE PAINTED BRICK |
| R1 | METAL ROOFING |
| W1 | TIMBER FRAMED WINDOWS + DOORS |
| G1 | FRAMELESS GLASS BALUSTRADE |
| T1 | BLACK STAINED TIMBER STRUCTURE |
| T2 | BLACK STAINED TIMBER BATTENS - 50% OPEN |



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RESIDENTIAL ALTERATIONS +
ADDITIONS

address
19 MILDRED AVE,
MANLY VALE

drawing
ELEVATIONS

SCALE: 1:100 @ A1

SCALE: 1:100 @ A1

ISSUE: DA

DWG No.: 2018-015-A03

DEVELOPMENT APPLICATION

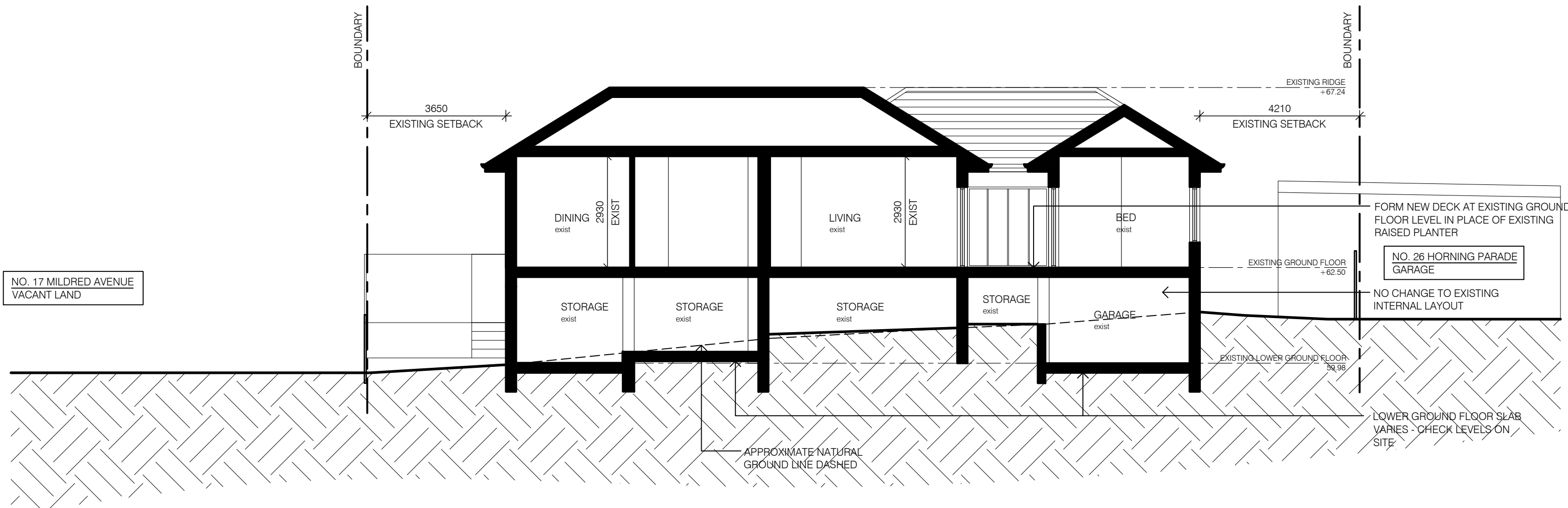
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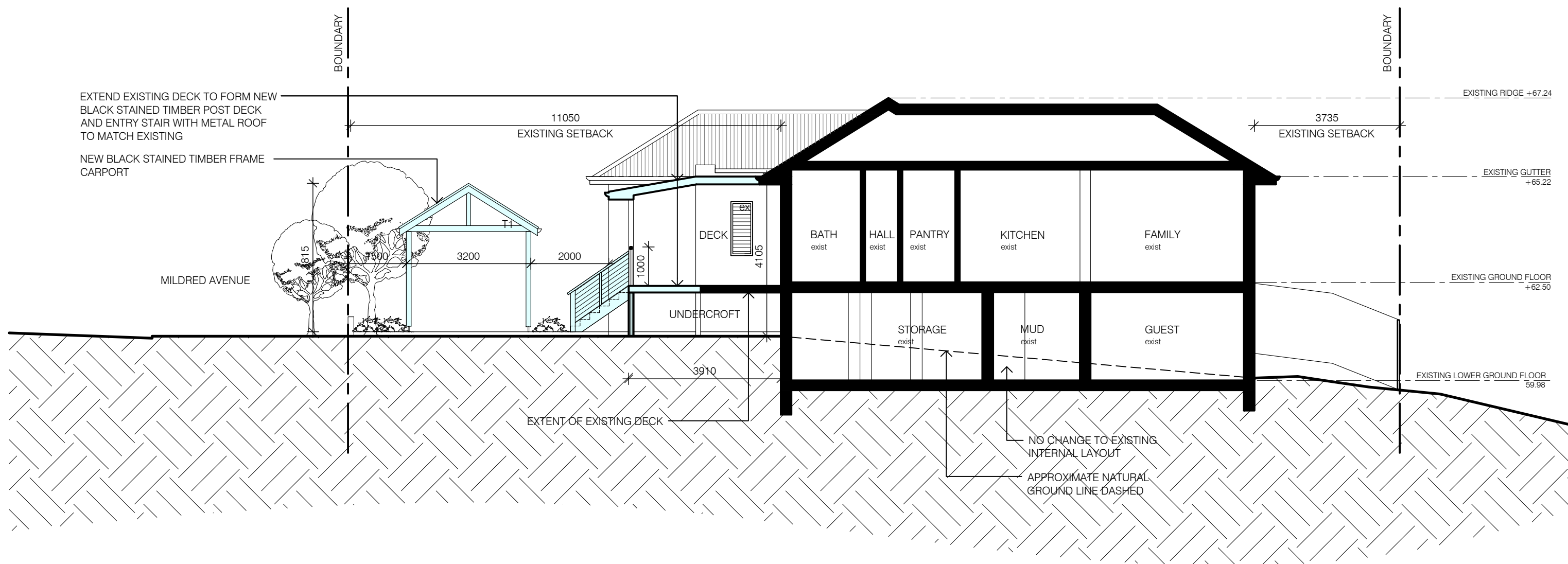
Issue	Amendment	Date
DA	DEVELOPMENT APPLICATION	FEB 2019

LEGEND:

- EXISTING WALLS
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PROPOSED SECTION A
1:100@A1



PROPOSED SECTION B
1:100@A1



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RESIDENTIAL ALTERATIONS + ADDITIONS

address
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MANLY VALE

drawing
SECTIONS

SCALE: 1:100 @ A1
ISSUE: DA DATE: FEB 2019
DWG No.: 2018-015-A04

external finishes



BLACK STAINED TIMBER POST CARPORT WITH PITCHED ROOF



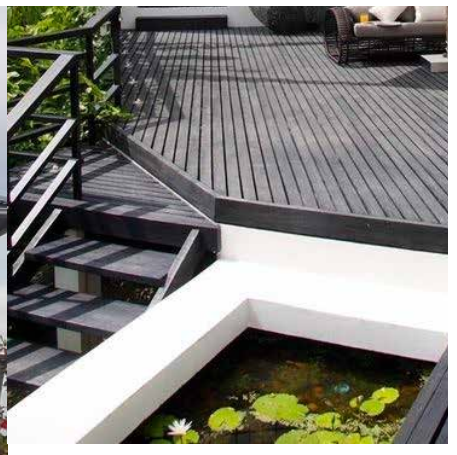
BLACK STAINED TIMBER BATTENS - 50% OPEN



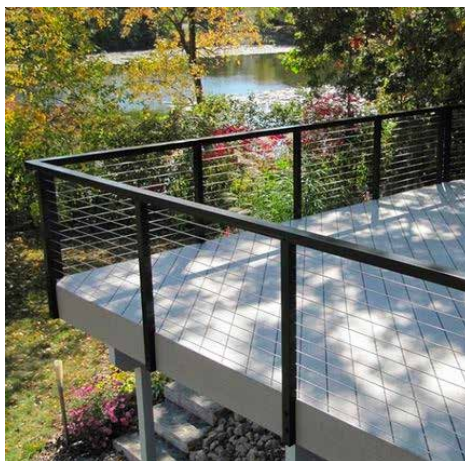
WHITE PAINTED BRICK



MID GREY METAL ROOF TO MATCH EXISTING



STAINED BLACK TIMBER DECK/STAIR



BLACK TIMBER/CABLE BALUSTRADES



SEMI-FRAMELESS GLASS BALUSTRADES

19 MILDRED AVENUE, MANLY VALE



RESIDENTIAL ALTERATIONS AND ADDITIONS

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Julian Brenchley 6246