

General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION W/ OTHER CONSULTANTS DRAWINGS, DOCUMENTATION & COORDINATE W/ OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.  
VERIFY SET-OUT DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.  
EXECUTE THE WORKS IN COMPLIANCE W/ THE CURRENT EDITION OF THE BCA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) & THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORK.

Levels

(XXX)???? (RL) RELATIVE LEVEL ????

(SSL) STRUCTURAL SLAB LEVEL ????

(FFL) FINISHED FLOOR LEVEL ????

(GND) FINISHED GROUND LEVEL ????

EXISTING SITE LEVELS TRANSPPOSED FROM SITE SURVEY FOR REFERENCE.

EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION.  
EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

Legend

- EXISTING BUILDING
- EXTENT OF APPROVED WORKS UNDER COMPLYING DEVELOPMENT (CDC2024/0977)
- PROPOSED DEVELOPMENT APPLICATION WORKS

Area Calculations

TOTAL SITE AREA = 733.50M<sup>2</sup>

EXISTING LOWER GRND GFA = 43.16M<sup>2</sup>

EXISTING UPPER GRND GFA = 152.29M<sup>2</sup>

EXISTING OUTBUILDINGS GFA = 11.55M<sup>2</sup>

TOTAL EXISTING GFA = 207.00M<sup>2</sup>

TOTAL EXISTING LANDSCAPED AREA = 396.20M<sup>2</sup>

APPROVED LOWER GRND GFA = 81.63M<sup>2</sup>

APPROVED UPPER GRND GFA = 188.50M<sup>2</sup>

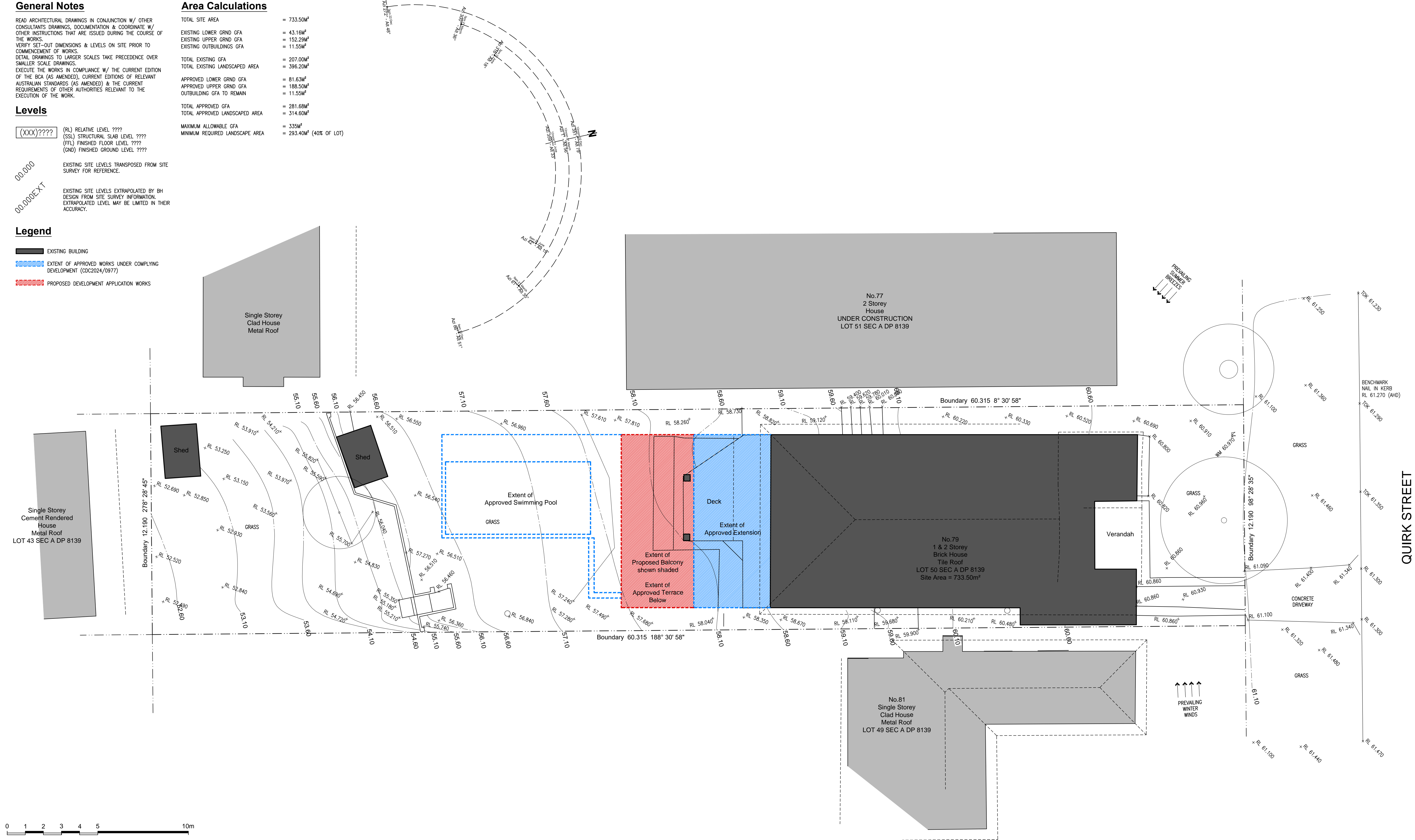
OUTBUILDING GFA TO REMAIN = 11.55M<sup>2</sup>

TOTAL APPROVED GFA = 281.68M<sup>2</sup>

TOTAL APPROVED LANDSCAPED AREA = 314.60M<sup>2</sup>

MAXIMUM ALLOWABLE GFA = 335M<sup>2</sup>

MINIMUM REQUIRED LANDSCAPE AREA = 293.40M<sup>2</sup> (40% OF LOT)



Development Application

This design is not to be used, copied or reproduced without authority.

Do not scale from drawings. Confirm dimensions on site prior to commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works.

This drawing is only to be used for its designated purpose. Unless otherwise stated this drawing is not to be used for construction.

Amendments

Issue	Description	By	Date
-------	-------------	----	------



ABN: 80 356 936 642  
Mob: 0418 218 341  
Email: brendan@bhdesigns.com.au

Project

Alterations & Additions  
to an Existing Dwelling

Client

Nicole & Paul Carey

Address

No.79 Quirk Street,  
DEE WHY

Drawing

Site Analysis Plan

Scale

1:100@A1;1:200@A3 April 2025

Drawn by

bh

Drawing #

2401/DA-01

Date

April 2025

Checked by

Issue

A



General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION W/ OTHER CONSULTANTS DRAWINGS, DOCUMENTATION & COORDINATE W/ OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.  
VERIFY SET-OUT DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.  
EXECUTE THE WORKS IN COMPLIANCE W/ THE CURRENT EDITION OF THE BCA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) & THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORK.

Levels

(XXX)???? (RL) RELATIVE LEVEL ????

(SSL) STRUCTURAL SLAB LEVEL ????

(FRL) FINISHED FLOOR LEVEL ????

(GND) FINISHED GROUND LEVEL ????

EXISTING SITE LEVELS TRANSPOSED FROM SITE SURVEY FOR REFERENCE.

EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION. EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

Wall Legend

EXISTING WALL  
TO BE REMOVED  
BRICK VENEER  
TIMBER STUD

Area Calculations

TOTAL SITE AREA = 733.50M<sup>2</sup>  
EXISTING LOWER GRND GFA = 43.16M<sup>2</sup>  
EXISTING UPPER GRND GFA = 152.29M<sup>2</sup>  
EXISTING OUTBUILDINGS GFA = 11.55M<sup>2</sup>  
TOTAL EXISTING GFA = 207.00M<sup>2</sup>  
TOTAL EXISTING LANDSCAPED AREA = 396.20M<sup>2</sup>  
APPROVED LOWER GRND GFA = 81.63M<sup>2</sup>  
APPROVED UPPER GRND GFA = 188.50M<sup>2</sup>  
OUTBUILDING GFA TO REMAIN = 11.55M<sup>2</sup>  
TOTAL APPROVED GFA = 281.68M<sup>2</sup>  
TOTAL APPROVED LANDSCAPED AREA = 314.60M<sup>2</sup>  
MAXIMUM ALLOWABLE GFA = 335M<sup>2</sup>  
MINIMUM REQUIRED LANDSCAPE AREA = 293.40M<sup>2</sup> (40% OF LOT)

Materials & Finishes Schedule

General

\* MATERIALS AND FINISHES ARE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S, SUPPLIER'S AND/OR INSTALLER'S CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS.  
\* MATERIALS AND FINISHES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS, DOCUMENTATION AND INSTRUCTIONS.  
\* STRUCTURAL ELEMENTS TO BE CONSTRUCTED IN CO-ORDINATION WITH THE STRUCTURAL ENGINEER'S DOCUMENTATION.

Floors

EXISTING TIMBER FLOOR STRUCTURE TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.  
EXISTING FLOORS BOARDS TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.  
NEW CONCRETE SLAB IN A/W STRUCTURAL ENGINEERS DETAILS.  
NEW TIMBER FLOOR BOARDS TO SELECTION.

Walls

EXTERNAL WALLS  
EXISTING TO REMAIN; REPAIR AS REQUIRED  
PROPOSED BRICKWORK TO SELECTION

INTERNAL WALLS:  
NOMINAL 90MM TIMBER FRAME W/ SELECTED PAINT FINISHED FLUSH SET PLASTERBOARD PROVIDE SELECTED PAINT FINISHED TIMBER SKIRTING, ARCHITRAVE, JAMB & OTHER TRIM TO CLIENT SELECTION.

BASIX Compliance

Lighting

ENSURE A MIN.40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED W/ FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE LAMPS.

Fixtures

ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A 3 STAR WATER RATING.  
ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4L/AVERAGE FLUSH OR A MIN. 3 STAR WATER RATING.  
ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A MIN. 3 STAR WATER RATING.

Insulation Requirements

CONSTRUCT NEW OR ALTERED FLOORS, WALLS AND CEILINGS IN A/W THE SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.

Glazing Requirements

INSTALL NEW GLAZED DOOR IN A/W SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.  
EACH GLAZED DOOR W/ STANDARD ALUMINIUM OR TIMBER FRAMES & SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION OR HAVE A U-VALUE & A SHGC NO GREATER THAN THAT LISTED IN THE BASIX CERTIFICATE.

00.000

00.000EXT

Single Storey  
Cement Rendered  
House  
Metal Roof  
LOT 43 SEC A DP 8139

No.77  
2 Storey  
House  
UNDER CONSTRUCTION  
LOT 51 SEC A DP 8139

QUIRK STREET

0 1 2 3 4 5 10m

Development Application

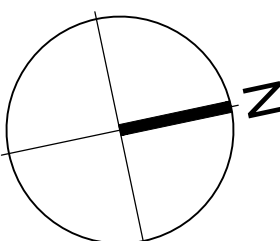
This design is not to be used, copied or reproduced without authority.

Do not scale from drawings. Confirm dimensions on site prior to commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works.

This drawing is only to be used for its designated purpose. Unless otherwise stated this drawing is not to be used for construction.

Amendments

Issue Description By Date



bhd  
BH Designs  
building design & drafting services

ABN: 80 356 936 642  
Mob: 0418 218 341  
Email: brendan@bhd designs.com.au

Project

Alterations & Additions  
to an Existing Dwelling

Client

Nicole & Paul Carey

Address

No.79 Quirk Street,  
DEE WHY

Drawing

Approved Lower Ground Floor Plan  
CDC2024/0977

Scale

1:100@A1;1:200@A3 April 2025

Drawn by

bh

Checked by

Issue

2401/DA-02

A



General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION W/ OTHER CONSULTANTS DRAWINGS, DOCUMENTATION & COORDINATE W/ OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.  
VERIFY SET-OUT DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.  
EXECUTE THE WORKS IN COMPLIANCE W/ THE CURRENT EDITION OF THE BCA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) & THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORK.

Levels

(XXX)???? (RL) RELATIVE LEVEL ????  
(SSL) STRUCTURAL SLAB LEVEL ????  
(FFL) FINISHED FLOOR LEVEL ????  
(GND) FINISHED GROUND LEVEL ????

EXISTING SITE LEVELS TRANSPOSED FROM SITE SURVEY FOR REFERENCE.

EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION. EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

Wall Legend

- EXISTING WALL
- TO BE REMOVED
- BRICK VENEER
- TIMBER STUD

Area Calculations

TOTAL SITE AREA	=	733.50M <sup>2</sup>
EXISTING LOWER GRND GFA	=	43.16M <sup>2</sup>
EXISTING UPPER GRND GFA	=	152.29M <sup>2</sup>
EXISTING OUTBUILDINGS GFA	=	11.55M <sup>2</sup>
TOTAL EXISTING GFA	=	207.00M <sup>2</sup>
TOTAL EXISTING LANDSCAPED AREA	=	396.20M <sup>2</sup>
APPROVED LOWER GRND GFA	=	81.63M <sup>2</sup>
APPROVED UPPER GRND GFA	=	188.50M <sup>2</sup>
OUTBUILDING GFA TO REMAIN	=	11.55M <sup>2</sup>
TOTAL APPROVED GFA	=	281.68M <sup>2</sup>
TOTAL APPROVED LANDSCAPED AREA	=	314.60M <sup>2</sup>
MAXIMUM ALLOWABLE GFA	=	335M <sup>2</sup>
MINIMUM REQUIRED LANDSCAPE AREA	=	293.40M <sup>2</sup> (40% OF LOT)

Materials & Finishes Schedule

General

- \* MATERIALS AND FINISHES ARE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S, SUPPLIER'S AND/OR INSTALLER'S CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS.
- \* MATERIALS AND FINISHES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS, DOCUMENTATION AND INSTRUCTIONS.
- \* STRUCTURAL ELEMENTS TO BE CONSTRUCTED IN CO-ORDINATION WITH THE STRUCTURAL ENGINEER'S DOCUMENTATION.

Floors

- EXISTING TIMBER FLOOR STRUCTURE TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.
- EXISTING FLOORS BOARDS TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.
- NEW CONCRETE SLAB IN A/W STRUCTURAL ENGINEERS DETAILS.
- NEW TIMBER FLOOR BOARDS TO SELECTION.

Walls

- EXTERNAL WALLS  
EXISTING TO REMAIN; REPAIR AS REQUIRED  
PROPOSED BRICKWORK TO SELECTION
- INTERNAL WALLS:  
NOMINAL 90MM TIMBER FRAME W/ SELECTED PAINT FINISHED FLUSH SET PLASTERBOARD PROVIDE SELECTED PAINT FINISHED TIMBER SKIRTING, ARCHITRAVE, JAMB & OTHER TRIM TO CLIENT SELECTION.

Roof

- REPAIR &/OR REPLACE EXISTING TIMBER STRUCTURE WHERE REQUIRED.
- NEW TIMBER ROOF STRUCTURE IN A/W STRUCTURAL ENGINEERS DETAILS.
- METAL ROOF SHEETING TO SELECTION.
- GUTTERS & RAINWATER GOODS TO SELECTION.

Miscellaneous

WINDOWS

- REPAIR &/OR REPLACE EXISTING WINDOWS AS NOTED.
- NEW ALUMINIUM FRAMED WINDOWS TO SELECTION, AS NOTED.

BASIX Compliance

LIGHTING

- ENSURE A MIN.40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED W/ FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE LAMPS.

FIXTURES

- ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A 3 STAR WATER RATING.
- ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4L/AVERAGE FLUSH OR A MIN. 3 STAR WATER RATING.
- ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A MIN. 3 STAR WATER RATING.

INSULATION REQUIREMENTS

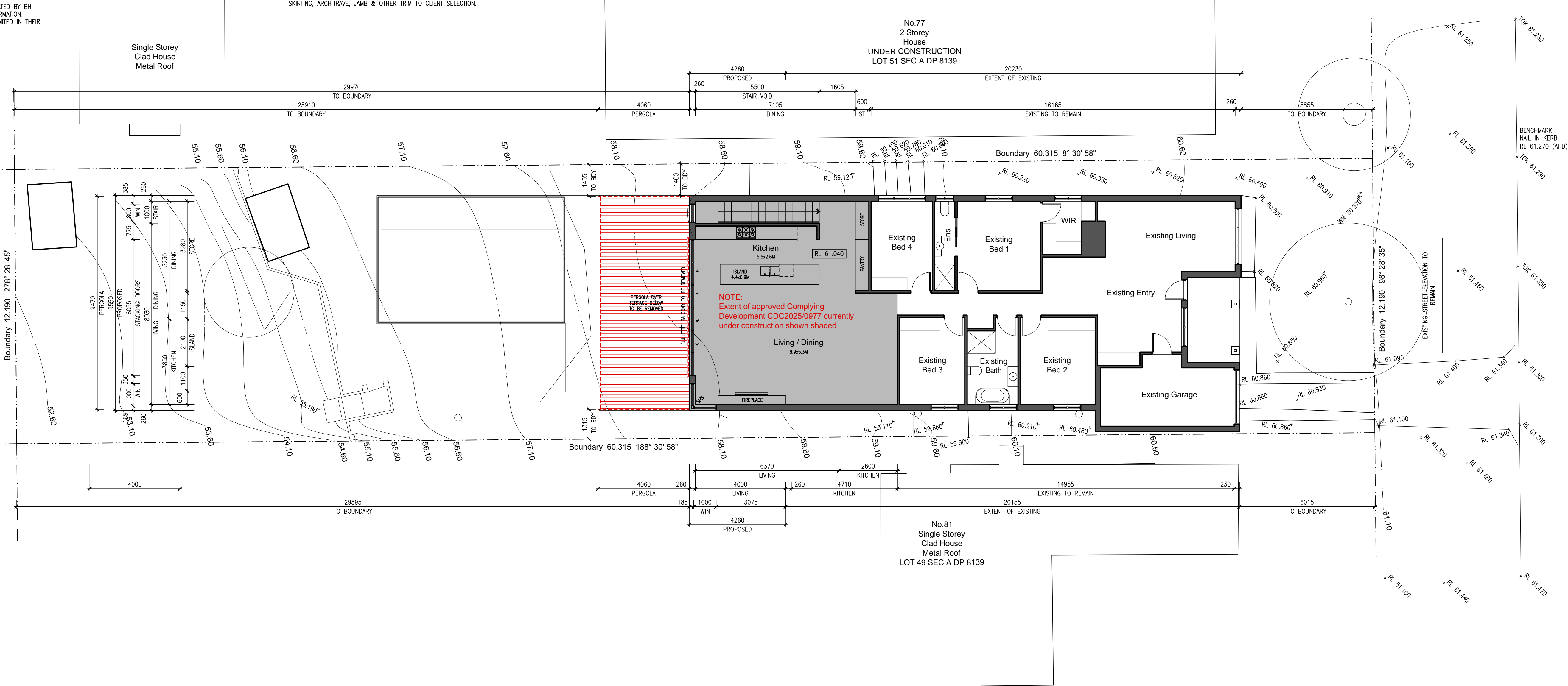
- CONSTRUCT NEW OR ALTERED FLOORS, WALLS AND CEILINGS IN A/W THE SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.

GLAZING REQUIREMENTS

- INSTALL NEW GLAZED DOOR IN A/W SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.
- EACH GLAZED DOOR W/ STANDARD ALUMINIUM OR TIMBER FRAMES & SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION OR HAVE A U-VALUE & A SHGC NO GREATER THAN THAT LISTED IN THE BASIX CERTIFICATE.

00.000  
00.000EXT

Single Storey  
Cement Rendered  
House  
Metal Roof  
LOT 43 SEC A DP 8139



0 1 2 3 4 5 10m

Development Application

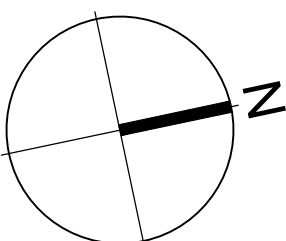
This design is not to be used, copied or reproduced without authority.

Do not scale from drawings. Confirm dimensions on site prior to commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works.

This drawing is only to be used for its designated purpose. Unless otherwise stated this drawing is not to be used for construction.

Amendments

Issue	Description	By	Date
-------	-------------	----	------



bhd  
BH Designs  
building design & drafting services

ABN: 80 356 936 642  
Mob: 0418 218 341  
Email: brendan@bhdsgns.com.au

Project

Alterations & Additions  
to an Existing Dwelling

Client

Nicole & Paul Carey

Address

No.79 Quirk Street,  
DEE WHY

Drawing

Approved Ground Floor Plan  
CDC2024/0977

Scale

1:100@A1;1:200@A3 April 2025

Drawn by

bh

Checked by

Drawing #

2401/DA-03

Issue

A



General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION W/ OTHER CONSULTANTS DRAWINGS, DOCUMENTATION & COORDINATE W/ OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.  
VERIFY SET-OUT DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.  
EXECUTE THE WORKS IN COMPLIANCE W/ THE CURRENT EDITION OF THE BCA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) & THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORK.

Levels

(XXX)???? (RL) RELATIVE LEVEL ????

(SSL) STRUCTURAL SLAB LEVEL ????

(FFL) FINISHED FLOOR LEVEL ????

(GND) FINISHED GROUND LEVEL ????

EXISTING SITE LEVELS TRANSPOSED FROM SITE SURVEY FOR REFERENCE.

EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION. EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

Wall Legend

- EXISTING WALL
- TO BE REMOVED
- BRICK VENEER
- TIMBER STUD

Area Calculations

TOTAL SITE AREA = 733.50M<sup>2</sup>

EXISTING LOWER GRND GFA = 43.16M<sup>2</sup>

EXISTING UPPER GRND GFA = 152.29M<sup>2</sup>

EXISTING OUTBUILDINGS GFA = 11.55M<sup>2</sup>

TOTAL EXISTING GFA = 207.00M<sup>2</sup>

TOTAL EXISTING LANDSCAPED AREA = 396.20M<sup>2</sup>

APPROVED LOWER GRND GFA = 81.63M<sup>2</sup>

APPROVED UPPER GRND GFA = 188.50M<sup>2</sup>

OUTBUILDING GFA TO REMAIN = 11.55M<sup>2</sup>

TOTAL APPROVED GFA = 281.68M<sup>2</sup>

TOTAL APPROVED LANDSCAPED AREA = 314.60M<sup>2</sup>

MAXIMUM ALLOWABLE GFA = 335M<sup>2</sup>

MINIMUM REQUIRED LANDSCAPE AREA = 293.40M<sup>2</sup> (40% OF LOT)

Materials & Finishes Schedule

General

- \* MATERIALS AND FINISHES ARE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S, SUPPLIER'S AND/OR INSTALLER'S CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS.
- \* MATERIALS AND FINISHES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS, DOCUMENTATION AND INSTRUCTIONS.
- \* STRUCTURAL ELEMENTS TO BE CONSTRUCTED IN CO-ORDINATION WITH THE STRUCTURAL ENGINEER'S DOCUMENTATION.

Floors

EXISTING TIMBER FLOOR STRUCTURE TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.

EXISTING FLOORS BOARDS TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.

NEW CONCRETE SLAB IN A/W STRUCTURAL ENGINEERS DETAILS.

NEW TIMBER FLOOR BOARDS TO SELECTION.

Walls

EXTERNAL WALLS

EXISTING TO REMAIN; REPAIR AS REQUIRED

PROPOSED BRICKWORK TO SELECTION

INTERNAL WALLS:

NOMINAL 90MM TIMBER FRAME W/ SELECTED PAINT FINISHED FLUSH SET PLASTERBOARD PROVIDE SELECTED PAINT FINISHED TIMBER SKIRTING, ARCHITRAVE, JAMB & OTHER TRIM TO CLIENT SELECTION.

BASIX Compliance

Lighting

ENSURE A MIN.40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED W/ FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE LAMPS.

Fixtures

ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A 3 STAR WATER RATING.

ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4L/AVERAGE FLUSH OR A MIN. 3 STAR WATER RATING.

ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A MIN. 3 STAR WATER RATING.

Insulation Requirements

CONSTRUCT NEW OR ALTERED FLOORS, WALLS AND CEILINGS IN A/W THE SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.

Glazing Requirements

INSTALL NEW GLAZED DOOR IN A/W SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.

EACH GLAZED DOOR W/ STANDARD ALUMINIUM OR TIMBER FRAMES & SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION OR HAVE A U-VALUE & A SHGC NO GREATER THAN THAT LISTED IN THE BASIX CERTIFICATE.

Roof

REPAIR &/OR REPLACE EXISTING TIMBER STRUCTURE WHERE REQUIRED.

NEW TIMBER ROOF STRUCTURE IN A/W STRUCTURAL ENGINEERS DETAILS.

METAL ROOF SHEETING TO SELECTION.

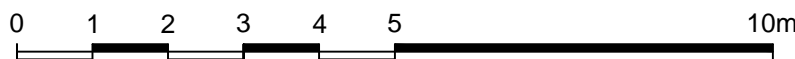
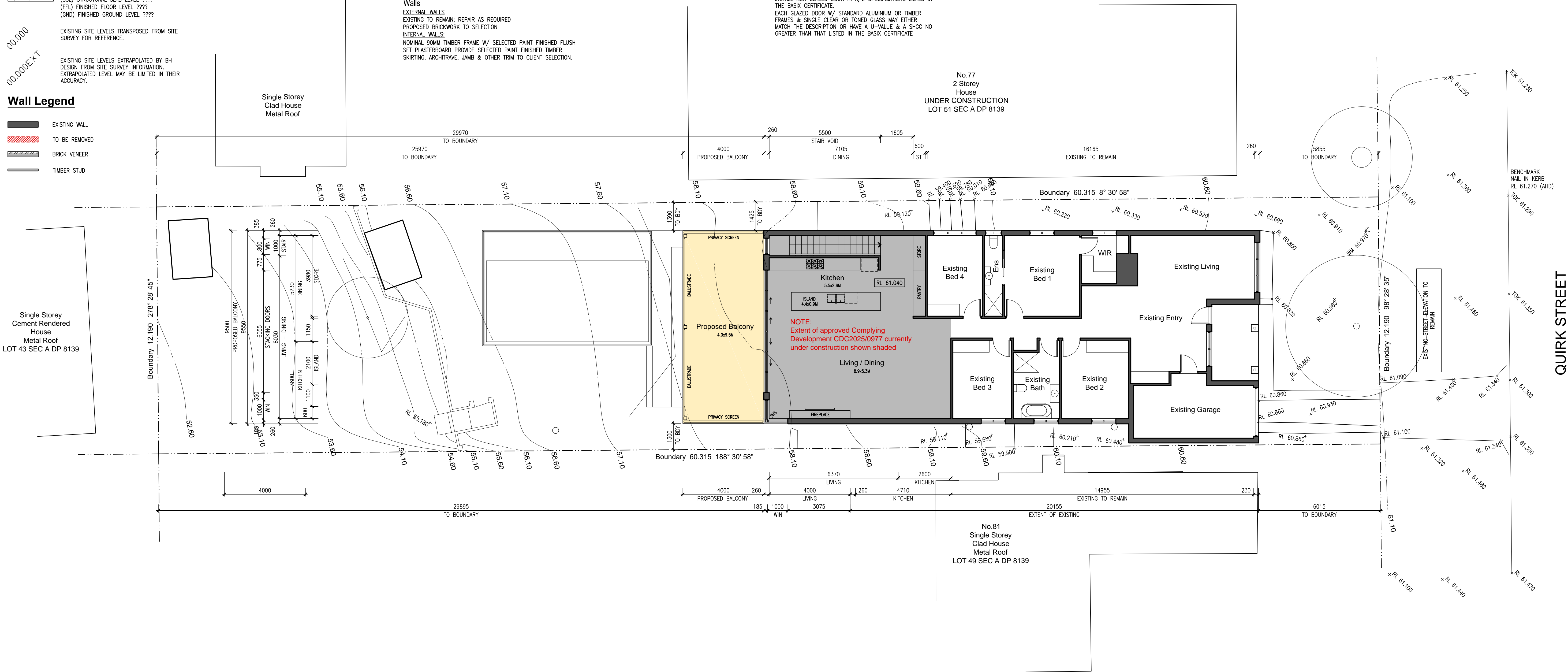
GUTTERS & RAINWATER GOODS TO SELECTION.

Miscellaneous

Windows

REPAIR &/OR REPLACE EXISTING WINDOWS AS NOTED.

NEW ALUMINIUM FRAMED WINDOWS TO SELECTION, AS NOTED.



Development Application

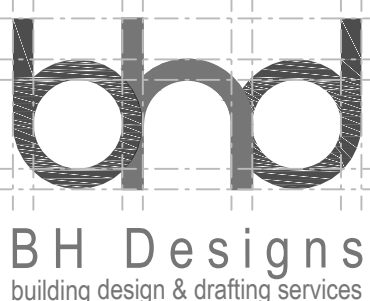
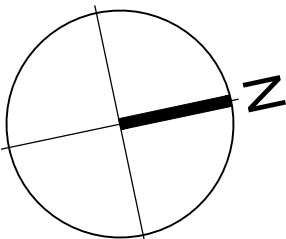
This design is not to be used, copied or reproduced without authority.

Do not scale from drawings. Confirm dimensions on site prior to commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works.

This drawing is only to be used for its designated purpose. Unless otherwise stated this drawing is not to be used for construction.

Amendments

Issue	Description	By	Date
-------	-------------	----	------



ABN: 80 356 936 642  
Mob: 0418 218 341  
Email: brendan@bhdesigns.com.au

Project

Alterations & Additions  
to an Existing Dwelling

Client

Nicole & Paul Carey

Address

No.79 Quirk Street,  
DEE WHY

Drawing

Proposed Ground Floor Plan

Scale

1:100@A1;1:200@A3 April 2025

Drawn by

bh

Checked by

Drawing #

2401/DA-04

Issue

A



General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION W/ OTHER CONSULTANTS DRAWINGS, DOCUMENTATION & COORDINATE W/ OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.  
VERIFY SET-OUT DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.  
EXECUTE THE WORKS IN COMPLIANCE W/ THE CURRENT EDITION OF THE BCA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) & THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORK.

Levels

(XXX)???? (RL) RELATIVE LEVEL ????  
(SSL) STRUCTURAL SLAB LEVEL ????  
(FFL) FINISHED FLOOR LEVEL ????  
(GND) FINISHED GROUND LEVEL ????  
  
EXISTING SITE LEVELS TRANSPOSED FROM SITE SURVEY FOR REFERENCE.  
  
EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION. EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

Area Calculations

TOTAL SITE AREA = 733.50M<sup>2</sup>  
EXISTING LOWER GRND GFA = 43.16M<sup>2</sup>  
EXISTING UPPER GRND GFA = 152.29M<sup>2</sup>  
EXISTING OUTBUILDINGS GFA = 11.55M<sup>2</sup>  
TOTAL EXISTING GFA = 207.00M<sup>2</sup>  
TOTAL EXISTING LANDSCAPED AREA = 396.20M<sup>2</sup>  
APPROVED LOWER GRND GFA = 81.63M<sup>2</sup>  
APPROVED UPPER GRND GFA = 188.50M<sup>2</sup>  
OUTBUILDING GFA TO REMAIN = 11.55M<sup>2</sup>  
TOTAL APPROVED GFA = 281.68M<sup>2</sup>  
TOTAL APPROVED LANDSCAPED AREA = 314.60M<sup>2</sup>  
MAXIMUM ALLOWABLE GFA = 335M<sup>2</sup>  
MINIMUM REQUIRED LANDSCAPE AREA = 293.40M<sup>2</sup> (40% OF LOT)

Materials & Finishes Schedule

General  
\* MATERIALS AND FINISHES ARE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S, SUPPLIER'S AND/OR INSTALLER'S CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS.  
\* MATERIALS AND FINISHES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS, DOCUMENTATION AND INSTRUCTIONS.  
\* STRUCTURAL ELEMENTS TO BE CONSTRUCTED IN CO-ORDINATION WITH THE STRUCTURAL ENGINEER'S DOCUMENTATION.  
Floors  
EXISTING TIMBER FLOOR STRUCTURE TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.  
EXISTING FLOORS BOARDS TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.  
NEW CONCRETE SLAB IN A/W STRUCTURAL ENGINEERS DETAILS.  
NEW TIMBER FLOOR BOARDS TO SELECTION.  
Walls  
EXTERNAL WALLS  
EXISTING TO REMAIN; REPAIR AS REQUIRED  
PROPOSED BRICKWORK TO SELECTION  
INTERNAL WALLS:  
NOMINAL 90MM TIMBER FRAME W/ SELECTED PAINT FINISHED FLUSH SET PLASTERBOARD PROVIDE SELECTED PAINT FINISHED TIMBER SKIRTING, ARCHITRAVE, JAMB & OTHER TRIM TO CLIENT SELECTION.

Roof  
REPAIR &/OR REPLACE EXISTING TIMBER STRUCTURE WHERE REQUIRED.  
NEW TIMBER ROOF STRUCTURE IN A/W STRUCTURAL ENGINEERS DETAILS.  
METAL ROOF SHEETING TO SELECTION.  
GUTTERS & RAINWATER GOODS TO SELECTION.  
Miscellaneous  
WINDOWS  
REPAIR &/OR REPLACE EXISTING WINDOWS AS NOTED.  
NEW ALUMINIUM FRAMED WINDOWS TO SELECTION, AS NOTED.

BASIX Compliance

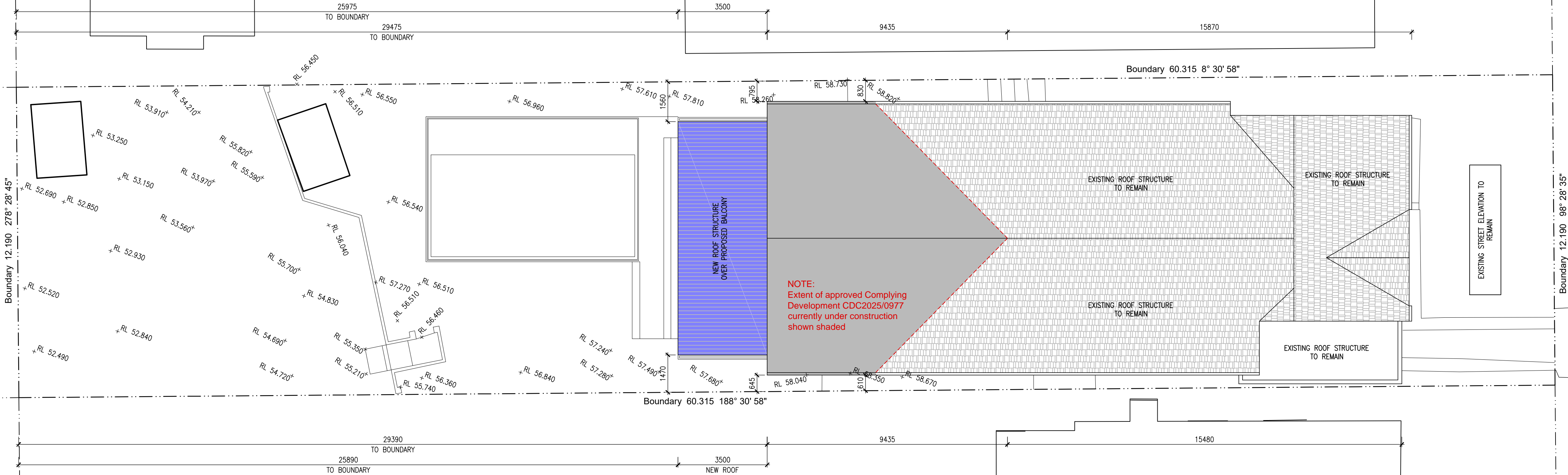
LIGHTING  
ENSURE A MIN.40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED W/ FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE LAMPS.  
FIXTURES  
ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A 3 STAR WATER RATING.  
ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4L/AVERAGE FLUSH OR A MIN. 3 STAR WATER RATING.  
ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A MIN. 3 STAR WATER RATING.  
INSULATION REQUIREMENTS  
CONSTRUCT NEW OR ALTERED FLOORS, WALLS AND CEILINGS IN A/W THE SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.  
GLAZING REQUIREMENTS  
INSTALL NEW GLAZED DOOR IN A/W SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.  
EACH GLAZED DOOR W/ STANDARD ALUMINIUM OR TIMBER FRAMES & SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION OR HAVE A U-VALUE & A SHGC NO GREATER THAN THAT LISTED IN THE BASIX CERTIFICATE.

00.000  
00.000EXT

Single Storey  
Cement Rendered  
House  
Metal Roof  
LOT 43 SEC A DP 8139

Single Storey  
Clad House  
Metal Roof

No.77  
2 Storey  
House  
UNDER CONSTRUCTION  
LOT 51 SEC A DP 8139



0 1 2 3 4 5 10m

Development Application

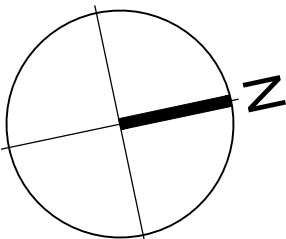
This design is not to be used, copied or reproduced without authority.

Do not scale from drawings. Confirm dimensions on site prior to commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works.

This drawing is only to be used for its designated purpose. Unless otherwise stated this drawing is not to be used for construction.

Amendments

Issue	Description	By	Date
-------	-------------	----	------



bhd  
BH Designs  
building design & drafting services

ABN: 80 356 936 642  
Mob: 0418 218 341  
Email: brendan@bhdsgns.com.au

Project

Alterations & Additions  
to an Existing Dwelling

Client

Nicole & Paul Carey

Address

No.79 Quirk Street,  
DEE WHY

Drawing

Proposed Roof Plan

Scale

1:100@A1;1:200@A3 April 2025

Drawn by

bh

Checked by

Issue

2401/DA-05

A



General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION W/ OTHER CONSULTANTS DRAWINGS, DOCUMENTATION & COORDINATE W/ OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.  
VERIFY SET-OUT DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.  
EXECUTE THE WORKS IN COMPLIANCE W/ THE CURRENT EDITION OF THE BCA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) & THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORK.

Levels

(XXX)???? (RL) RELATIVE LEVEL ????  
(SSL) STRUCTURAL SLAB LEVEL ????  
(FRL) FINISHED FLOOR LEVEL ????  
(GND) FINISHED GROUND LEVEL ????  
EXISTING SITE LEVELS TRANPOSED FROM SITE SURVEY FOR REFERENCE.  
EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION. EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

Area Calculations

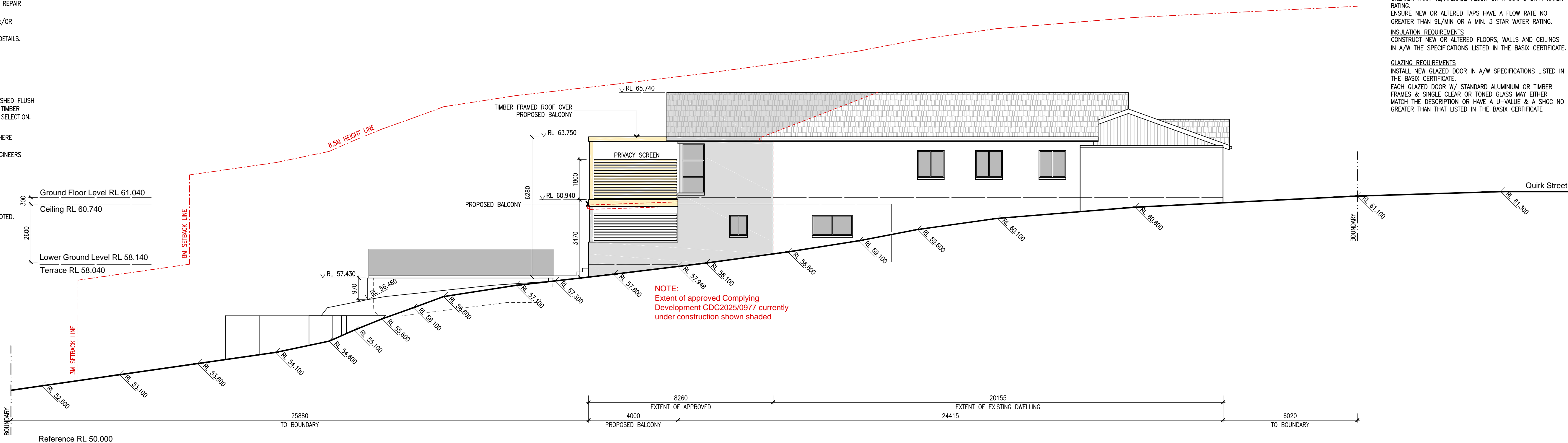
TOTAL SITE AREA = 733.50M<sup>2</sup>  
EXISTING LOWER GRND GFA = 43.16M<sup>2</sup>  
EXISTING UPPER GRND GFA = 152.29M<sup>2</sup>  
EXISTING OUTBUILDINGS GFA = 11.55M<sup>2</sup>  
TOTAL EXISTING GFA = 207.00M<sup>2</sup>  
TOTAL EXISTING LANDSCAPED AREA = 396.20M<sup>2</sup>  
APPROVED LOWER GRND GFA = 81.63M<sup>2</sup>  
APPROVED UPPER GRND GFA = 188.50M<sup>2</sup>  
OUTBUILDING GFA TO REMAIN = 11.55M<sup>2</sup>  
TOTAL APPROVED GFA = 281.68M<sup>2</sup>  
TOTAL APPROVED LANDSCAPED AREA = 514.60M<sup>2</sup>  
MAXIMUM ALLOWABLE GFA = 335M<sup>2</sup>  
MINIMUM REQUIRED LANDSCAPE AREA = 293.40M<sup>2</sup> (40% OF LOT)

Materials & Finishes Schedule

General  
\* MATERIALS AND FINISHES ARE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S, SUPPLIER'S AND/OR INSTALLER'S CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS.  
\* MATERIALS AND FINISHES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS, DOCUMENTATION AND INSTRUCTIONS.  
\* STRUCTURAL ELEMENTS TO BE CONSTRUCTED IN CO-ORDINATION WITH THE STRUCTURAL ENGINEER'S DOCUMENTATION.  
Floors  
EXISTING TIMBER FLOOR STRUCTURE TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.  
EXISTING FLOORS BOARDS TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.  
NEW CONCRETE SLAB IN A/W STRUCTURAL ENGINEERS DETAILS.  
NEW TIMBER FLOOR BOARDS TO SELECTION.  
Walls  
EXTERNAL WALLS  
EXISTING TO REMAIN; REPAIR AS REQUIRED  
PROPOSED BRICKWORK TO SELECTION  
INTERNAL WALLS  
NOMINAL 90MM TIMBER FRAME W/ SELECTED PAINT FINISHED FLUSH SET PLASTERBOARD PROVIDE SELECTED PAINT FINISHED TIMBER SKIRTING, ARCHITRAVE, JAMB & OTHER TRIM TO CLIENT SELECTION.  
Roof  
REPAIR &/OR REPLACE EXISTING TIMBER STRUCTURE WHERE REQUIRED.  
NEW TIMBER ROOF STRUCTURE IN A/W STRUCTURAL ENGINEERS DETAILS.  
METAL ROOF SHEETING TO SELECTION.  
GUTTERS & RAINWATER GOODS TO SELECTION.  
Miscellaneous  
WINDOWS  
REPAIR &/OR REPLACE EXISTING WINDOWS AS NOTED.  
NEW ALUMINIUM FRAMED WINDOWS TO SELECTION, AS NOTED.

Proposed West Elevation

1:100@A1



BASIX Compliance

LIGHTING  
ENSURE A MIN.40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED W/ FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE LAMPS.  
FIXTURES  
ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A 3 STAR WATER RATING.  
ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4L/AVERAGE FLUSH OR A MIN. 3 STAR WATER RATING.  
ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A MIN. 3 STAR WATER RATING.  
INSULATION REQUIREMENTS  
CONSTRUCT NEW OR ALTERED FLOORS, WALLS AND CEILINGS IN A/W THE SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.  
GLAZING REQUIREMENTS  
INSTALL NEW GLAZED DOOR IN A/W SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.  
EACH GLAZED DOOR W/ STANDARD ALUMINIUM OR TIMBER FRAMES & SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION OR HAVE A U-VALUE & A SHGC NO GREATER THAN THAT LISTED IN THE BASIX CERTIFICATE.

Development Application

Proposed East Elevation

1:100@A1

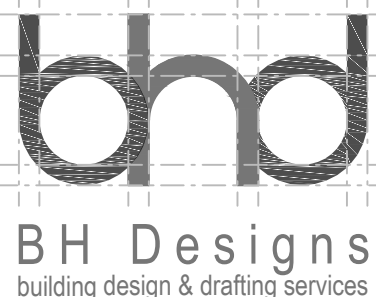
This design is not to be used, copied or reproduced without authority.

Do not scale from drawings. Confirm dimensions on site prior to commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works.

This drawing is only to be used for its designated purpose. Unless otherwise stated this drawing is not to be used for construction.

Amendments

Issue	Description	By	Date
-------	-------------	----	------



ABN: 80 356 936 642  
Mob: 0418 218 341  
Email: brendan@bhd designs.com.au

Project

Alterations & Additions  
to an Existing Dwelling

Client

Nicole & Paul Carey

Address

No.79 Quirk Street,  
DEE WHY

Drawing

Proposed Elevations

Scale

1:100@A1;1:200@A3

Drawn by

bh

Drawing #

2401/DA-06

Date

April 2025

Checked by

Issue

A

General Notes

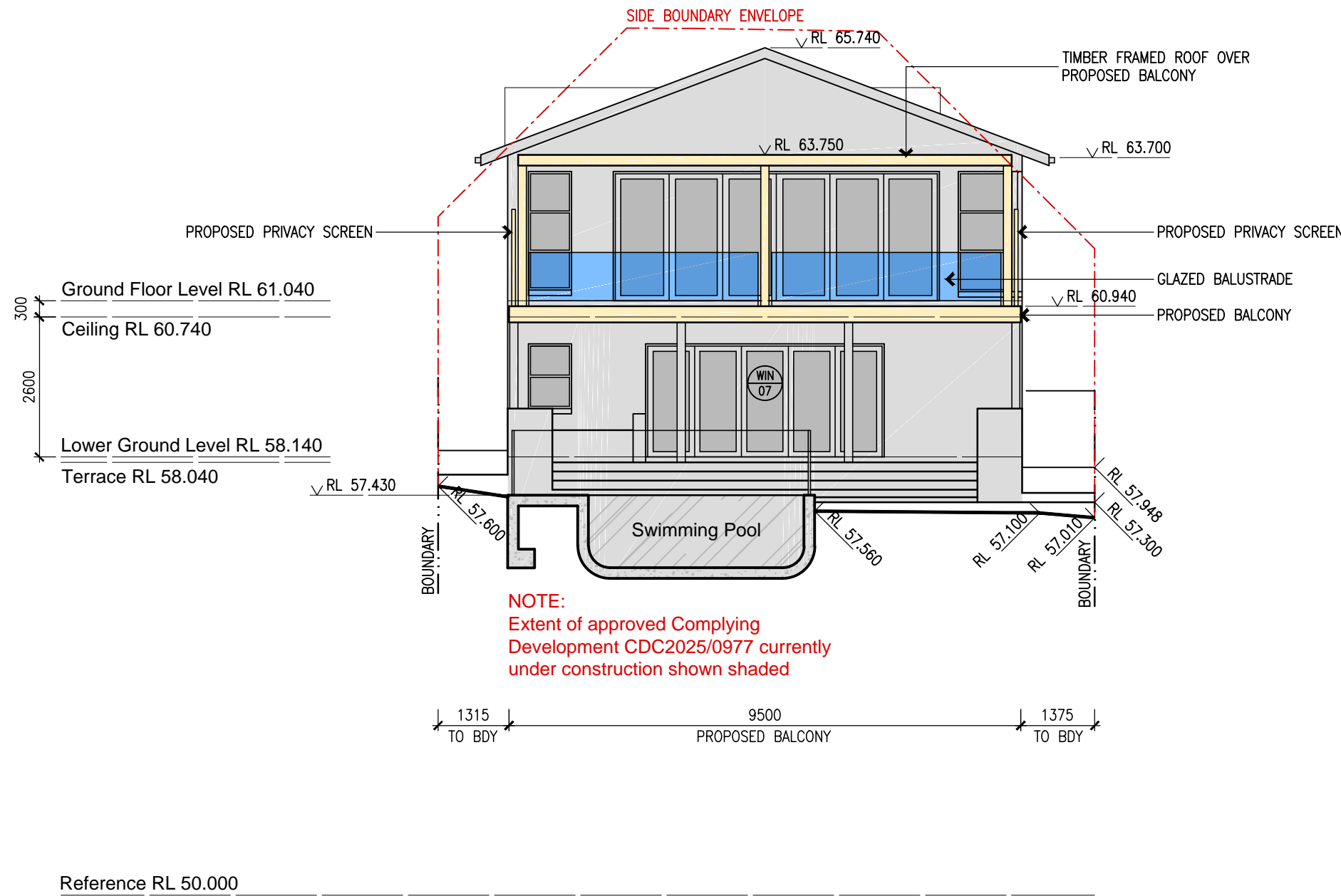
READ ARCHITECTURAL DRAWINGS IN CONJUNCTION W/ OTHER CONSULTANTS DRAWINGS, DOCUMENTATION & COORDINATE W/ OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.  
VERIFY SET-OUT DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.  
EXECUTE THE WORKS IN COMPLIANCE W/ THE CURRENT EDITION OF THE BCA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) & THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORK.

Levels

(XXX)????	(RL) RELATIVE LEVEL ???? (SSL) STRUCTURAL SLAB LEVEL ???? (FRL) FINISHED FLOOR LEVEL ???? (GND) FINISHED GROUND LEVEL ????  EXISTING SITE LEVELS TRANSPOSED FROM SITE SURVEY FOR REFERENCE.  EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION. EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.
00.000	
00.000EXT	
Area Calculations	
TOTAL SITE AREA	= 733.50M <sup>2</sup>
EXISTING LOWER GRND GFA	= 43.16M <sup>2</sup>
EXISTING UPPER GRND GFA	= 152.29M <sup>2</sup>
EXISTING OUTBUILDINGS GFA	= 11.55M <sup>2</sup>
TOTAL EXISTING GFA	= 207.00M <sup>2</sup>
TOTAL EXISTING LANDSCAPED AREA	= 396.20M <sup>2</sup>
APPROVED LOWER GRND GFA	= 81.63M <sup>2</sup>
APPROVED UPPER GRND GFA	= 188.50M <sup>2</sup>
OUTBUILDING GFA TO REMAIN	= 11.55M <sup>2</sup>
TOTAL APPROVED GFA	= 281.68M <sup>2</sup>
TOTAL APPROVED LANDSCAPED AREA	= 514.60M <sup>2</sup>
MAXIMUM ALLOWABLE GFA	= 335M <sup>2</sup>
MINIMUM REQUIRED LANDSCAPE AREA	= 293.40M <sup>2</sup> (40% OF LOT)

Materials & Finishes Schedule

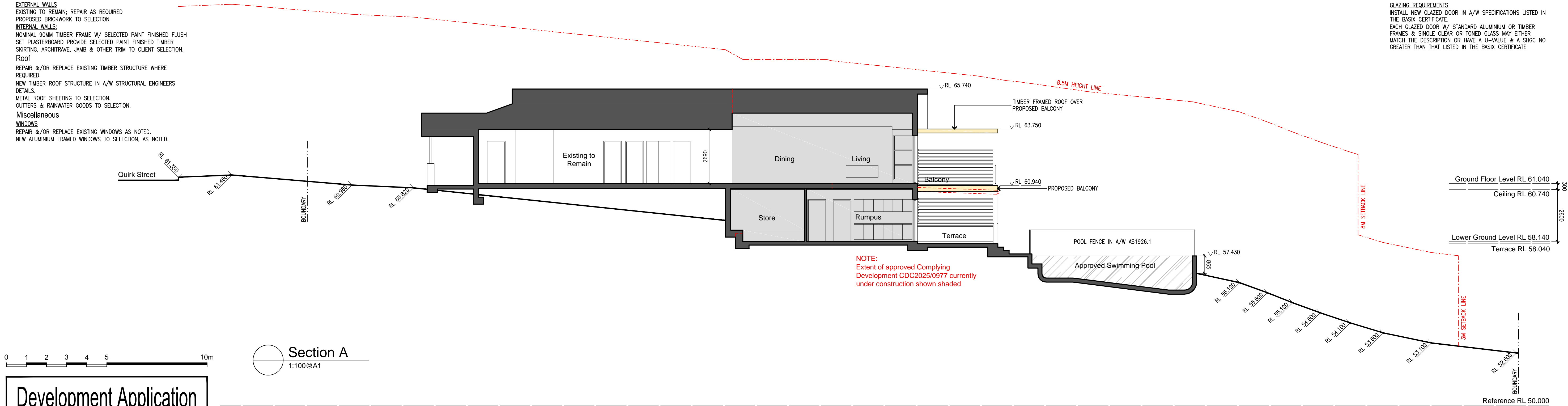
General  
\* MATERIALS AND FINISHES ARE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S, SUPPLIER'S AND/OR INSTALLER'S CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS.  
\* MATERIALS AND FINISHES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS, DOCUMENTATION AND INSTRUCTIONS.  
\* STRUCTURAL ELEMENTS TO BE CONSTRUCTED IN CO-ORDINATION WITH THE STRUCTURAL ENGINEER'S DOCUMENTATION.  
Floors  
EXISTING TIMBER FLOOR STRUCTURE TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.  
EXISTING FLOORS BOARDS TO BE MAINTAINED; REPAIR &/OR REPLACE AS REQUIRED.  
NEW CONCRETE SLAB IN A/W STRUCTURAL ENGINEERS DETAILS.  
NEW TIMBER FLOOR BOARDS TO SELECTION.  
Walls  
EXTERNAL WALLS  
EXISTING TO REMAIN; REPAIR AS REQUIRED  
PROPOSED BRICKWORK TO SELECTION  
INTERNAL WALLS  
NORMAL 90MM TIMBER FRAME W/ SELECTED PAINT FINISHED FLUSH SET PLASTERBOARD PROVIDE SELECTED PAINT FINISHED TIMBER SKIRTING, ARCHITRAVE, JAMB & OTHER TRIM TO CLIENT SELECTION.  
Roof  
REPAIR &/OR REPLACE EXISTING TIMBER STRUCTURE WHERE REQUIRED.  
NEW TIMBER ROOF STRUCTURE IN A/W STRUCTURAL ENGINEERS DETAILS.  
METAL ROOF SHEETING TO SELECTION.  
GUTTERS & RAINWATER GOODS TO SELECTION.  
Miscellaneous  
WINDOWS  
REPAIR &/OR REPLACE EXISTING WINDOWS AS NOTED.  
NEW ALUMINIUM FRAMED WINDOWS TO SELECTION, AS NOTED.



Proposed South Elevation  
1:100@A1

BASIX Compliance

LIGHTING  
ENSURE A MIN.40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED W/ FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE LAMPS.  
  
FIXTURES  
ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A 3 STAR WATER RATING.  
ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4L/AVERAGE FLUSH OR A MIN. 3 STAR WATER RATING.  
ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A MIN. 3 STAR WATER RATING.  
  
INSULATION REQUIREMENTS  
CONSTRUCT NEW OR ALTERED FLOORS, WALLS AND CEILINGS IN A/W THE SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.  
  
GLAZING REQUIREMENTS  
INSTALL NEW GLAZED DOOR IN A/W SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE.  
EACH GLAZED DOOR W/ STANDARD ALUMINIUM OR TIMBER FRAMES & SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION OR HAVE A U-VALUE & A SHGC NO GREATER THAN THAT LISTED IN THE BASIX CERTIFICATE.

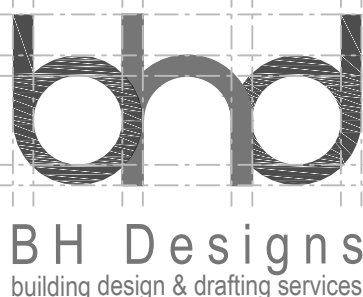


Section A  
1:100@A1

Development Application

This design is not to be used, copied or reproduced without authority.  
  
Do not scale from drawings. Confirm dimensions on site prior to commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works.  
  
This drawing is only to be used for its designated purpose. Unless otherwise stated this drawing is not to be used for construction.

Amendments			
Issue	Description	By	Date



Project  
Alterations & Additions  
to an Existing Dwelling  
  
Client  
Nicole & Paul Carey

Address  
No.79 Quirk Street,  
DEE WHY  
  
Drawing  
Proposed Elevations  
& Sections

Scale  
1:100@A1;1:200@A3 April 2025  
  
Drawn by  
bh  
  
Drawing #  
2401/DA-07  
  
Date  
April 2025  
  
Checked by  
  
Issue  
A



General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION W/ OTHER CONSULTANTS DRAWINGS, DOCUMENTATION & COORDINATE W/ OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.  
VERIFY SET-OUT DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.  
EXECUTE THE WORKS IN COMPLIANCE W/ THE CURRENT EDITION OF THE BCA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) & THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORK.

Levels

(XXX)????

(RL) RELATIVE LEVEL ????  
(SSL) STRUCTURAL SLAB LEVEL ????  
(FFL) FINISHED FLOOR LEVEL ????  
(GND) FINISHED GROUND LEVEL ????

EXISTING SITE LEVELS TRANSPOSED FROM SITE SURVEY FOR REFERENCE.

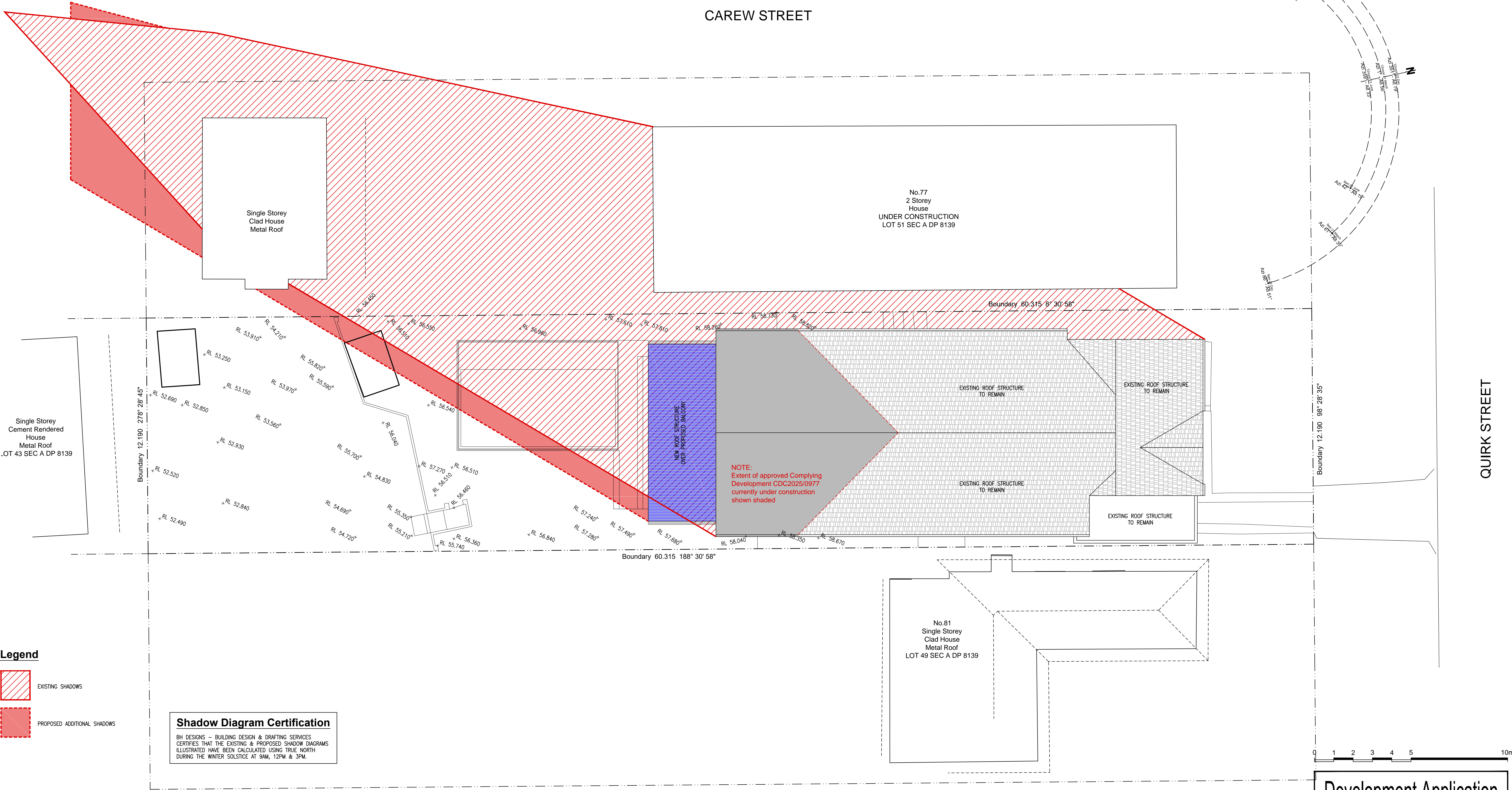
EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION.  
EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

00.000

00.000E+XT

CAREW STREET

QUIRK STREET



Legend



EXISTING SHADOWS



PROPOSED ADDITIONAL SHADOWS

Shadow Diagram Certification

BH DESIGNS - BUILDING DESIGN & DRAFTING SERVICES  
CERTIFIES THAT THE EXISTING & PROPOSED SHADOW DIAGRAMS  
ILLUSTRATED HAVE BEEN CALCULATED USING TRUE NORTH  
DURING THE WINTER SOLSTICE AT 9AM, 12PM & 3PM.

This design is not to be used, copied or reproduced without authority.

Do not scale from drawings. Confirm dimensions on site prior to commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works.

This drawing is only to be used for its designated purpose. Unless otherwise stated this drawing is not to be used for construction.

Amendments

Issue	Description	By	Date
-------	-------------	----	------



ABN: 80 356 936 642  
Mob: 0418 218 341  
Email: brendan@bhdesigns.com.au

Project  
Alterations & Additions  
to an Existing Dwelling

Client  
Nicole & Paul Carey

Address  
No.79 Quirk Street,  
DEE WHY

Drawing  
Shadow Diagrams  
June 21 @ 9am

Scale  
1:100@A1;1:200@A3 April 2025

Drawn by  
bh

Drawing #  
2401/DA-08

Issue

A

Development Application



General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION W/ OTHER CONSULTANTS DRAWINGS, DOCUMENTATION & COORDINATE W/ OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.  
VERIFY SET-OUT DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.  
EXECUTE THE WORKS IN COMPLIANCE W/ THE CURRENT EDITION OF THE BCA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) & THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORK.

Levels

(XXX)????

(RL) RELATIVE LEVEL ????  
(SSL) STRUCTURAL SLAB LEVEL ????  
(FFL) FINISHED FLOOR LEVEL ????  
(GND) FINISHED GROUND LEVEL ????

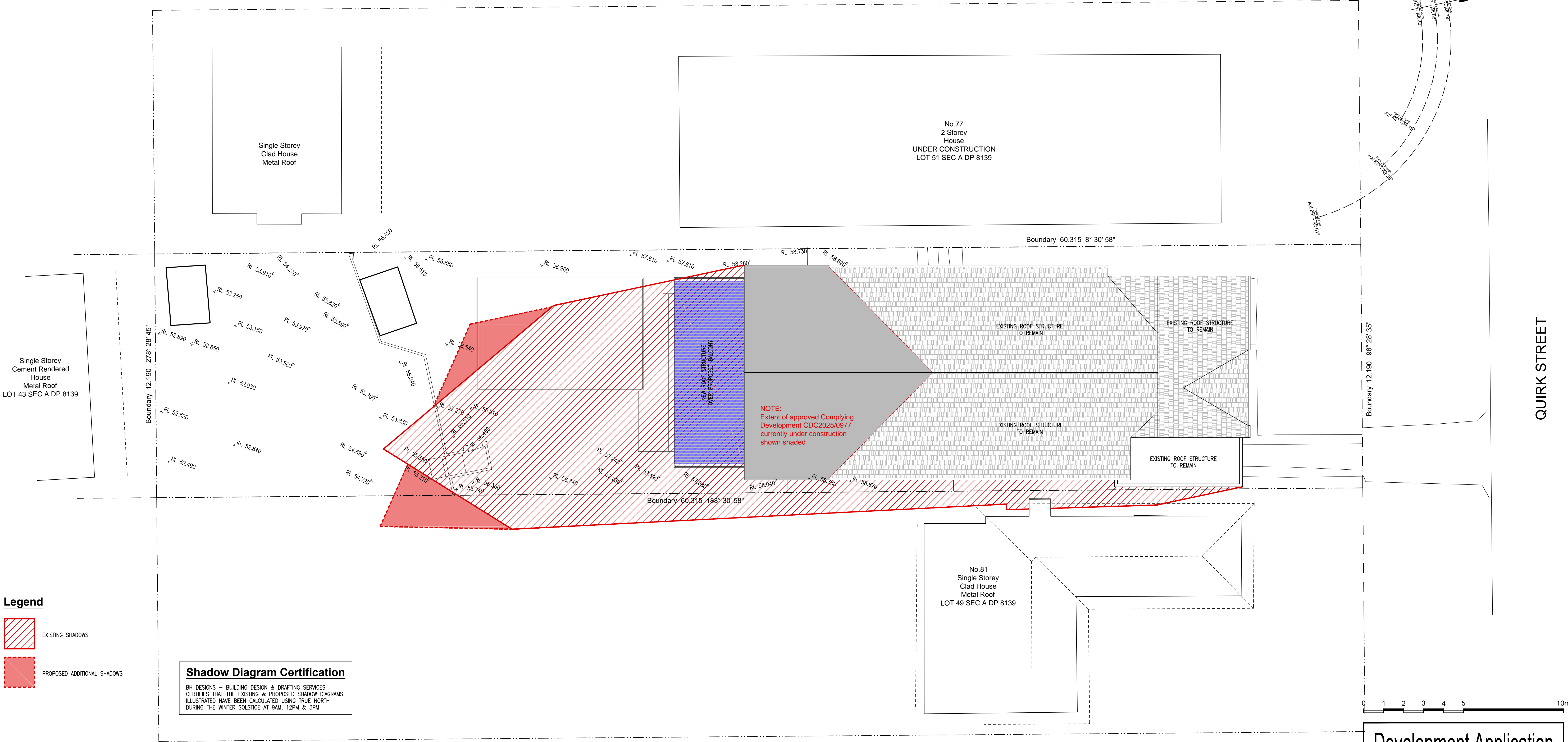
EXISTING SITE LEVELS TRANPOSED FROM SITE SURVEY FOR REFERENCE.

EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION.  
EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

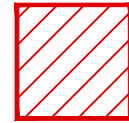
00.000

00.000E+XT

CAREW STREET



Legend



EXISTING SHADOWS



PROPOSED ADDITIONAL SHADOWS

Shadow Diagram Certification

BH DESIGNS - BUILDING DESIGN & DRAFTING SERVICES  
CERTIFIES THAT THE EXISTING & PROPOSED SHADOW DIAGRAMS  
ILLUSTRATED HAVE BEEN CALCULATED USING TRUE NORTH  
DURING THE WINTER SOLSTICE AT 9AM, 12PM & 3PM.

0 1 2 3 4 5 10m

Development Application

This design is not to be used, copied or reproduced without authority.

Do not scale from drawings. Confirm dimensions on site prior to commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works.

This drawing is only to be used for its designated purpose. Unless otherwise stated this drawing is not to be used for construction.

Amendments

Issue	Description	By	Date
-------	-------------	----	------



ABN: 80 356 936 642  
Mob: 0418 218 341  
Email: brendan@bhdesigns.com.au

Project

Alterations & Additions  
to an Existing Dwelling

Client

Nicole & Paul Carey

Address

No.79 Quirk Street,  
DEE WHY

Drawing

Shadow Diagrams  
June 21 @ 12pm

Scale

1:100@A1;1:200@A3 April 2025

Drawn by

bh

Checked by

Drawing #

2401/DA-09

Issue

A



General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION W/ OTHER CONSULTANTS DRAWINGS, DOCUMENTATION & COORDINATE W/ OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.  
VERIFY SET-OUT DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.  
DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.  
EXECUTE THE WORKS IN COMPLIANCE W/ THE CURRENT EDITION OF THE BCA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) & THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORK.

Levels

(XXX)????

(RL) RELATIVE LEVEL ????  
(SSL) STRUCTURAL SLAB LEVEL ????  
(FFL) FINISHED FLOOR LEVEL ????  
(GND) FINISHED GROUND LEVEL ????

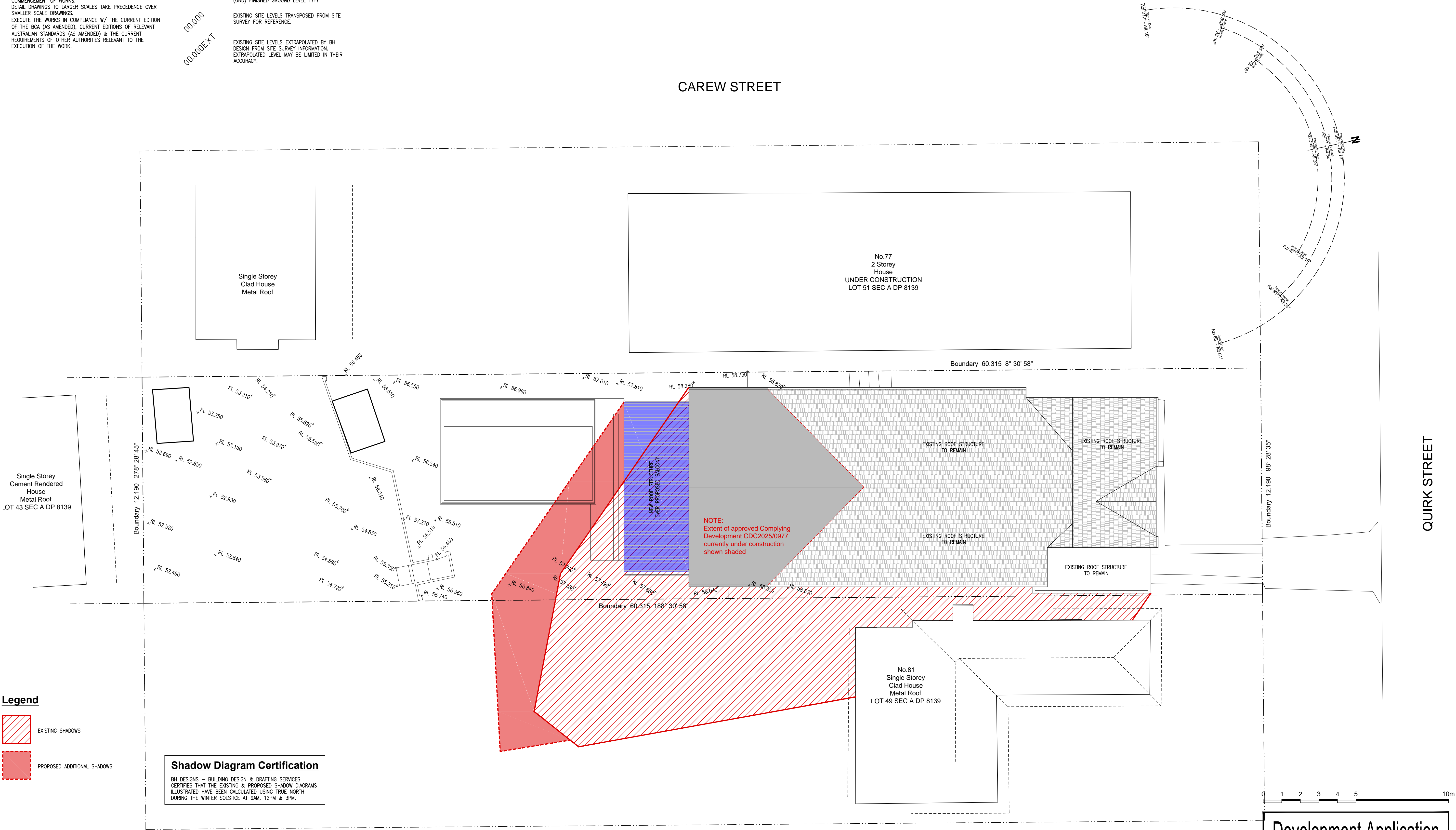
EXISTING SITE LEVELS TRANPOSED FROM SITE SURVEY FOR REFERENCE.

EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION.  
EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

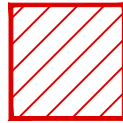
00.000

00.000E+XT

CAREW STREET



Legend



EXISTING SHADOWS



PROPOSED ADDITIONAL SHADOWS

Shadow Diagram Certification

BH DESIGNS - BUILDING DESIGN & DRAFTING SERVICES  
CERTIFIES THAT THE EXISTING & PROPOSED SHADOW DIAGRAMS  
ILLUSTRATED HAVE BEEN CALCULATED USING TRUE NORTH  
DURING THE WINTER SOLSTICE AT 9AM, 12PM & 3PM.

0 1 2 3 4 5 10m

Development Application

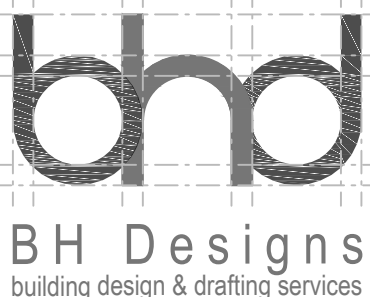
This design is not to be used, copied or reproduced without authority.

Do not scale from drawings. Confirm dimensions on site prior to commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works.

This drawing is only to be used for its designated purpose. Unless otherwise stated this drawing is not to be used for construction.

Amendments

Issue	Description	By	Date
-------	-------------	----	------



ABN: 80 356 936 642  
Mob: 0418 218 341  
Email: brendan@bhdesigns.com.au

Project

Alterations & Additions  
to an Existing Dwelling

Client

Nicole & Paul Carey

Address

No.79 Quirk Street,  
DEE WHY

Drawing

Shadow Diagrams  
June 21 @ 3pm

Scale

1:100@A1;1:200@A3

Date

April 2025

Drawn by

bh

Checked by

Drawing #

2401/DA-10

Issue

A