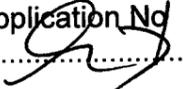


RECEIVED
19 DEC 2013



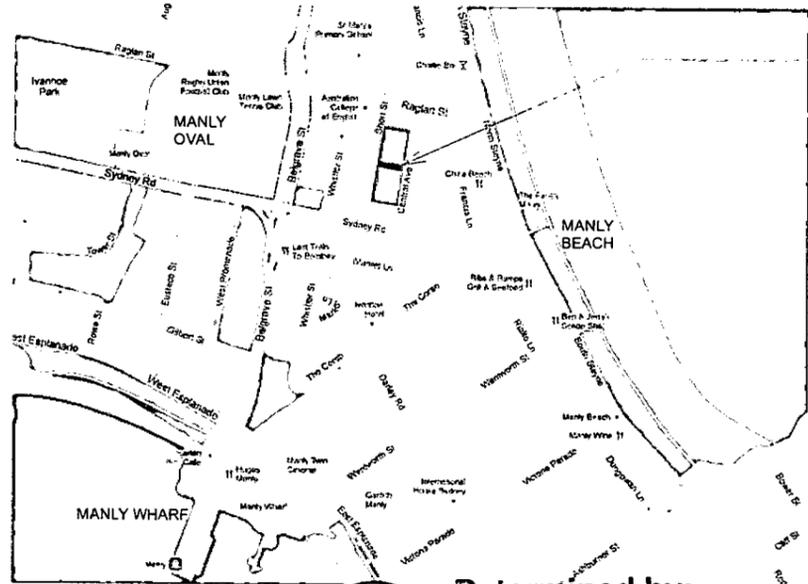
Manly Council

This plan is sheet1..... of4..... sheet/s referred to in Council's
Notice of Determination letter dated17/6/14..... in respect
Of Development Application No259/2013.....
Signed: 

This plan is to be read in conjunction with conditions contained within the
Notice of Determination that may change the form of the development or the
manner in which the development proceeds.

These plans are not for construction. Where demolition, site works or
building works are proposed a Construction Certificate is to be obtained prior
to commencement of work.

A copy of the approved Development Application Plans and Construction
Certificate must be kept on site for the duration of the works.



PROPOSED AREA OF DEVELOPMENT
WITHIN EXISTING 'MANLY NATIONAL
BUILDING' SHOWN IN RED



These plans relate to Development
Consent No. 259/2013
The plans are NOT for construction.

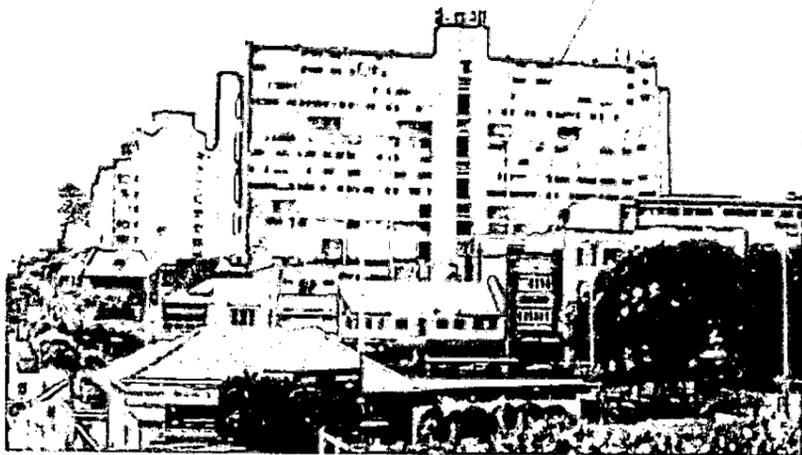
01 LOCATION PLAN
NTS



Determined by:-
Development
Assessment Unit

DA# 259/13
Date 28/7/14

LOCATION OF PROPOSED
DEVELOPMENT

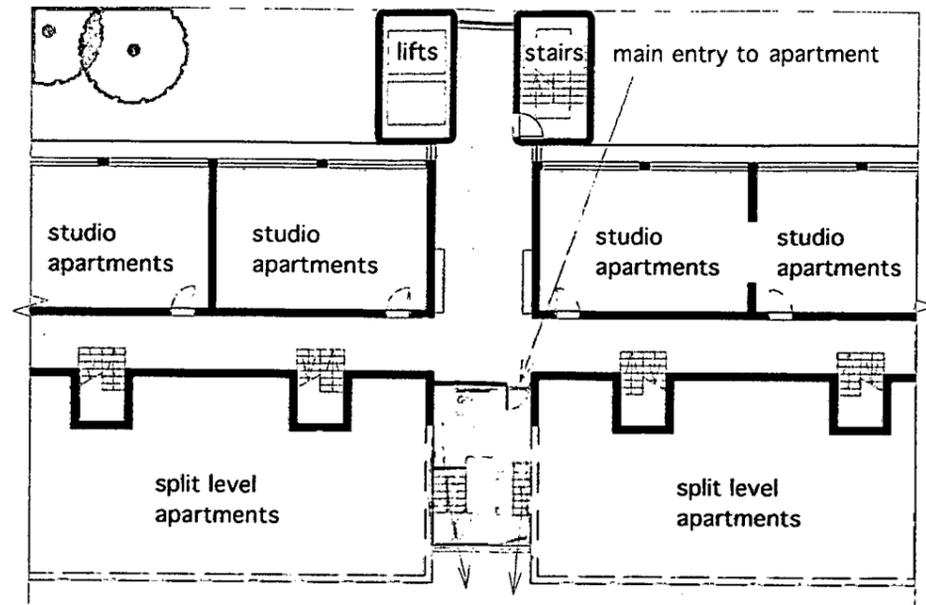


02 LOCATION / SITE PHOTO
VIEW FROM RAGLAN STREET / WEST ELEVATION

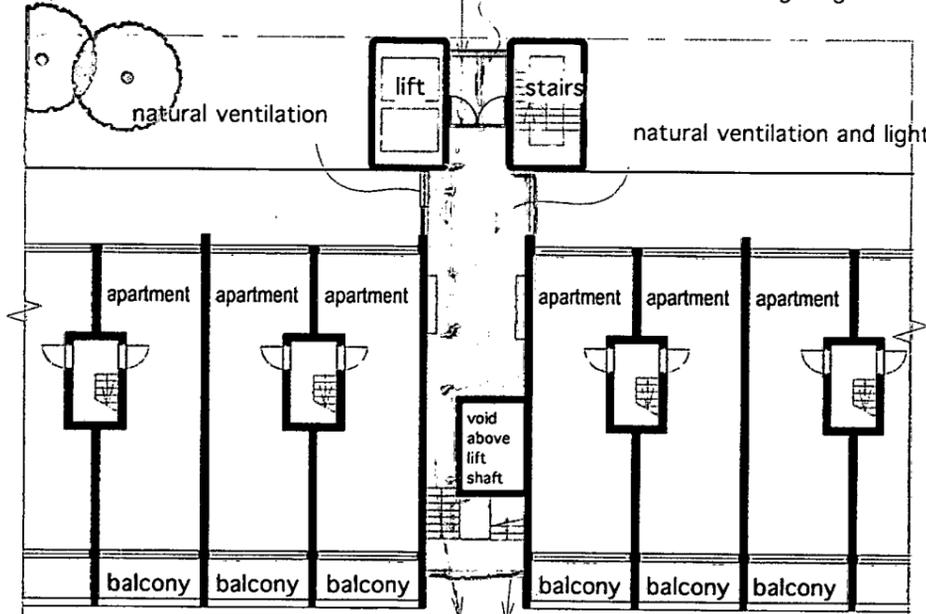
LEGEND:

- FOOTPRINT BUILDING PODIUM
- FOOTPRINT BUILDING TOWER
- EXISTING BUILDING ON ADJACENT SITE
- AREA OF ALTS AND ADDS
- EXISTING VEGETATION
- CORRIDOR BEYOND

03 SITE ANALYSIS PLAN - UPPER LEVEL / 12
NTS



glass balustrade and recessed door
to keep streetscape appearance

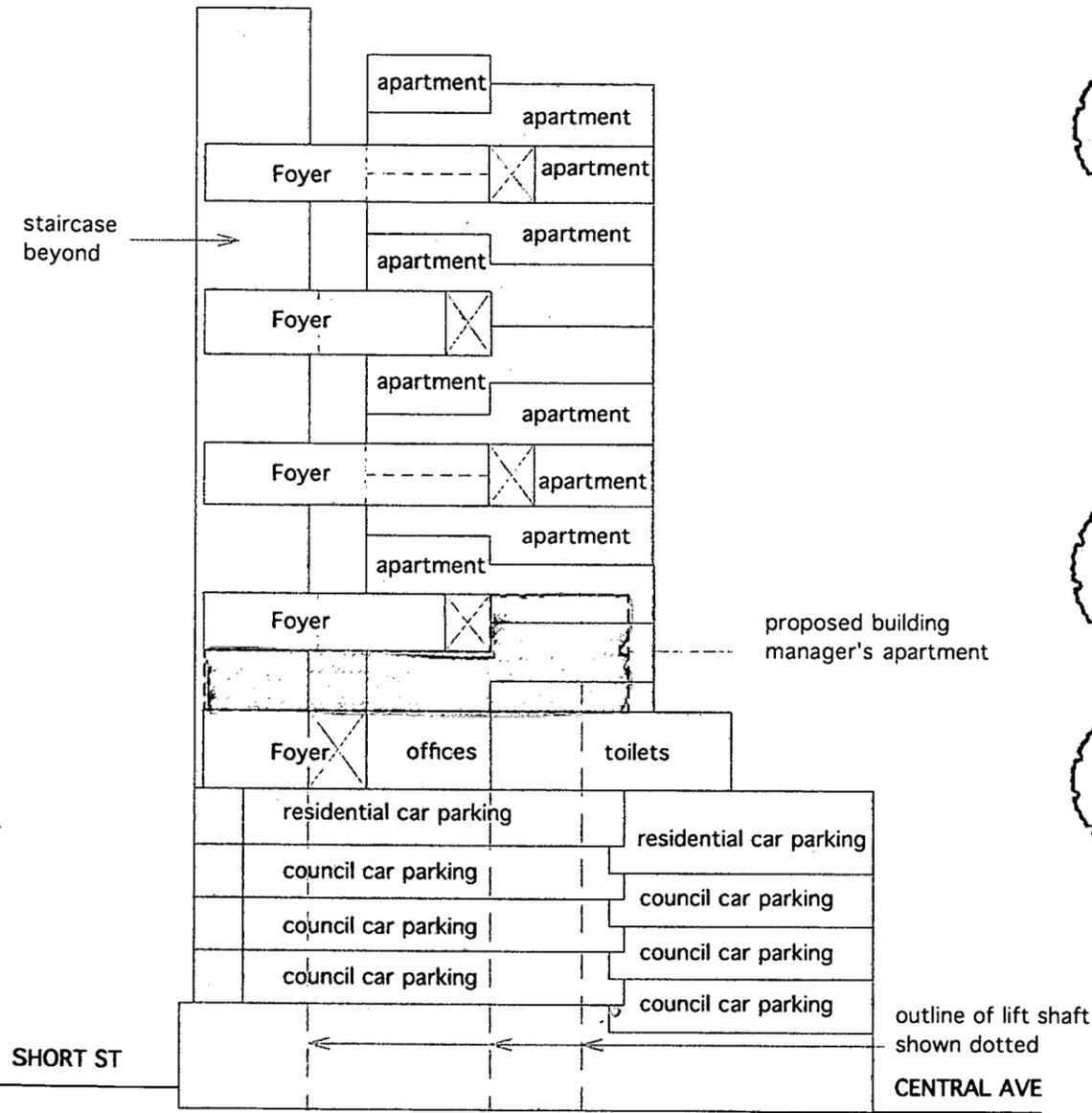


04 SITE ANALYSIS PLAN - LOWER LEVEL / 11
NTS

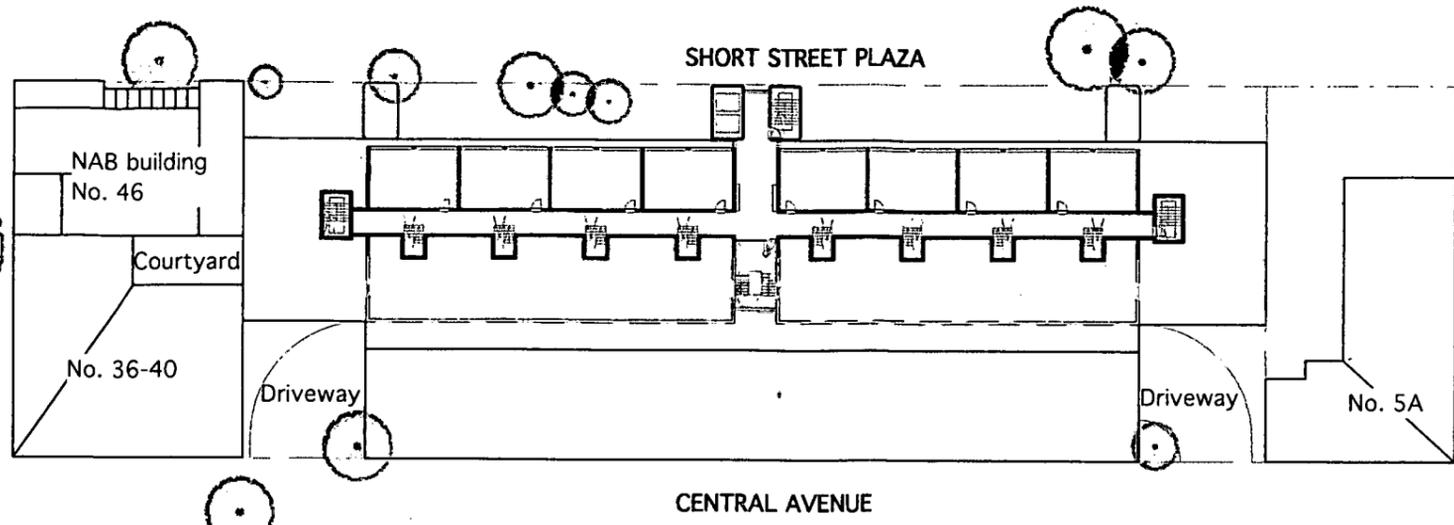


CLIENT		ADDRESS	
Body Corporate - Manly National		22 Central Avenue, Manly	
PROJECT		DRAWING	
Building Manager's Apartm.		Location and Site Analysis	
SCALE	DRAWN	CHKD	DWG NO
various @A3	VC	DJ	335.01

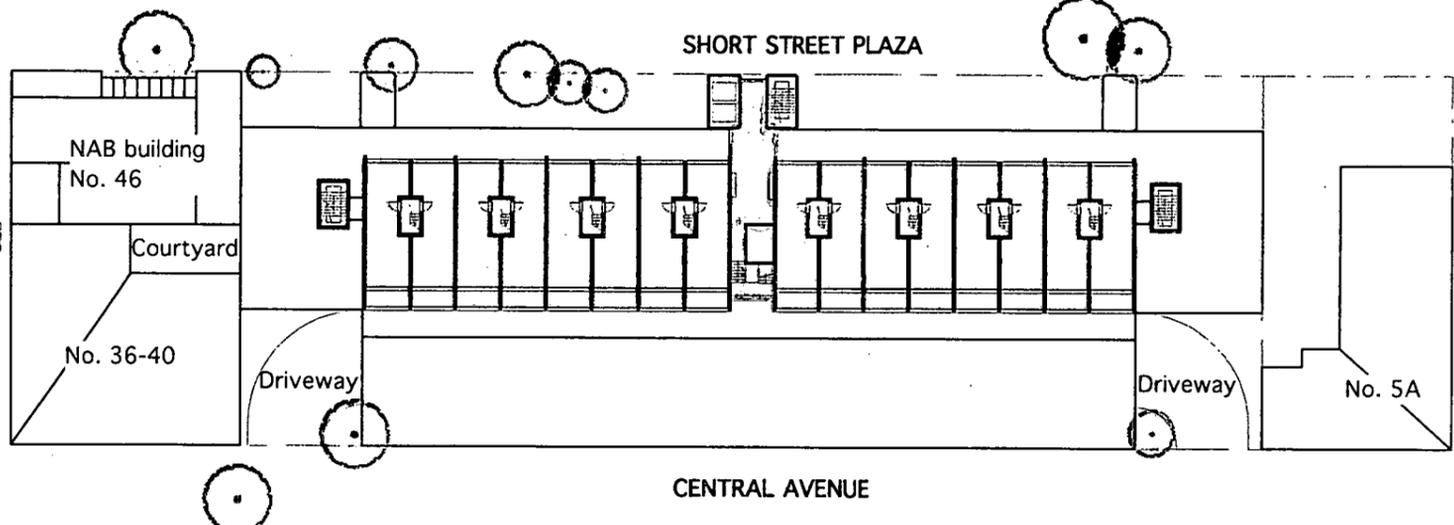
Verify all dimensions on site prior to commencement of building work. Figured dimensions to be taken in preference to scale.		<p>BAXTER & JACOBSON ARCHITECTS PTY LTD Lvl 2, 37-39 The Corso Manly NSW 2095 T: 02 9977 7648 F: 02 9977 0295 info@bja.net.au W: bja.net.au Nominated Architect: David Jacobson NSW ARB Reg No: 4259 ABN: 9508 832 8769</p>	
DATE	DATE		
12/6/12	1/5/12		



01 SITE SECTION THROUGH BUILDING
NTS



02 SITE PLAN - UPPER LEVEL
NTS



03 SITE PLAN - LOWER LEVEL
NTS

- LEGEND:**
- FOOTPRINT BUILDING PODIUM
 - FOOTPRINT BUILDING TOWER
 - EXISTING BUILDING ON ADJACENT SITE
 - AREA OF ALTS AND ADDS
 - EXISTING VEGETATION
 - CORRIDOR BEYOND

These plans relate to Development
Consent No. 259/2013
The plans are NOT for construction.

B	DA Lodgment	12/6/12
A	for Consultant	1/5/12
AMENDMENT		DATE

Verify all dimensions on site prior to commencement of building work. Figured dimensions to be taken in preference to scale.

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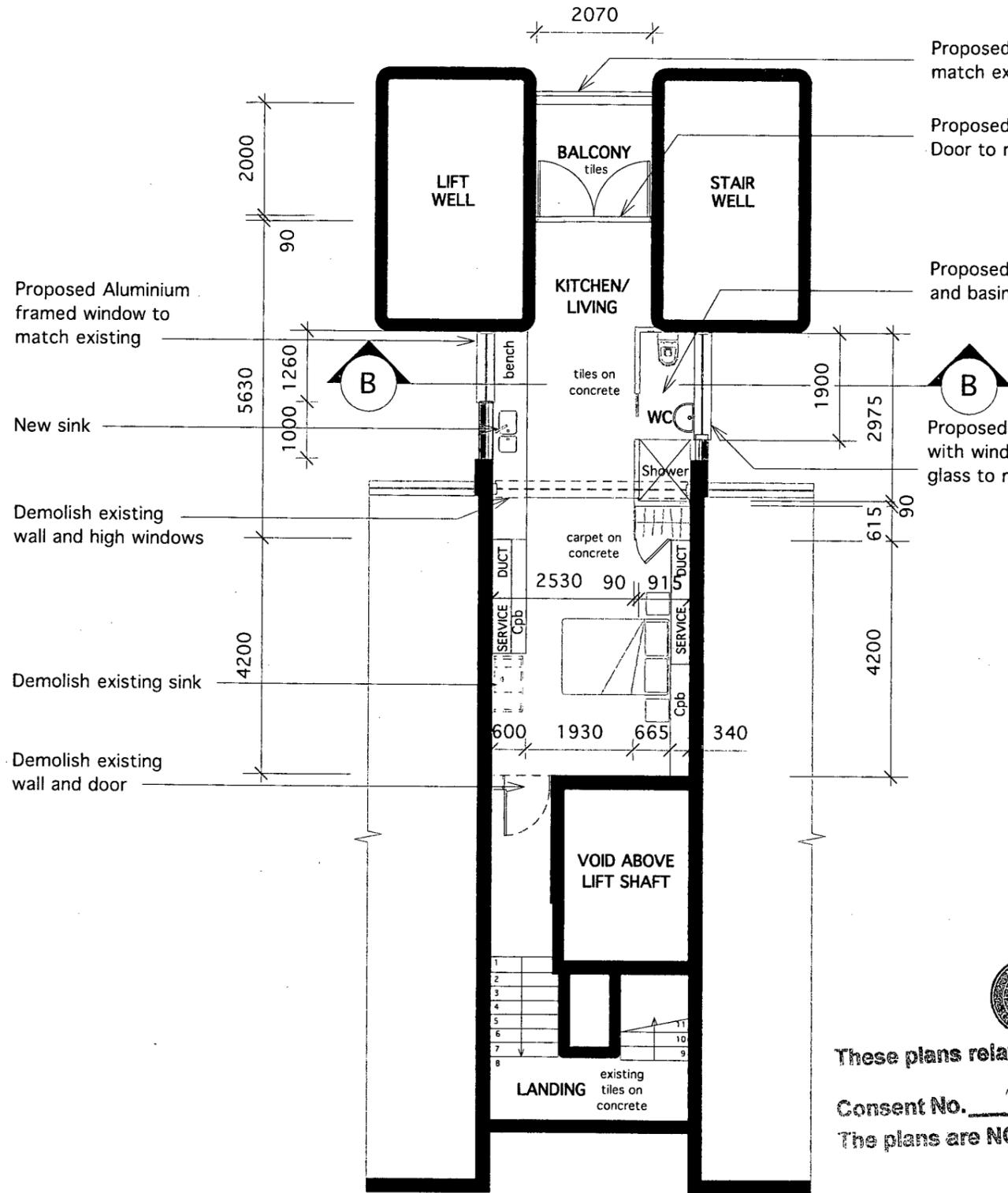
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Nominated Architect: David Jacobson NSW ARB Reg No: 4259 ABN: 9508 832 8769

CLIENT		ADDRESS	
Body Corporate - Manly National		22 Central Avenue, Manly	
PROJECT	DRAWING		
Building Manager's Apartm.	Site Plan and Section		
SCALE	DRAWN	CHKD	DWG NO
various @A3	VC	DJ	335.01
			02

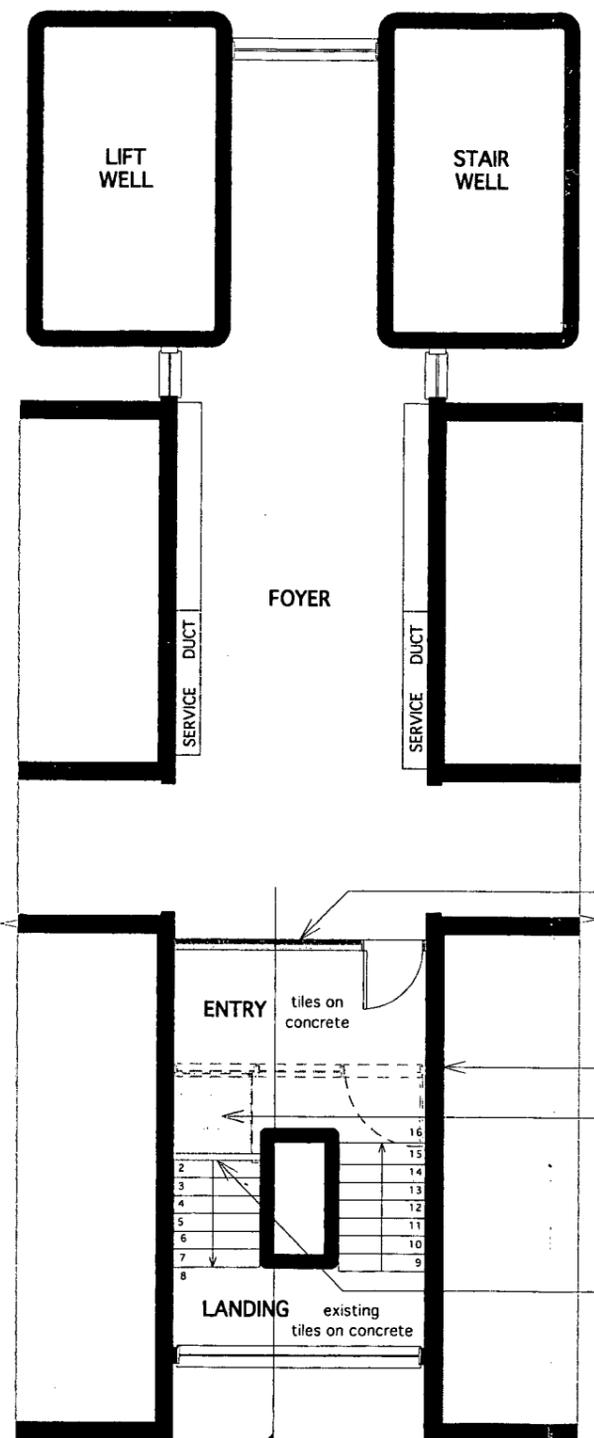
SHORT STREET

SHORT STREET



01 FLOOR PLAN LEVEL 5

CENTRAL AVENUE



02 FLOOR PLAN LEVEL 6

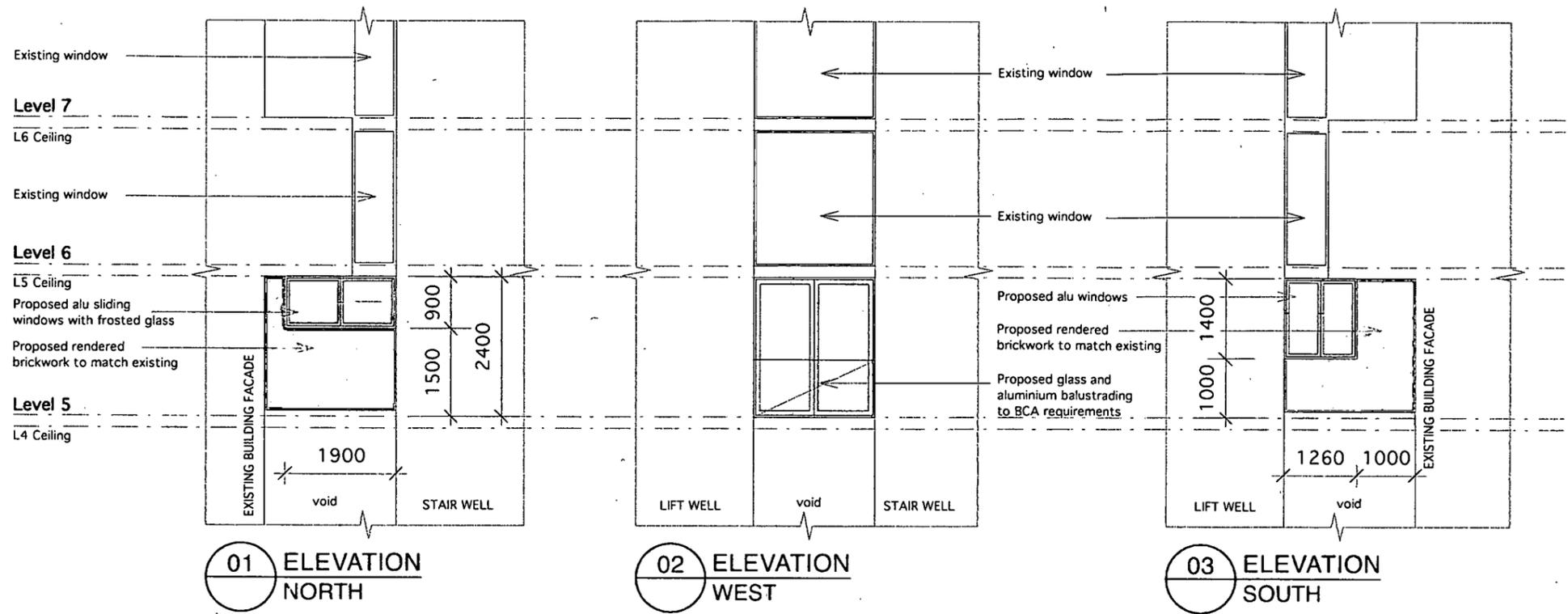
CENTRAL AVENUE

These plans relate to Development Consent No. 25912013. The plans are NOT for construction.

- LEGEND:**
- items to be removed
 - proposed internal timber framed stud wall
 - proposed internal steel framed stud wall (noise and flame resistant)
 - █ proposed external cavity brick wall
 - proposed new timber flooring to extend over stairway
 - proposed new aluminium framed window/door to match existing
 - existing service duct to be retained and made accessible
 - █ existing structure
 - tiles

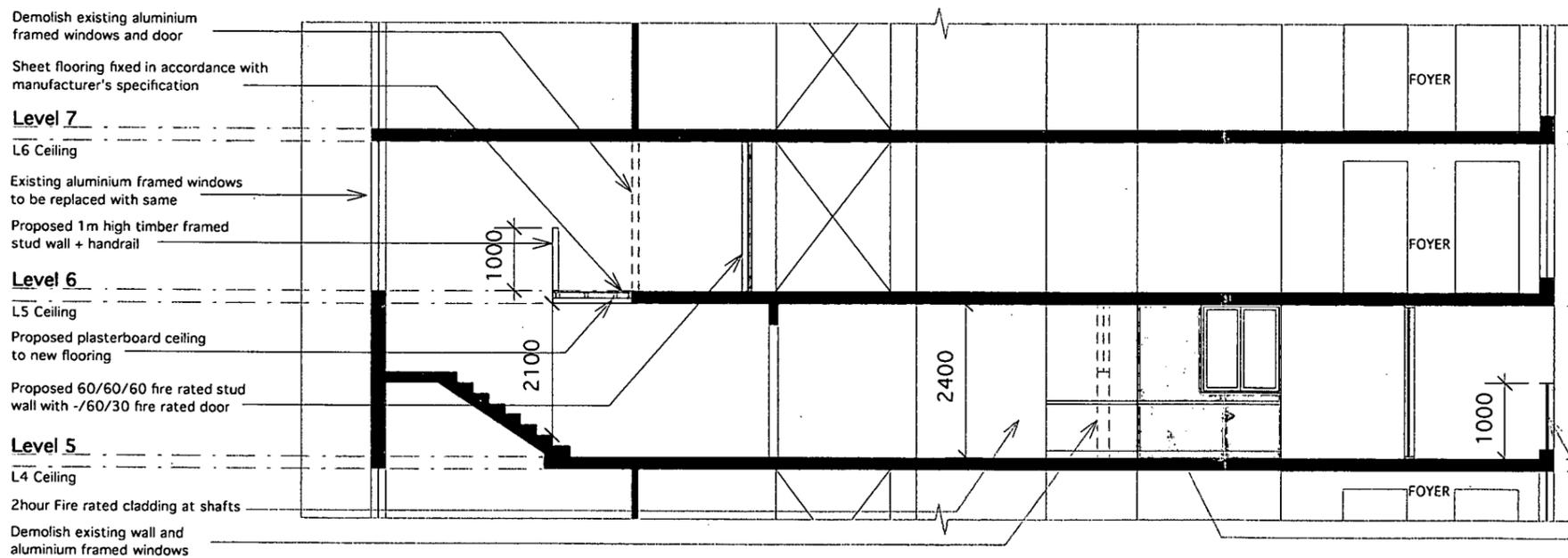


			Verify all dimensions on site prior to commencement of building work. Figured dimensions to be taken in preference to scale.		<p>BAXTER & JACOBSON ARCHITECTS PTY LTD</p> <p>Lvl 2, 37-39 The Corso Manly NSW 2095 T: 02 9977 7648 F: 02 9977 0295 info@bja.net.au W: bja.net.au Nominated Architect: David Jacobson NSW ARB Reg No: 4259 A8N: 9508 832 8769</p>		CLIENT ADDRESS	
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B	DA Lodgment	12/6/12			PROJECT		Building Manager's Apartm. Proposed Floor Plans	
A	for Consultant	1/5/12			SCALE		1:100 @A3	
ISSUE	AMENDMENT	DATE			DRAWN		VC	
					CHKD		DJ	
					DWG NO		335.01	
							03	

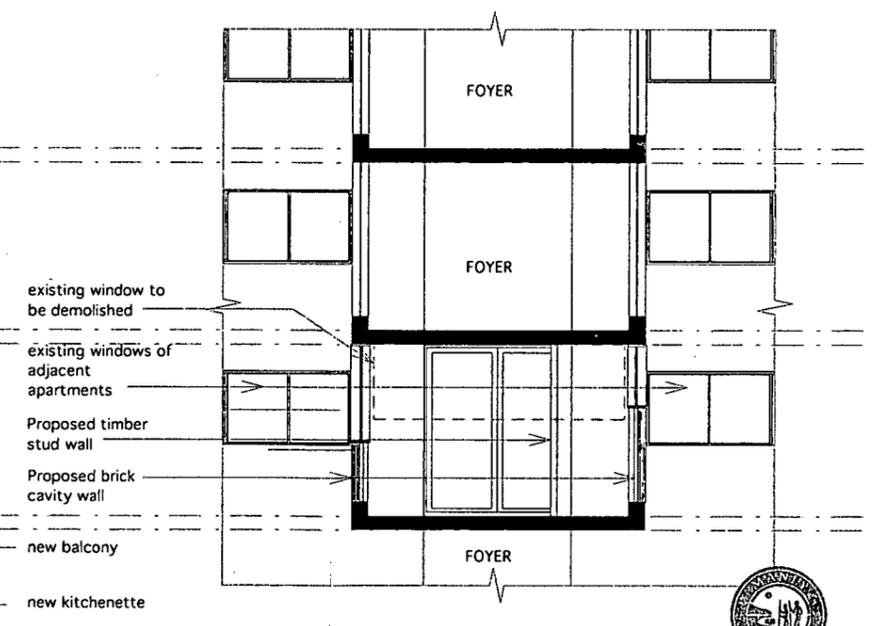


LEGEND:

- ==== items to be removed
- proposed internal timber framed stud wall
- proposed internal steel framed stud wall (noise and flame resistant)
- proposed external cavity brick wall
- proposed new timber flooring to extend over stairway
- proposed new aluminium framed window/door to match existing
- existing service duct to be retained and made accessible
- existing structure
- tiles



04 SECTION A-A



05 SECTION B-B

These plans relate to Development
 Consent No. 259/2013
 The plans are NOT for construction.



Verify all dimensions on site prior to commencement of building work. Figured dimensions to be taken in preference to scale.

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 Nominated Architect: David Jacobson NSW ARB Reg No: 4259 ABN: 9508 832 8769

CLIENT		ADDRESS	
Body Corporate - Manly National		22 Central Avenue, Manly	
PROJECT	DRAWING		
Building Manager's Apartm.	Proposed Section		
SCALE	DRAWN	CHKD	DWG NO
1:100 @A3	VC	DJ	335.01

6/12

B	DA Lodgment	12/6/12
A	for Consultant	1/5/12
ISSUE	AMENDMENT	DATE