



**Statement of  
Environmental  
Effects  
at  
1 Noolinga Road,  
Bayview  
NSW 2104  
For  
Eric Liddell**

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**RAPID PLANS**

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## **1 INTRODUCTION**

This Statement of Environmental Effects accompanies the development application for the proposed alterations and additions at 1 Noolinga Road in Bayview.

This statement seeks to express that the proposal complies with Council's Ordinances and has compliance with the Council's objectives.

In formulating this Development Application careful consideration has been given to the sensitivity of the site, its relationship with surrounding properties, and the unique character of the streetscape and the nature of the surrounding area.

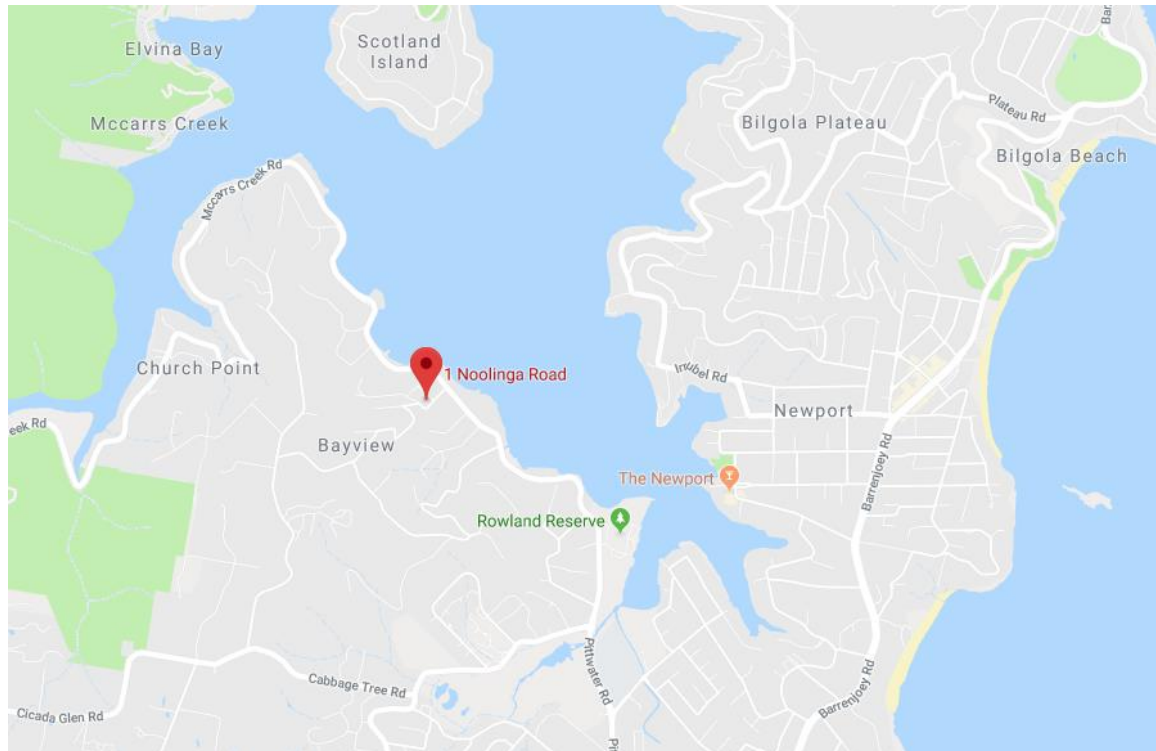
## 2 THE EXISTING BUILDING

### 2.1 Site

The residence is located on the south-western side of Noolinga Road in the residential neighbourhood of Bayview.

Site Address: No 1 Noolinga Road, Bayview

#### LOCATION PLAN



### 2.2 Local Authority

The local authority for this site is:  
Northern Beaches Council (Pittwater)  
Civic Centre, 725 Pittwater Road,  
Dee Why NSW 2099  
DX 9118 Dee Why  
Telephone: 9942 2111

### 2.3 Zoning

Lot 2 DP.514502 known as 1 Noolinga Road, Bayview, has a Zoning of E4 Environmental Living. This property does not fall within a Conservation Area.

### 2.4 Planning Controls

Planning controls used for the assessment of this Development Application are:  
Pittwater Local Environment Plan 2014  
Pittwater 21 Development Control Plan

## ***2.5 Context and Streetscape***

The house is situated in a street that is characterized by large trees and modern architectural homes. The street presents as typical of the garden suburb characterised by property trees small shrubs and street trees.

The street trees are quite mature overhanging the avenue and the properties in the street have a mix of trees and small shrubs. The property is an existing multi storey dwelling with housing directly opposite. Houses in the street are mainly single and double storey of varying periods with a mix of period homes & modern architectural style housing.

The locality is considered a low-density area. An important characteristic and element of Bayview significance as a garden suburb is the garden setting of its houses, and the flow of garden space around and between its houses.

## ***2.6 Existing Areas of the Dwelling***

The site has an existing multi storey dwelling with concrete parking area to the front.

## ***2.7 Existing off-street parking***

There is parking available for multiple cars in the existing garage & on the existing concrete drive. There is no necessity for street parking.

## ***2.8 Existing Landscaping***

The landscaping to the existing property consists of strip gardens with small trees & shrubs along the front & side boundaries with a grassed area between the front boundary & the drive. To the rear yard there is a medium sized native tree in the SW corner with tiered garden & lawn areas around the pool & between the dwelling & the rear boundary. The existing landscaping is to be maintained where possible for this development.

### 3 THE PROPOSAL

Visual character of the street will remain consistent with the local dwellings as one that maintains the garden suburb. The building will remain a multi storey building with car parking to the front. The appearance & bulk of the building is to be maintained throughout the development to be in keeping with surrounding properties. The proposed works provide for a new metal roofed pergola with skylights for shade over the existing front deck.

The proposal is in sympathy with the existing residence maintaining the scale and character of a house and the garden suburb.

#### ***3.1 Features of the Proposal***

**Externally the proposal encompasses:**

- New steel framed pergola roof with skylights

**Internally the proposal encompasses:**

- N/A

#### ***3.2 Present and Future uses of the Residence***

The present use of the residence is as a detached private residence on its own title and this will **not** change with the proposal.

#### ***3.3 Purpose for the additions***

The new proposal provides better provision for outdoor living to the front deck area for the residents whilst maintaining the bulk of the dwelling that is fitting for the Bayview area. The owner is looking to modernise the front deck by adding a pergola to allow the deck to be more usable for the owner's family in the summer months. The design maximizes the existing dwelling & available area of land whilst maintaining the bulk. The proposed development maintains the northern aspect improving the lifestyle for the resident as well as making the residence much more energy efficient and environmentally friendly.

### **3.4 Materials and finishes proposed to be used**

Materials proposed to be used externally, are new, weatherproof, durable and aesthetically pleasing, reflecting and fitting in general with the existing built environment and surrounding materials and reflecting the existing materials and design of the existing residence.

External materials used, and colours selected for finishing to new works are generally matching existing or sympathetic to the existing materials, comprising of:

Steel framed pergola painted with sheet metal roof

### **3.5 Height**

The height of the new development will not exceed the 8.5m height limit.

### **3.6 Site Controls**

<b>Proposed Development</b>	<b>Proposed</b>	<b>Allowable</b>
Site Area	681.2 sq m	-
GFA (Gross Floor Area)	263.68 sq m	-
Height	6.79m	8.5m
Built upon area	437.06 sq m	272.48 sq m
Landscaping	244.14 sq m	408.72 sq m

A concession is requested for the landscaped area being less than the 60% guideline in PDOP 21. The landscaped area is to remain unchanged for this application as the proposed works are elevated on the front deck with no works proposed on ground level. The bulk & scale is maintained as the pergola is of a minor nature with no change to privacy or overlooking with no shadowing to the adjacent property to the west. There is no impact to vegetation with stormwater to feed into the existing stormwater system.

### ***3.7 Setbacks and Siting***

<b>Proposed Development</b>	<b>Proposed</b>	<b>Allowable</b>
Front Set Back	9.21m	6.5m
Rear Set Back	13.54m	6.5m
Side Set Back	3.18m & 2.31m	2.5m & 1m

The setbacks of the residence are clear of setback clearances & the proposed works will remain consistent with the existing dwelling & adjacent properties being clear of setback lines.

A concession is requested for the pergola being slightly over the 3.5m side boundary envelope by 464mm. This is due to the design of the roof structure having avoid existing windows & blend in with the existing built form which maintains the existing & future character of the Bayview area. The proposed roof structure has no impact on the natural environment with existing view lines maintained for the subject & adjacent property. Existing privacy & amenity is maintained with the existing deck area to remain unchanged. It is in our opinion that the outcomes under Part D4.8 of PDCP21 have been achieved with this application.

### ***3.8 Access and Traffic***

Due regard has been given to pedestrian and vehicular access. The proposal shows that the existing access to Noolinga Road is to be maintained with the drive and entryways to maintain the Council parking provision & provide safe vehicle & pedestrian circulation. The proposed development will have no detrimental impact on traffic flow.

### ***3.9 Privacy, Views and Outlook***

The positioning of the proposed pergola roof at No 1 Noolinga Road has minimal impact on the visual and acoustic privacy of adjoining properties as it covers the existing front deck area which would provide a slight improvement in privacy for the western neighbouring property.

### ***3.10 Solar Access and Overshadowing***

The site slopes from the south to north. The location of the proposed addition has been carefully designed to maximize the northerly solar aspect with minimal impact on



neighbour's properties. The bulk of the roof shadowing will be existing with only a small shadow increase that falls on the road in the afternoon which will maintain sunlight to the open space areas to the westerly adjacent property.

### ***3.11 Acoustic Privacy***

Acoustic privacy has been maintained across the development. The steel framed pergola on the property assists as a buffer to noise. It is considered that this development imposes minimal noise impact to neighbours.

### ***3.12 Water Management***

Appropriate water management measures have been adopted in this development. Stormwater from new roofed area will be fed into the existing stormwater drainage system and piped to the street gutter.

## **4 ENERGY EFFICIENCY**

Energy conservation is an important feature in the design of this development. Careful consideration has been given to promote sustainable design.

### ***4.1 Orientation***

The roof orientation has been designed to make maximum use of the existing deck area as well as the northerly aspect.

### ***4.2 Passive Solar Heating***

The existing front deck has a concrete & tiled floor to promote heating during the winter months. Materials that have a high thermal mass have been proposed to maximize the heating potential of the sun. This is to reduce the need to use active systems for the heating of the living spaces.

### ***4.3 Passive Cooling***

The proposed roof structure has been designed to prevent the sun from entering the house during the summer months to assist in passive cooling. There is the potential for cross ventilation cooling with the sliding open doors and windows maximizing the north-easterly breezes.

#### ***4.4 Natural light***

Existing large open windows and doors to the north enable the living spaces to have generous amounts of sun during the winter months and natural light during the summer months.

#### ***4.5 Waste Management***

This proposal promotes waste minimization and would have minimal impact on existing waste management strategies. Ample space for the separation and temporary storage of waste and recycling bins has been allowed in the front yard. Household effluent will be disposed of to Sydney Water requirements. During construction onsite sedimentary controls, including hay bales and filter barriers, will be used to prevent stormwater pollution. On site sorting of construction waste will ensure maximum recycling occurs.

#### ***4.6 Siting and Setback***

Bayview is noted for the uniformity and the site coverage siting. Most houses are free standing with the car access to the front or down one side. 1 Noolinga Road is a good example of this in that it has its car parking in the existing garage minimizing cars parked on the street. The siting of the house is relevant to the shape of the block & neighbouring properties with the entry to be maintained. The new roof to the front of the house follows this design concept. There have been generous areas of ground dedicated to the planting of landscaped areas in both the front and the rear areas of the house.

#### ***4.7 Development on Sloping Land***

No. 1 Noolinga Road, Bayview is shown in landslip area H1 on Northern Beaches Council Landslip map. In relation to Clause 7.7 of PLEP 2014, the proposed development has a low risk of landslide in relation to both property & life due to the flat grade & structural integrity of the site & dwelling. There is no detrimental impact of stormwater discharge as the proposal makes use of the existing stormwater system with the additional runoff feeding into the existing system & piped to the street gutter. The development will not impact on or affect the existing subsurface flow conditions as there is no excavation or works at ground level with no disturbance of soil. As shown in the screenshot on the following page, the edge of the H1 Geotechnical Area, shown in red, falls to the rear boundary area off Kananook Avenue with no works within the hazard area.

Residential buildings in Bayview are uniformly single and double storey and similar in bulk. They are similar in shape but remain individually designed. The new works have been designed to maintain the overall look of the building form & to create a modern design that suites the area.

Roofs of this housing period are usually quite simple and accentuate the single and double storey scale of the house. The existing house has a sheet metal skillion style roof with the proposal to utilize a matching roof form to the front of the property under this proposal.

A distinctive feature of the Bayview house is that the walls are constructed from stone & rendered masonry walls to the lower floors & clad stud walls to the upper floor that are to remain under this application.

#### **4.11 Windows and Doors**

Windows & doors are to remain unchanged under this proposal.

#### **4.12 Garages and Carports**

The existing garage is to remain unchanged under this proposal.

#### **4.13 Colour Scheme**

The colour scheme of the proposed addition will be in sympathy with the period of the original house.

Please refer to Appendix 1 for the Colour Scheme schedule

#### **4.14 Fences and Gates**

Fences & gates are to be maintained for this development.

#### **4.15 Garden Elements**

The garden areas are to be maintained promoting the concept of a garden suburb.

No substantial trees are to be affected to maintain the existing streetscape.

### **5 CONCLUSION**

#### **5.1 Summary**

This proposal is considered suitable for the site and provides a balance between low density living, amenity and outdoor space. The proposed changes to 1 Noolinga Road are sympathetic and consistent with the existing character of the surrounding streetscape and residential density of Bayview. The proposed design solution provides a private residence that is both architecturally and environmentally responsive to the needs of the site and local community. Steel posted pergola, sheet metal roof with skylights, natural daylight and existing ventilation combine to greatly improve the immediate and future amenity of this residence. These factors work together to minimize the impact of the proposed development on adjoining properties and enhance the amenity of the surrounding area. We consider that the proposal will impose minimal impact and request that council support the Development Application.

## 6 APPENDIX 1 – Schedules

### 6.1 *Schedule of finishes*

Schedule of Exterior Materials, Finish and Colours

EXTERIOR ELEMENT	MATERIAL	FINISH	AS 2700 1996 COLOUR
6.1.1 Gutter	Colorbond	Paint	Match existing
6.1.2 Pergola Posts	Steel	Paint	Match existing
6.1.3 Roofing	Colorbond	Paint	Match existing