



6 February 2023
Ref 21315

Northern Beaches Council
PO Box 1336
DEE WHY 2099

E: council@northernbeaches.nsw.gov.au

Dear Sir/Madam,

MOD2022/0717
30 FAIRLIGHT STREET, FAIRLIGHT
TRAFFIC & PARKING MATTERS

I refer to Council's letter dated 22nd December 2022 requesting additional information in respect of the abovementioned residential development proposal (MOD2022/0717). The number of dwellings proposed as part of the s4.55 application again comprises a total of 5 x 3-bedroom dwellings, consistent with the DA approved scheme. The following advice is provided in response to the relevant traffic and parking matters raised under **Item 2** of your letter.

"2. A traffic report which addresses the proposed modification and the relevant provisions of the MDCP 2013 and any relevant Australian Standards and RMS requirements."

In this regard, the off-street car parking requirements applicable to the s4.55 application are specified in *Manly Development Control Plan 2013, Schedule 3 – Parking and Access* in the following terms:

Residential Flat Buildings (Residential Zones)

- 1 resident parking space for each dwelling (irrespective of number of bedrooms), plus
- 0.2 resident parking spaces for each 2 bedroom dwelling, plus
- 0.5 resident parking space for each 3 (or more) bedroom dwelling, and plus
- 0.25 visitor parking space for each dwelling (irrespective of number of bedrooms).

Application of the above parking rates to the 5 x 3-bedroom dwellings outlined in the s4.55 development proposal, yields an off-street parking requirement of 9 spaces as set out below:

MDCP 2013

Resident (5 dwellings):	7.50 spaces
Visitor:	1.25 spaces
TOTAL:	8.75 spaces

By way of comparison, reference is also made to the Roads and Maritime Service's publication *Guide to Traffic Generating Developments, Section 5 – Parking Requirements for Specific Land Uses (October 2002)*.

The RMS *Guidelines* are based on extensive surveys of a wide range of land uses and nominates the following off-street parking rate for *Medium density residential flat buildings*:

Medium density residential flat buildings

- 1 space per unit
- +1 space for every 5 x 2-bedroom unit
- +1 space for every 2 x 3-bedroom unit
- +1 space for 5 units (visitor parking)

Application of the above RMS car parking rates to the s4.55 proposal yields an off-street car parking requirement of 9 spaces as set out below:

RMS Guidelines

Resident (5 dwellings):	7.5 spaces
Visitor:	1.0 spaces
TOTAL:	8.5 spaces

The proposed development makes provision for a total of 10 off-street car parking spaces, comprising 9 residential spaces and 1 visitor space, thereby satisfying the RMS *Guidelines* parking rates, whilst resulting in a nominal ‘shortfall’ of 0.25 visitor space, when assessed under Council’s *MDCP* parking rates.

The shortfall of 0.25 visitor space when assessed under Council’s *MDCP* parking rates is largely due to Council’s requirement of *parking rates to be rounded up to the next whole number*, noting that the vast majority of other LGAs in the greater Sydney area specify, *parking rates to be rounded to the nearest integer*, with some LGAs having a rate of *1 space per 5 units* for visitor parking (consistent with the RMS Guidelines noted above).

In fact, based on the above off-street parking rate comparison, Council’s off-street parking requirement seem to have been adapted from the RMS *Guidelines*, noting the requirements for each type of unit is *identical*.

Accordingly, the proposed provision of 9 residential spaces and 1 visitor parking space is considered acceptable in this instance, as it satisfies the RMS *Guidelines* parking rates, with the nominal ‘shortfall’ of 0.25 visitor spaces being *negligible*, when assessed under Council’s *MDCP 2013* requirements.

The geometric design layout of the proposed car parking facilities has been designed to comply with the relevant requirements specified in the Standards Australia publication *Parking Facilities Part 1 - Off-Street Car Parking AS2890.1 – 2004* in respect of parking space dimensions, aisle width, ramp gradients and driveway widths.

In the circumstances, it is therefore concluded that the proposed modifications to the parking layout as part of this s4.55 application will not result in any unacceptable traffic, parking or site access implications.

Furthermore, it is also noted that the proposed new driveway crossover located towards the eastern end of the Fairlight Street site frontage will result in the *removal* of the existing 10.6m wide driveway crossover, which services the existing 3 x garage spaces fronting Fairlight Street. This allows a potential for a *nett gain* of up to 2 on-street parking spaces along Fairlight Street for the wider community use.

I trust the above information is sufficient. Please do not hesitate to contact me on telephone 9904 3224 should you have any queries.

Yours sincerely



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Rev.	Date	By	Ckd	Description
H	9/01/2023	MW	NB	S4.56 Issue

Project Name
Project Address

30 Fairlight St, Fairlight
30 Fairlight St,
Fairlight, NSW 2094

Project Number
Drawing Name
Scale
Date

00012781
Basement Plan
1:150 (A3)
June 2021

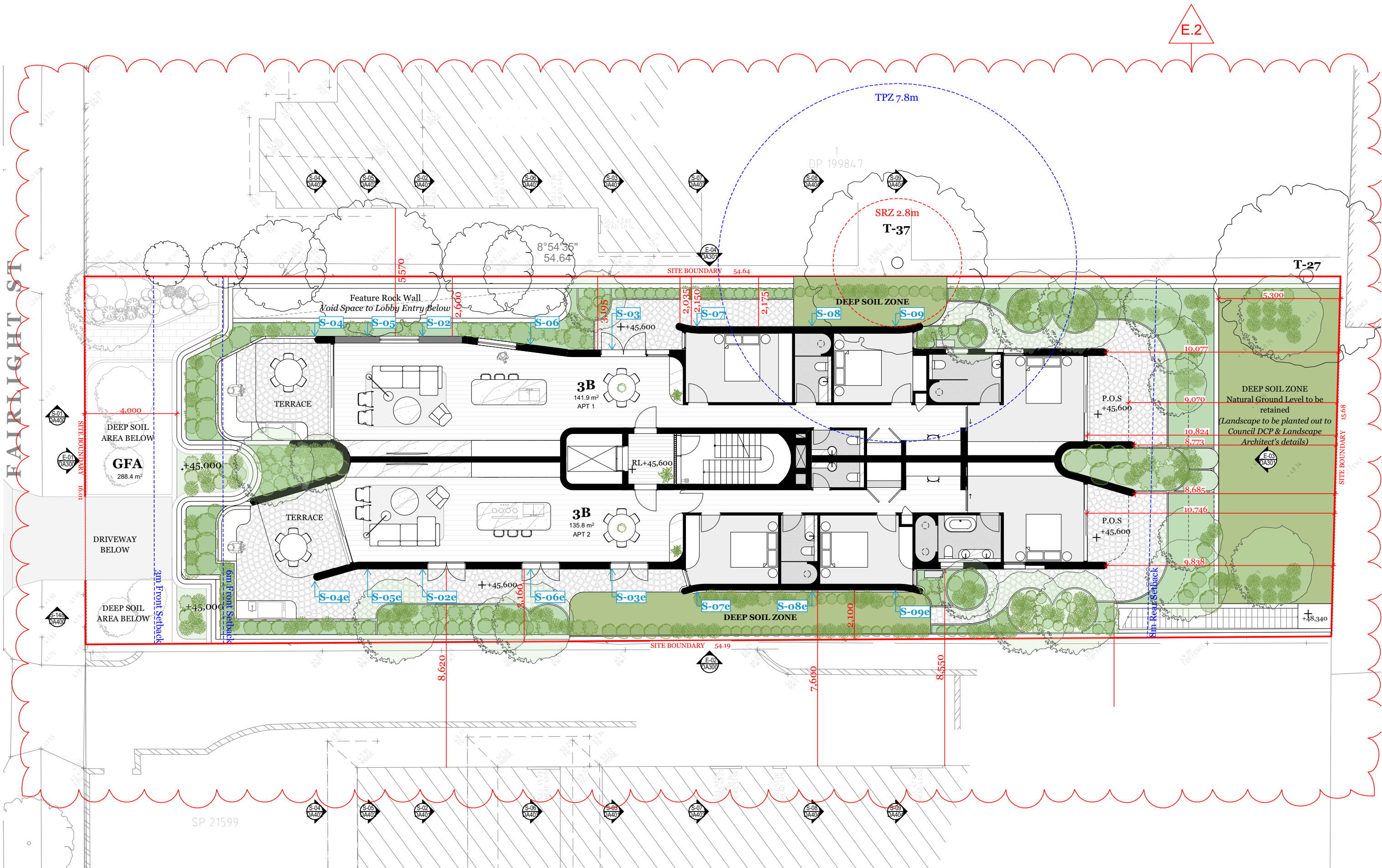
Client

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Drawing Number
Revision

DA200
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FAIRLIGHT ST



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Rev.	Date	By	Ckd	Description
E	27/06/2022	MW	NB	Court Amended Drawings

Project Name
Project Address

30 Fairlight St, Fairlight
30 Fairlight St,
Fairlight, NSW 2094

Project Number
Drawing Name
Scale
Date

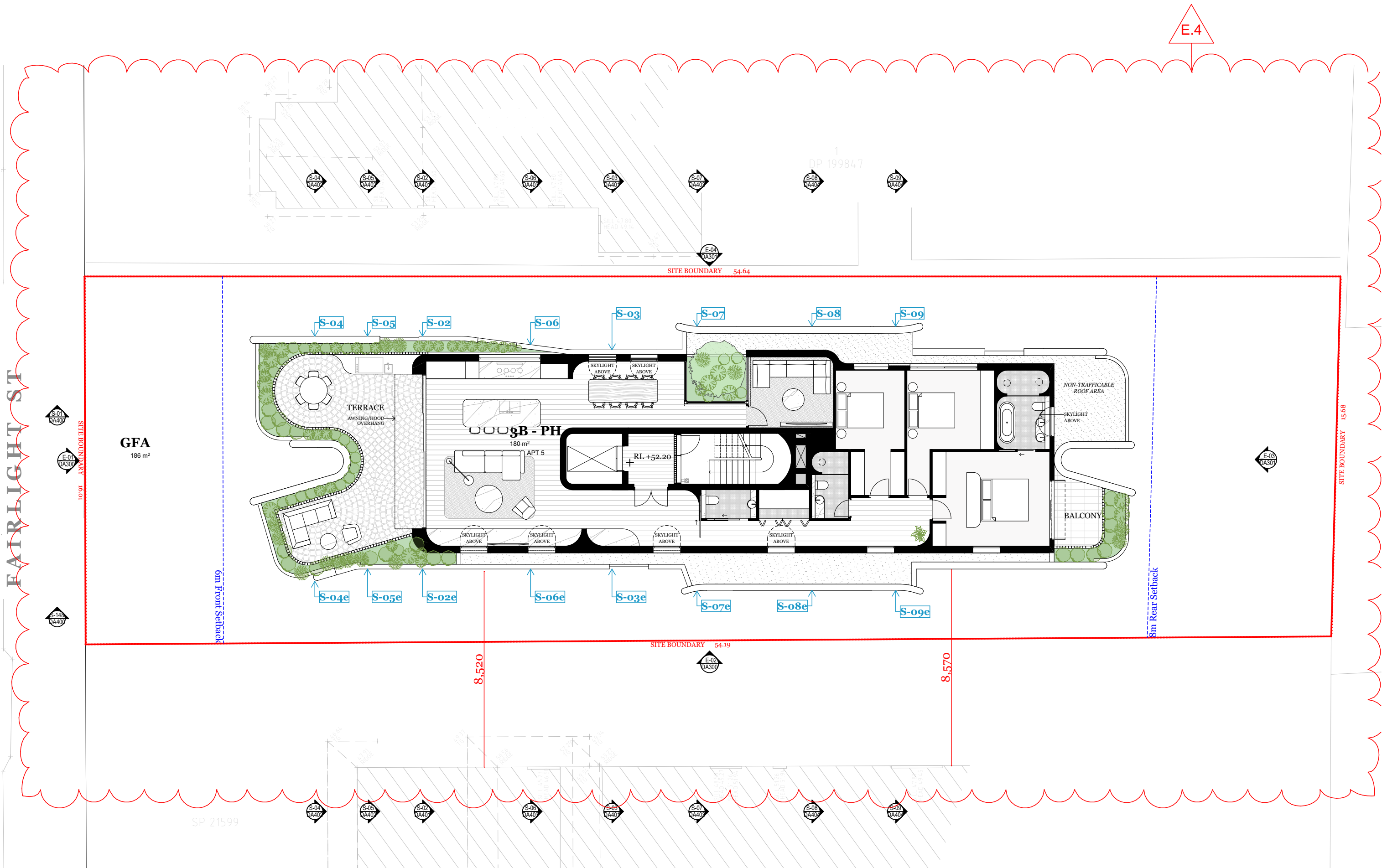
00012781
Ground Floor Plan
1:150 (A3)
June 2021

Client

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Drawing Number
Revision

DA201
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E	27/06/2022	WL	NB	Court Amended Drawings

Project Name
Project Address

30 Fairlight St, Fairlight
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Project Number
Drawing Name
Scale
Date

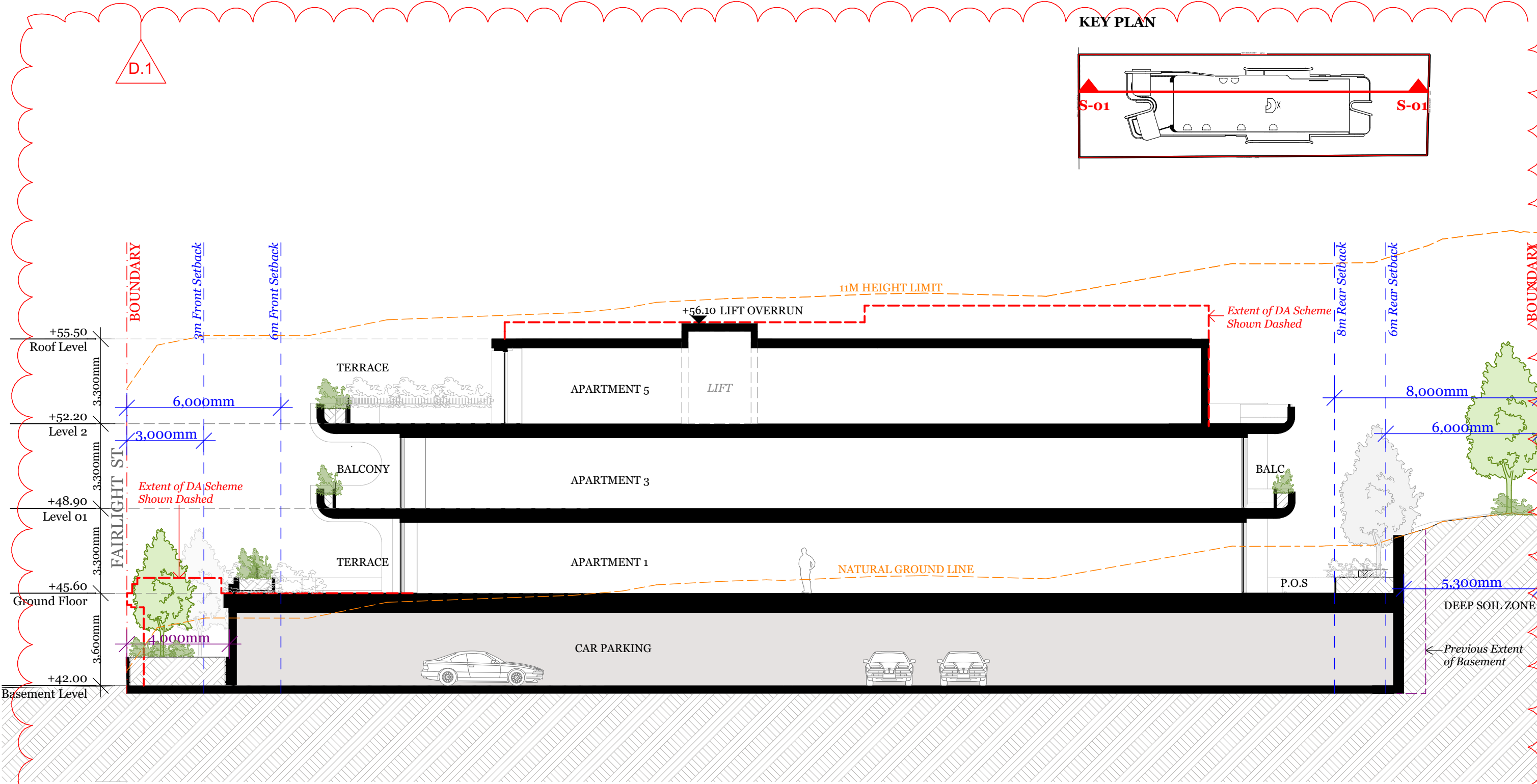
00012781
Level 2 Plan
1:150 (A3)
June 2021

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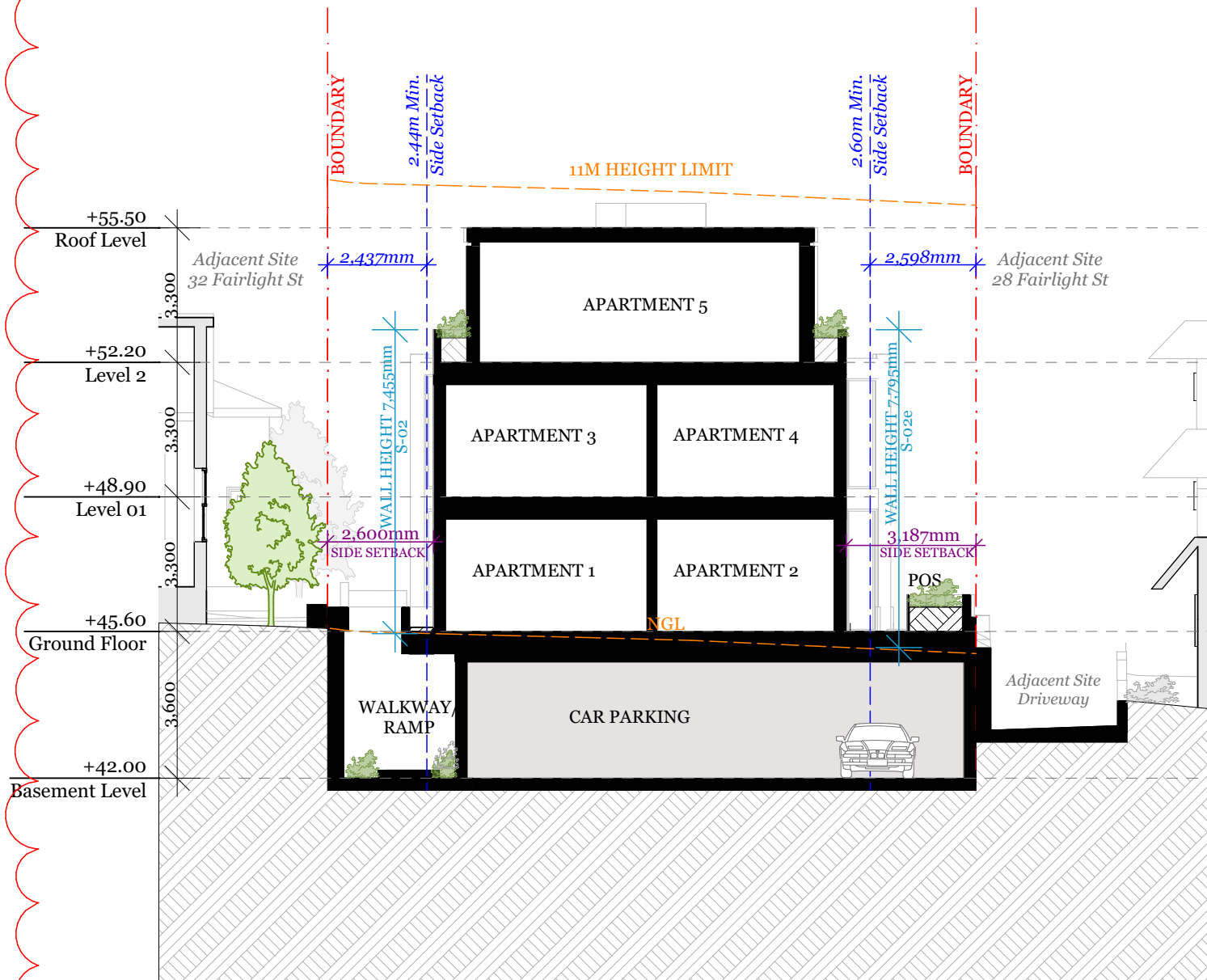
Drawing Number
Revision

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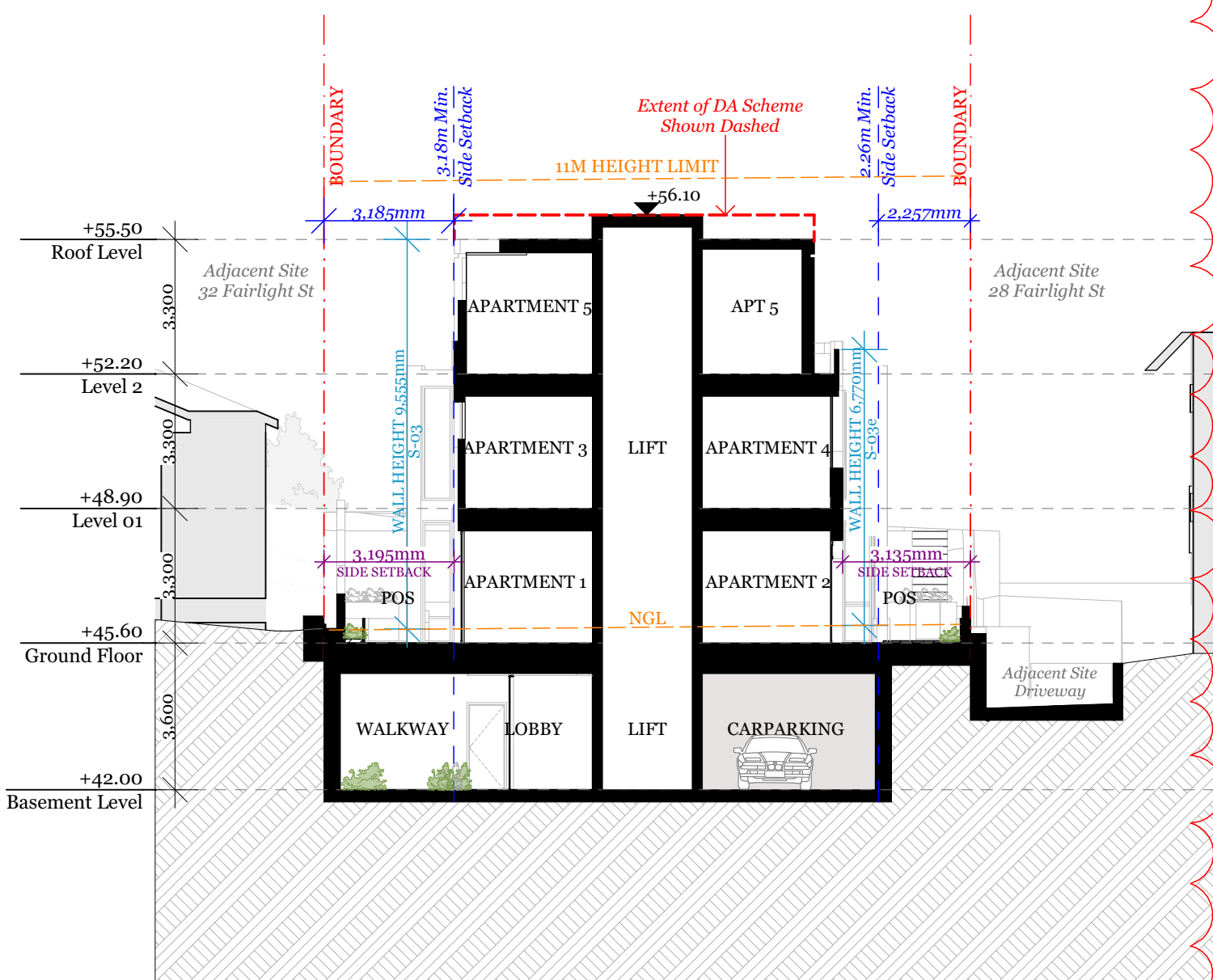
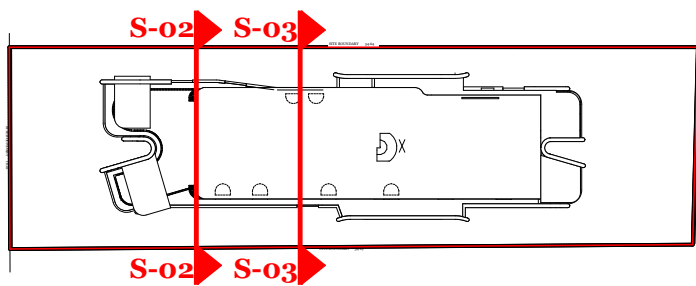
Section - S-01

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Section - S-02

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D	27/06/2022	WL	NB	Court Amended Drawings

Project Name
Project Address

30 Fairlight St, Fairlight
30 Fairlight St,
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Project Number
Drawing Name
Scale
Date

00012781
Sections - Sheet 2
(A3)
June 2021

Client

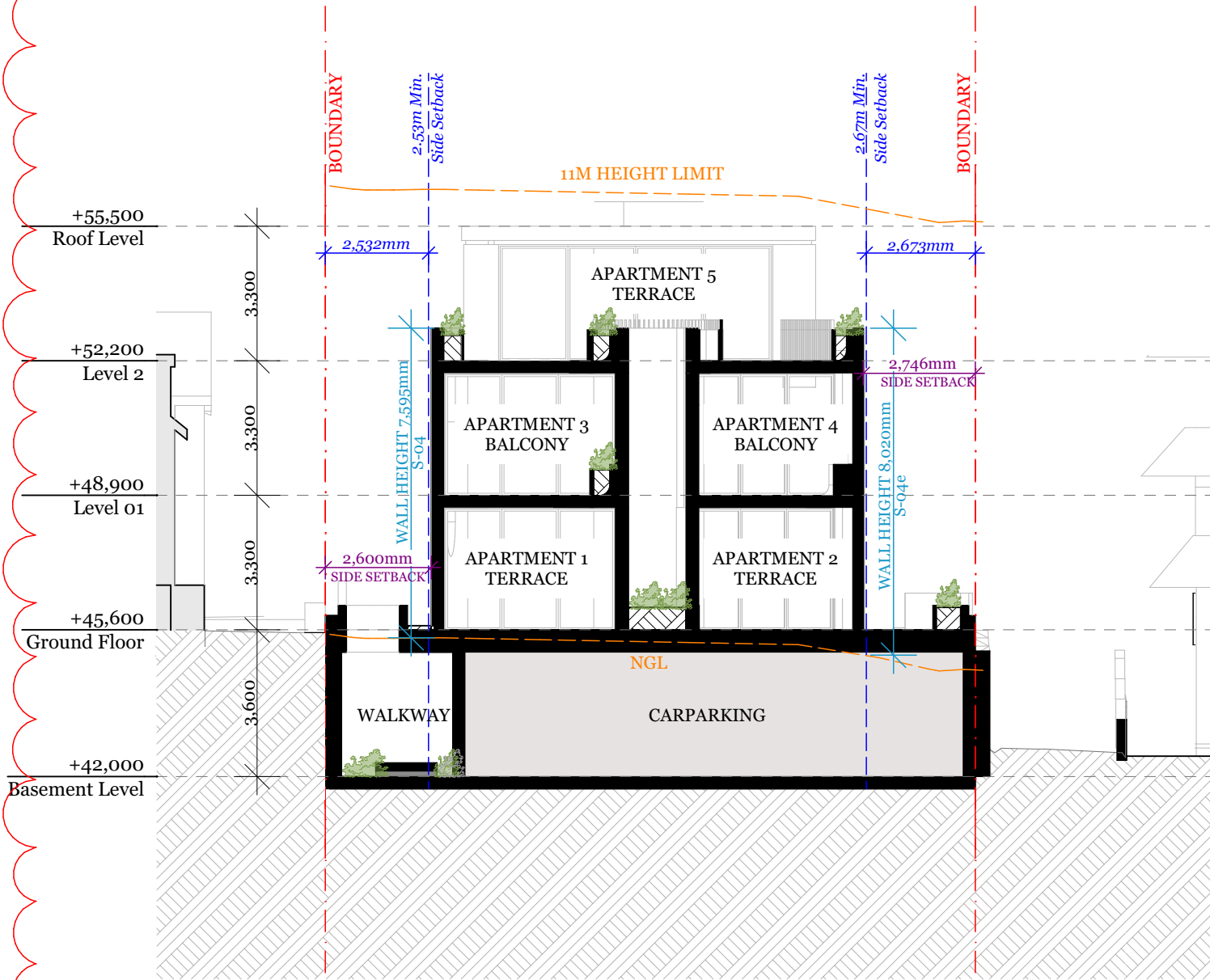
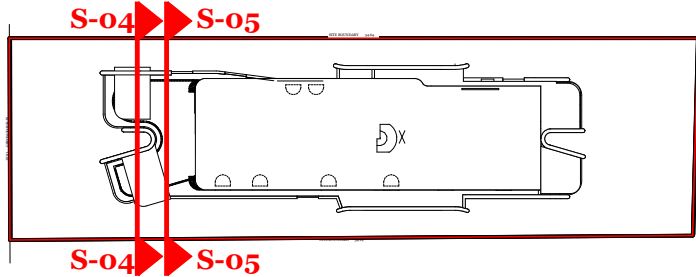
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Drawing Number
Revision

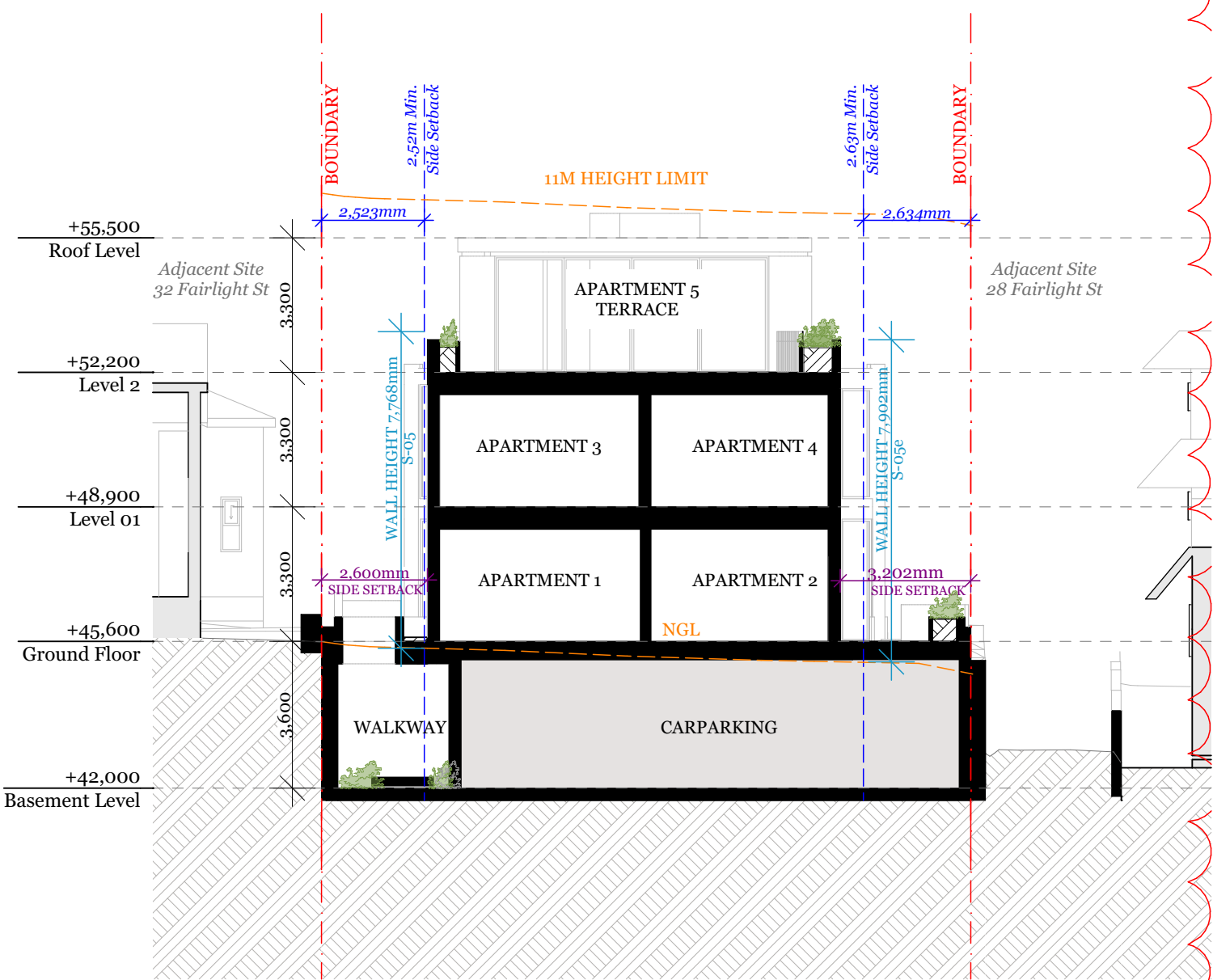
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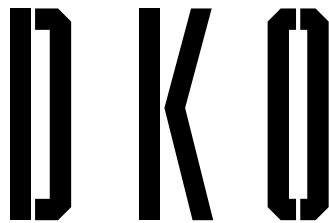
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Section - S-04



Section - S-05



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Project Name
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Project Number
Drawing Name
Scale
Date

00012781
Sections - Sheet 3
(A3)
June 2021

Client

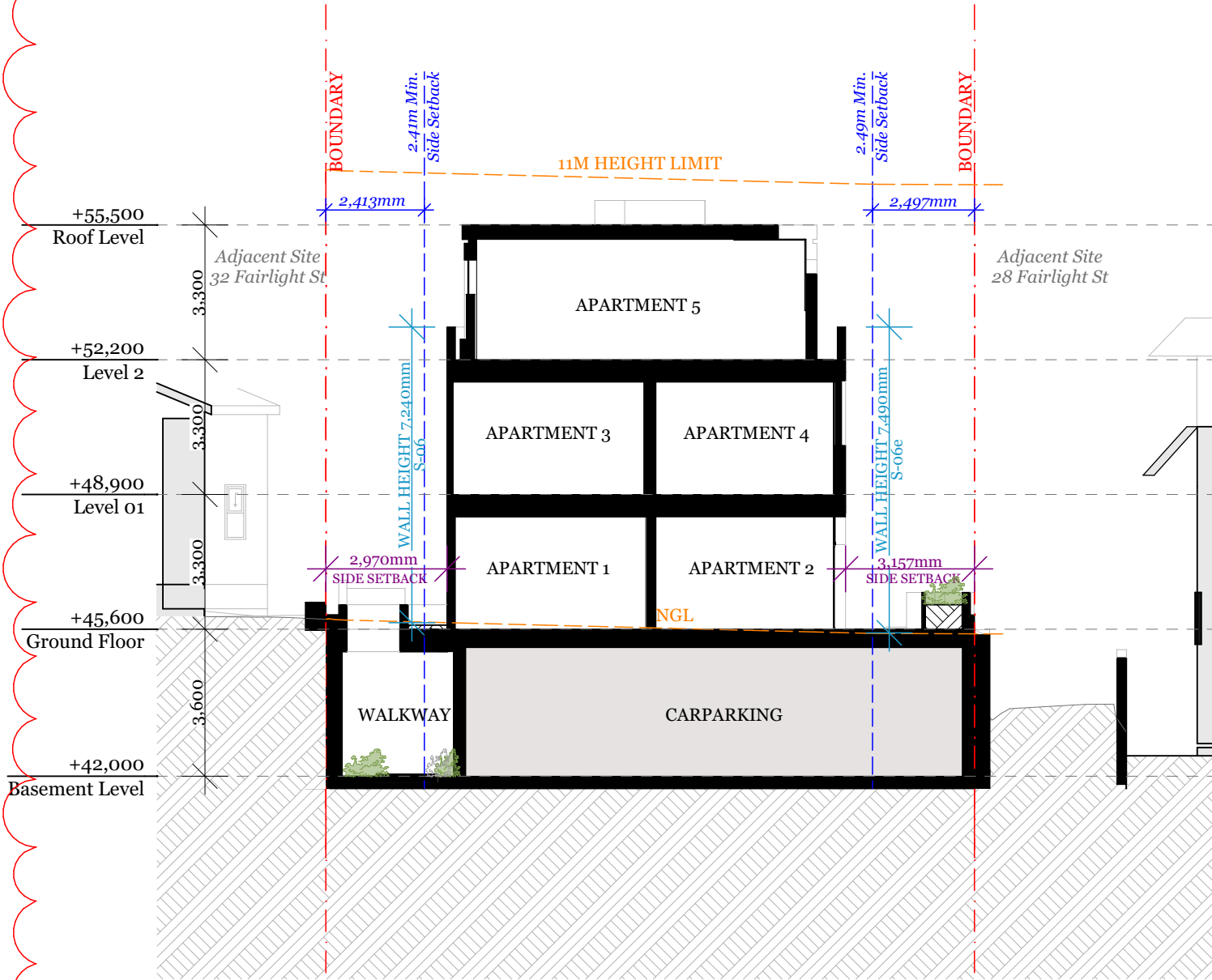
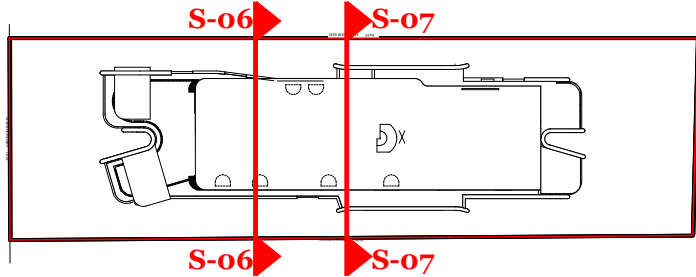
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Revision

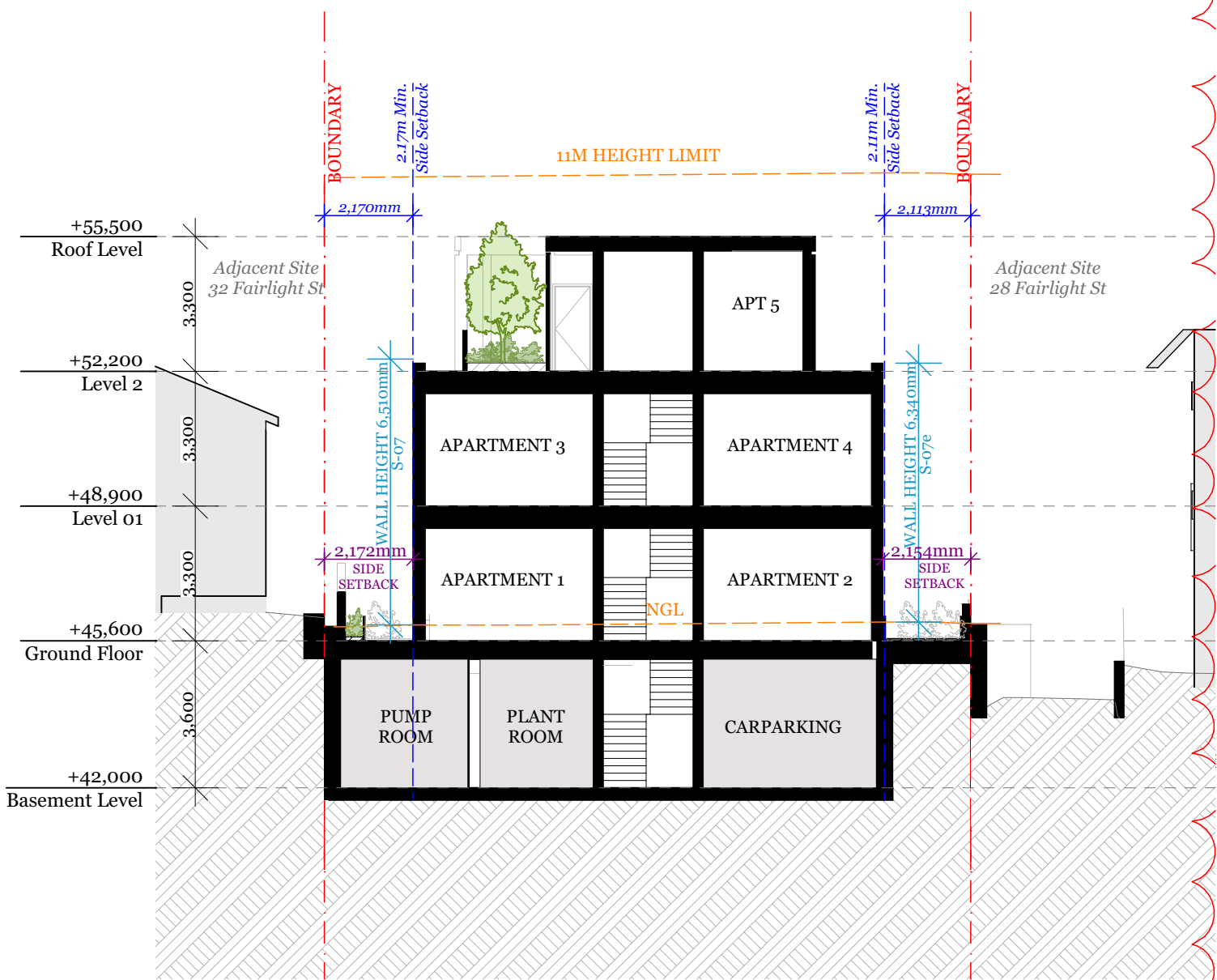
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Section - S-06



Section - S-07



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30 Fairlight St, Fairlight
30 Fairlight St,
Fairlight, NSW 2094

Project Number
Drawing Name
Scale
Date

00012781
Sections - Sheet 4
(A3)
June 2021

Client

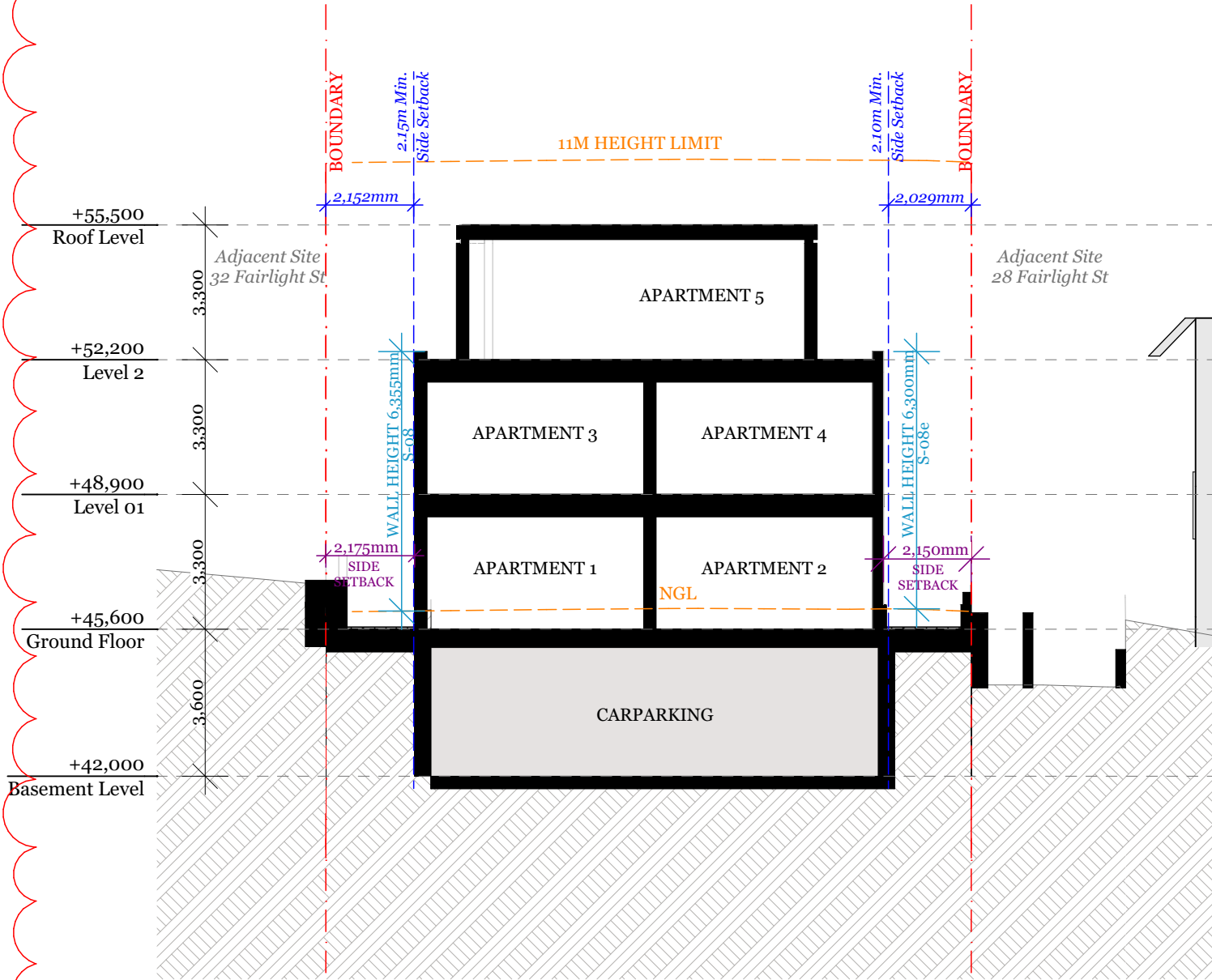
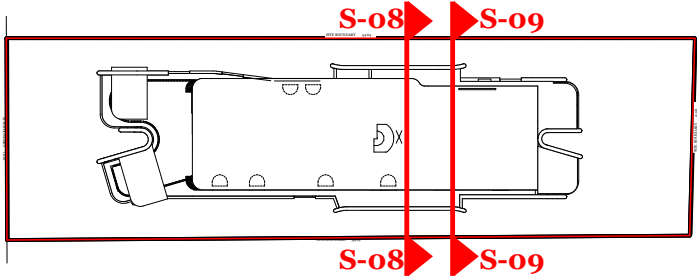
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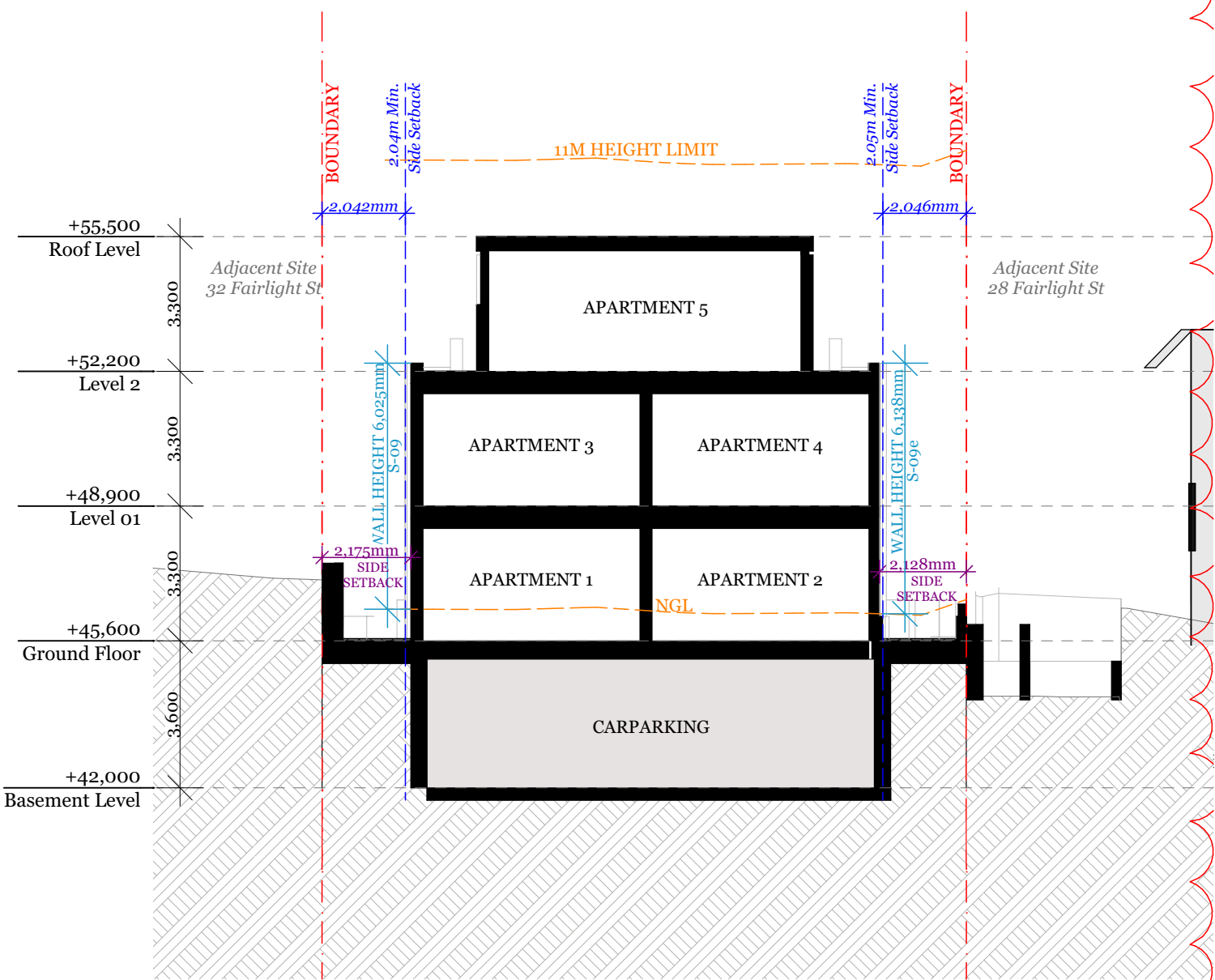
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Section - S-08



Section - S-09



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Project Number
Drawing Name
Scale
Date

00012781
Sections - Sheet 5
(A3)
June 2021

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Drawing Number
Revision

DA404
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