

Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION

Alterations & Additions To Existing Residence

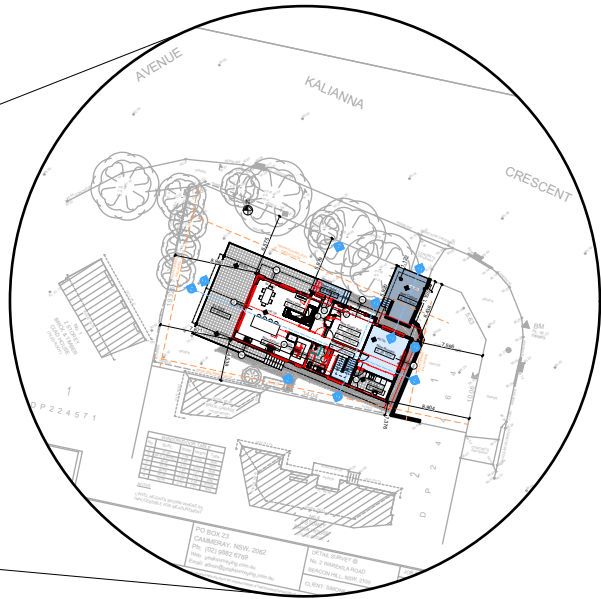
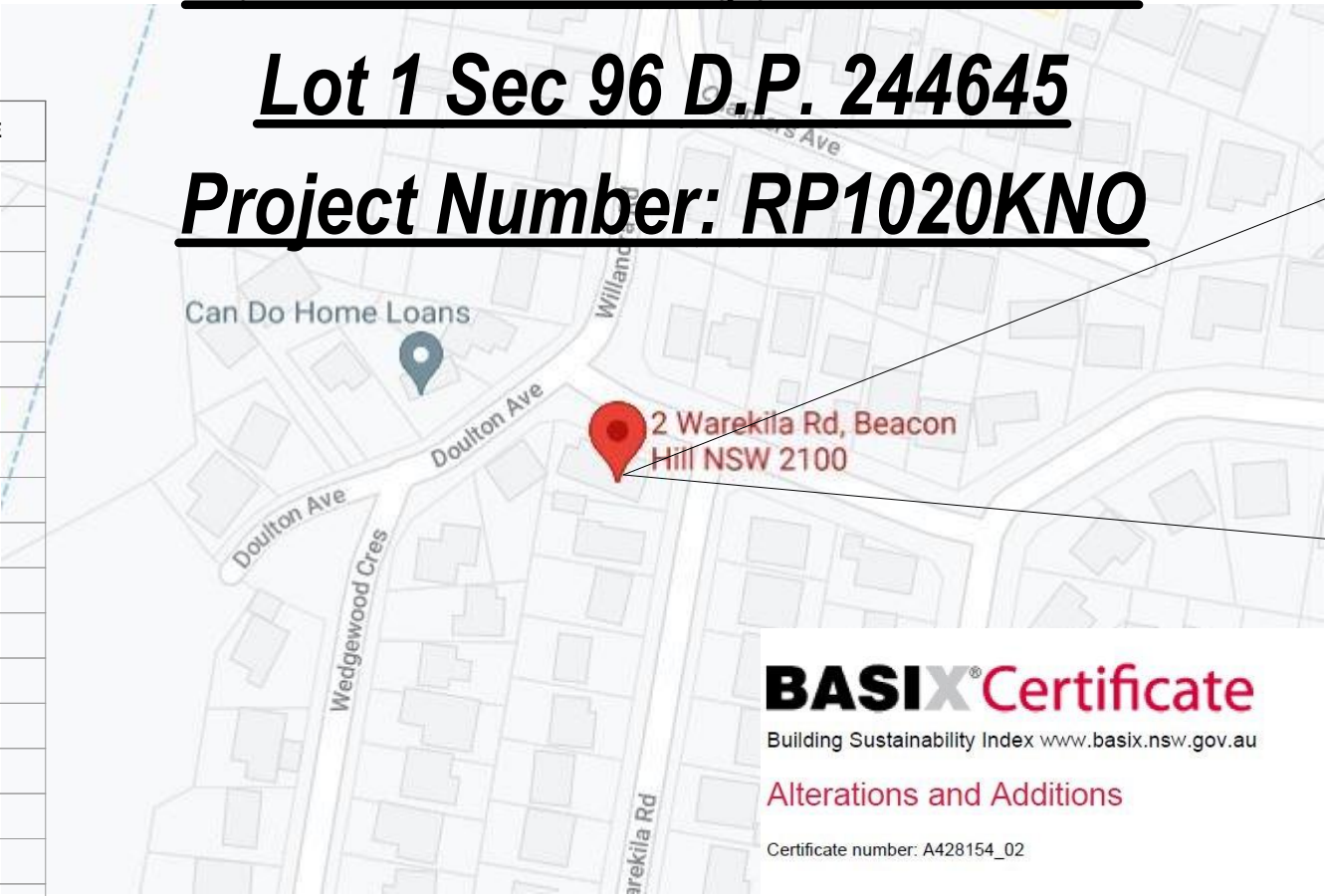
For Simone Knox

2 Warekila Road, Beacon Hill

Lot 1 Sec 96 D.P. 244645

Project Number: RP1020KNO

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	1	- 17/8/21
DA1001	A4 NOTIFICATION PLAN	1	- 17/8/21
DA1002	SITE SURVEY	1	- 17/8/21
DA1003	SITE PLAN	1	- 17/8/21
DA1004	Existing Ground Floor Plan	1	- 17/8/21
DA1005	Existing First Floor Plan	1	- 17/8/21
DA1006	Demolition Ground Floor Plan	1	- 17/8/21
DA1007	Demolition First Floor Plan	1	- 17/8/21
DA1008	Landscape Open Space Plan Existing	1	- 17/8/21
DA1009	Landscape Open Space Plan Proposed	1	- 17/8/21
DA1010	Landscape Plan	1	- 17/8/21
DA1011	Sediment & Erosion Plan	1	- 17/8/21
DA1012	Waste Management Plan	1	- 17/8/21
DA1013	Stormwater Plan	1	- 17/8/21
DA2001	GROUND FLOOR	1	- 17/8/21
DA2002	FIRST FLOOR	1	- 17/8/21
DA2003	ROOF	1	- 17/8/21
DA3000	SECTION 1	1	- 17/8/21
DA3001	SECTION 2	1	- 17/8/21
DA4000	ELEVATIONS 1	1	- 17/8/21
DA4001	ELEVATIONS 2	1	- 17/8/21
DA5000	PERSPECTIVE	1	- 17/8/21
DA5001	MATERIAL & COLOUR SAMPLE BOARD	1	- 17/8/21
DA5002	SHADOW PLAN 21st June 9am	1	- 17/8/21
DA5003	SHADOW PLAN 21st June 12pm	1	- 17/8/21
DA5004	SHADOW PLAN 21st June 3pm	1	- 17/8/21
DA5005	WALL ELEVATION SHADOWS	1	- 17/8/21



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A428154_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 30, November 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.

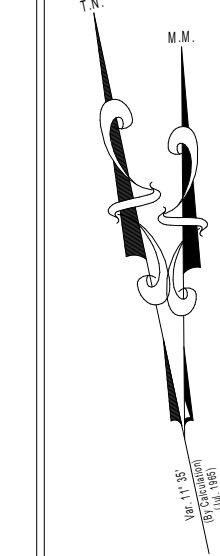


Planning,
Industry &
Environment

Description of project

Project address	
Project name	Knox_02
Street address	2 Warekila Road Beacon Hill 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 244645
Lot number	1
Section number	96
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592



DOULTON

AVENUE

KALIANNA

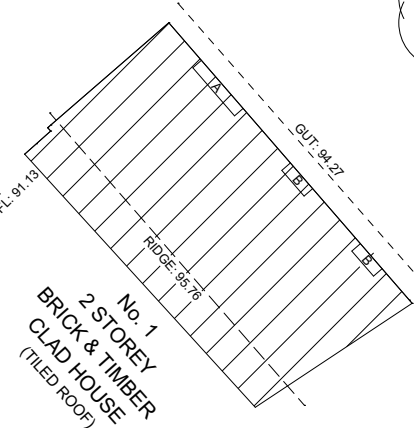
CRESCENT

ROAD

WAREKILA

LEGEND

- ELECTRICAL POLE
- TELSTRA PIT
- GAS METER
- WATER METER
- GULLY PIT & LINTEL
- DRAINAGE PIT
- SIGNPOST
- UNKNOWN PIT
- GRATED DRAIN
- HYDRANT
- BOUNDARY TRAP
- SEWER MAN-HOLE
- STOP VALVE
- GAS TAP/VALVE
- TELSTRA POLE
- TRAFFIC SIGNAL POST
- VENT PIPE
- ELECTRICAL JUNCTION BOX
- TRANSFORMER

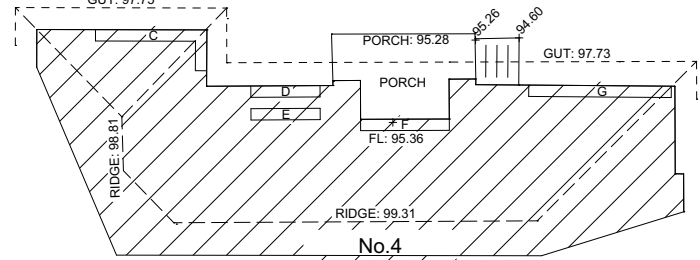
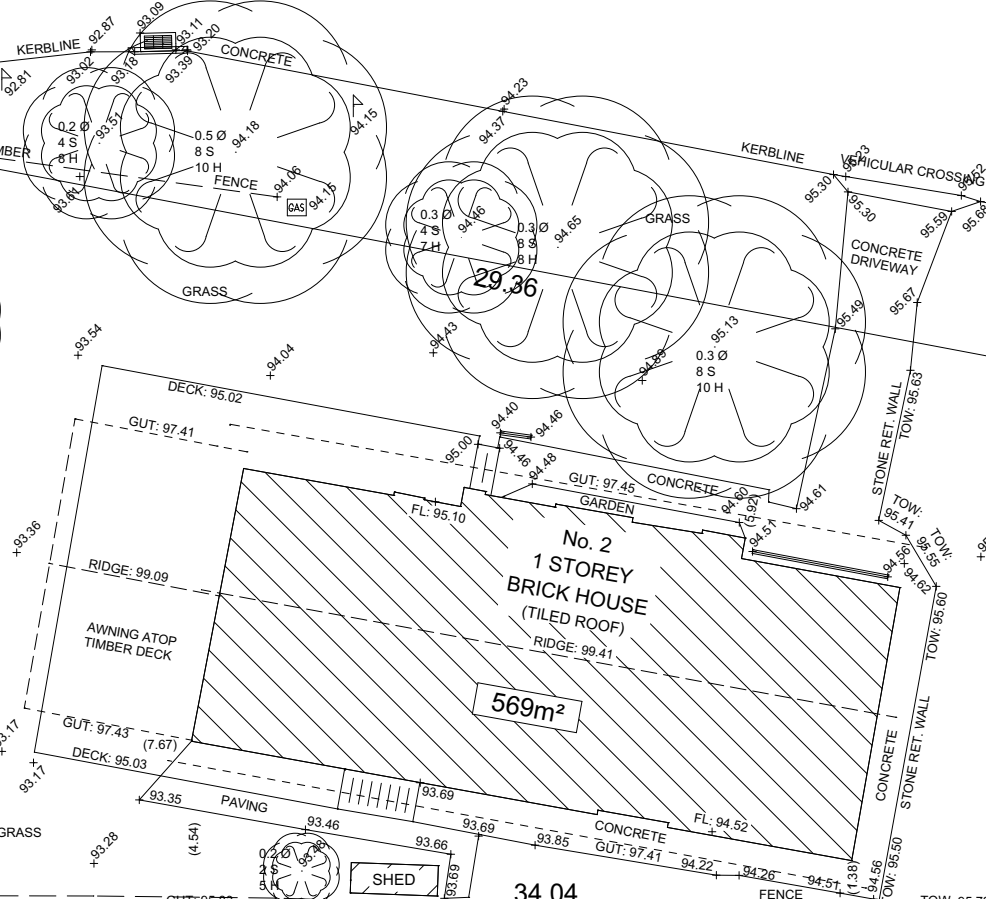


D P 2 2 4 5 7 1
SURVEY PLAN
1:200

WINDOW/DOOR TABLE				
No.	Sil RL:	Width	Height	Type
A	91.84	1.68	2.25	WIN
B	94.11 (LINTEL)	0.90	-	WIN
C	96.07	4.03	0.63	WIN
D	93.79	1.83	1.21	WIN
E	96.06	1.83	1.52	WIN
F	95.36	2.35	2.25	DOOR
G	96.05	3.77	1.57	WIN

NOTES

LINTEL HEIGHTS SHOWN WHERE SIL INACCESSIBLE FOR MEASUREMENT



No. 4
2-STOREY
BRICK HOUSE
(TILED ROOF)

NOTES

- TREE DIMENSIONS SHOWN APPROXIMATELY ONLY
- ONLY SERVICES AND WINDOWS VISIBLE FROM WITHIN THE SUBJECT PROPERTY AT THE TIME OF SURVEY SHOWN
- NO SERVICE PITS ACCESSED/OPENED SHOWN AS LABELLED
- BOUNDARIES BY SURVEY, IDENTIFICATION SURVEY STANDARD
- ALL PITS SHOULD BE ACCESSED, CONFIRMED AND HAVE SUBSURFACE EXTENTS MEASURED BY THE RELEVANT AUTHORITIES, PRIOR TO ADOPTION. ALL PIPES, CABLES & DUCTS IN THE EXCAVATIONAREA SHOULD BE ACCURATELY LOCATED BY A "PIPE LOCATOR" OR BY THE RELEVANT AUTHORITY, PRIOR TO ANY EXCAVATIONIS UNDERTAKEN.

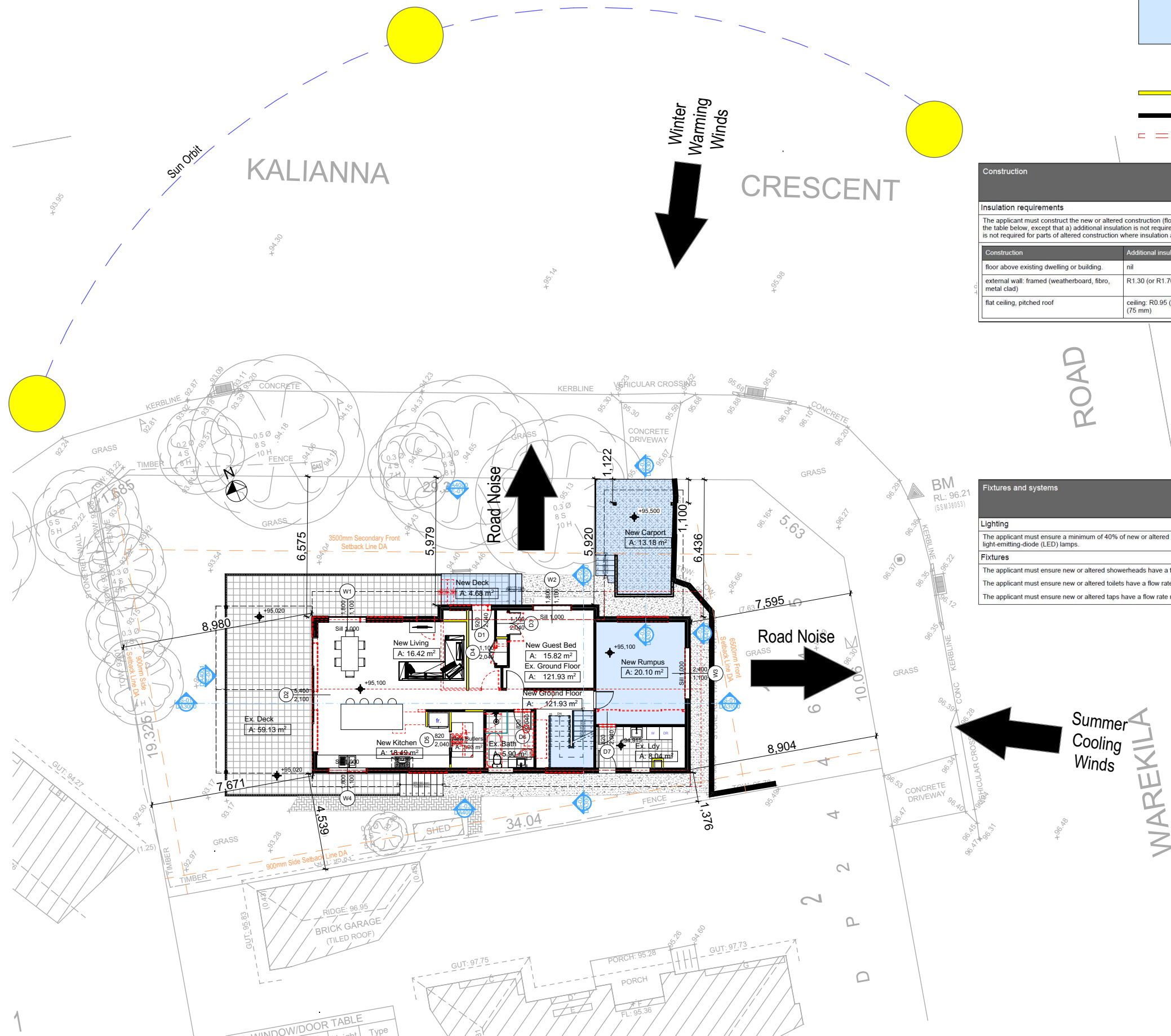
- THE SUBJECT TITLE IS NOT BURDENED BY ANY COVENANTS, EASEMENTS OR RESTRICTIONS

PO BOX 23
CAMMERAY, NSW, 2062
Ph: (02) 9882 6769
Web: peaksurveying.com.au
Email: admin@peaksurveying.com.au

DETAIL SURVEY @
No. 2 WAREKILA ROAD
BEACON HILL, NSW, 2100
CLIENT: SIMONE KNOX

JOB No: 20-1369
SURVEYED ON: 29/07/2020
BY: M ELLIOTT & L LEVETT
DRAWN ON: 17/08/2020
BY: M ELLIOTT & J PIERCE

SCALE: 1:100 (@A1)/ 1:200 (@A3)
NORTH: Magnetic (by DP244645)
DATUM: SSM38053 RL: 96.21 (AHD)
CONTOUR INT: N/A



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes Existing Wall
Denotes Demolished Item

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Building Design and Architectural Drafting

© Copyright Rapid Plans 2021

bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdca
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.

NOTES
2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, veranda, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

DRAWING TITLE:
SITE AND LOCATION
SITE PLAN

PROJECT NAME:
Alterations & Additions

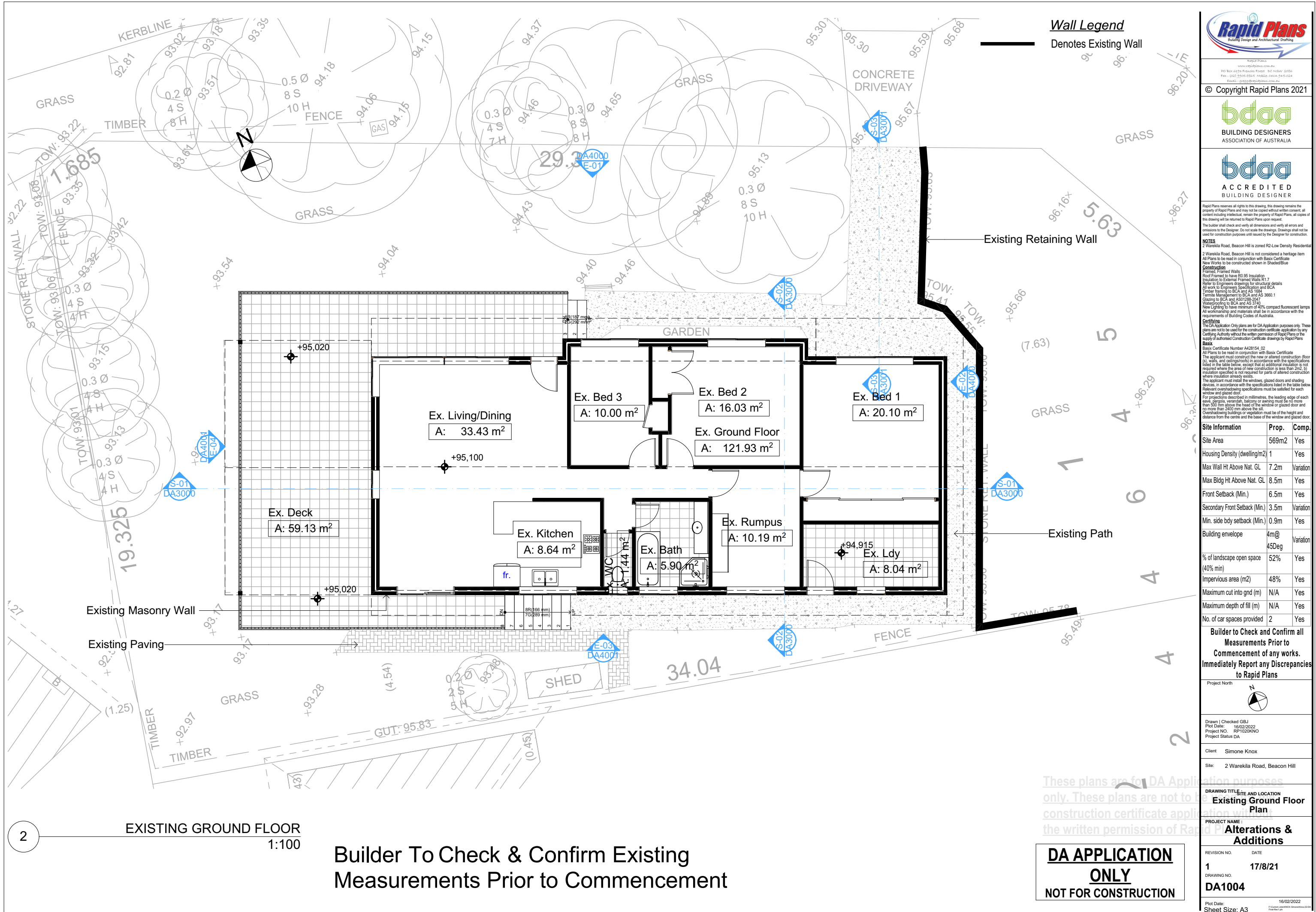
REVISION NO.	DATE
1	17/8/21

DRAWING NO. **DA1003**

Plot Date: 16/02/2022
Sheet Size: A3

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NO EXCAVATION & FILL PLAN DUE TO NO PROPOSED EXCAVATION OR FILL



Wall Legend
Denotes Existing Wall

Rapid Plans
Building Design and Architectural Drafting
PO Box 6239 Paradise Forest, DC NSW 2086
Ph: (02) 9501-8845, Mobile: 0414-945-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential
2 Warekila Road, Beacon Hill is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1019.2-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A428154.02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m2)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

DRAWING TITLE SITE AND LOCATION
Existing Ground Floor Plan

PROJECT NAME:
Alterations & Additions

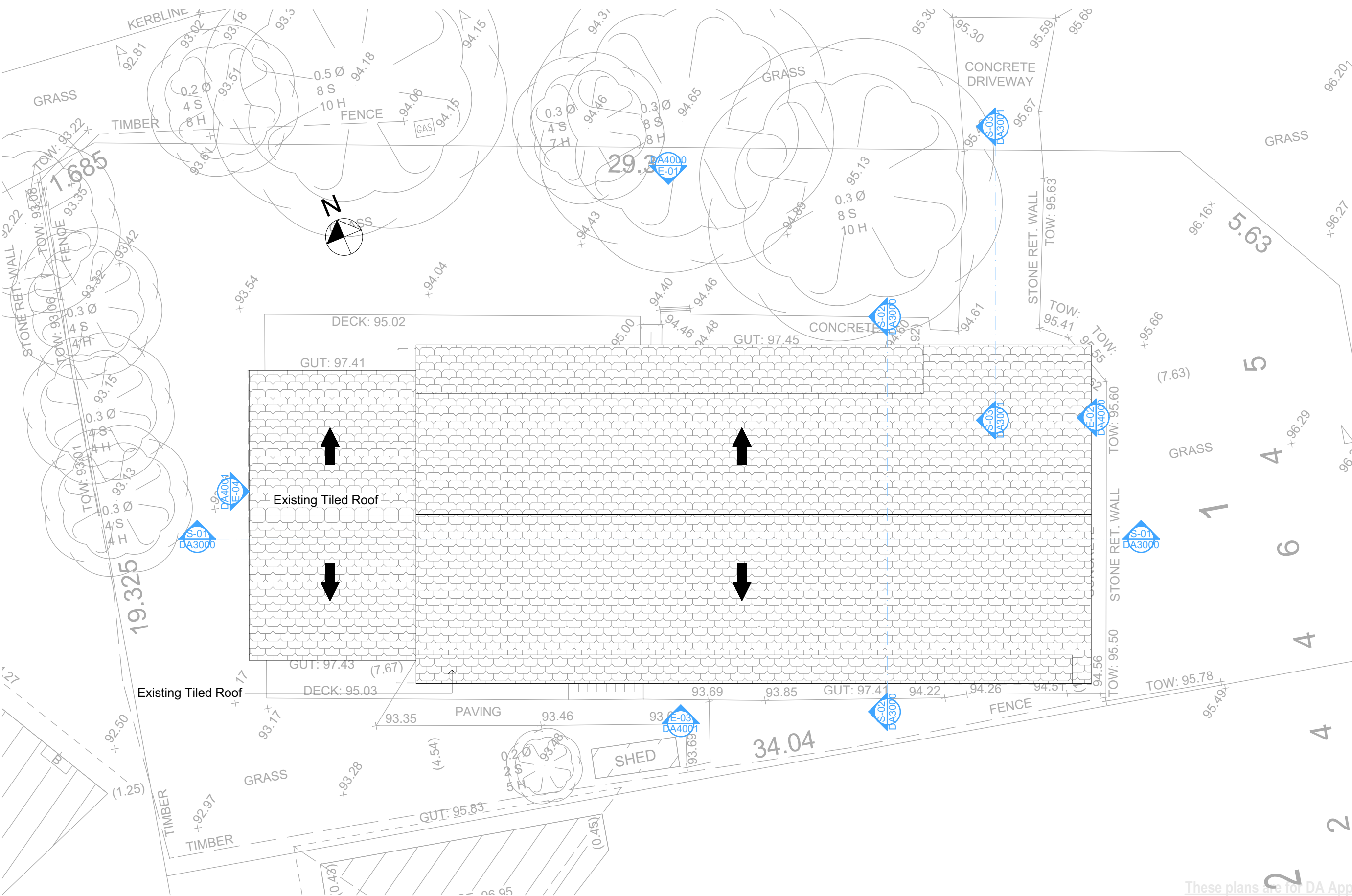
REVISION NO.	DATE
1	17/8/21

DRAWING NO.
DA1004

Plot Date: 16/02/2022
Sheet Size: A3

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



3 EXISTING FIRST FLOOR
1:100

Builder To Check & Confirm Existing
Measurements Prior to Commencement

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

© Copyright Rapid Plans 2021

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basic Certificate

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 2208

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 1 compact fluorescent lamp

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A428154 (2)

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specifications are not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

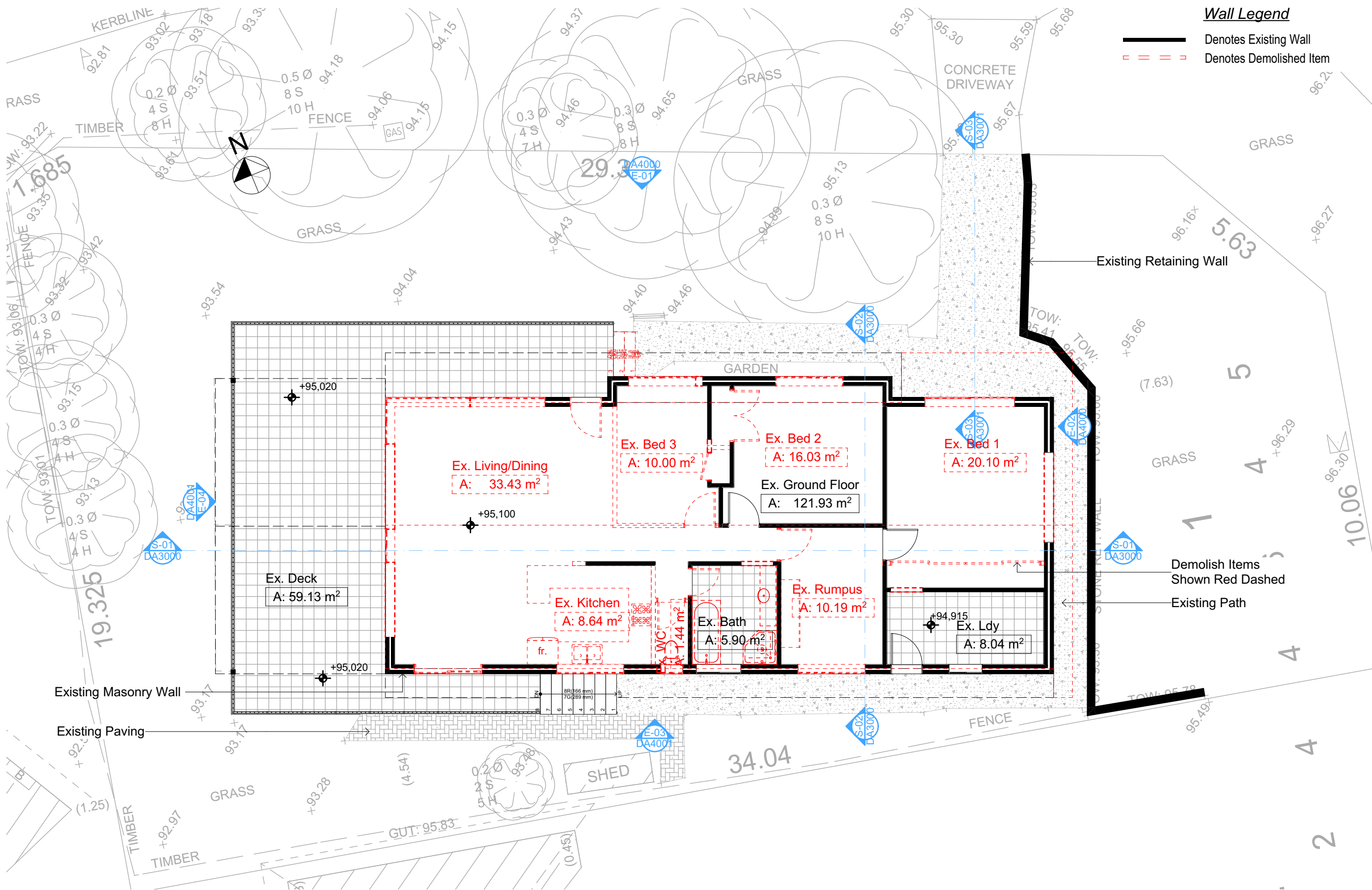
DRAWING TITLE :
SITE AND LOCATION
Existing First Floor Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
1	17/8/21

DRAWING NO.
DA1005

Plot Date: 16/02/2022
Sheet Size: A3



Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



© Copyright Rapid Plans 2021



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

NOTES
2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential.

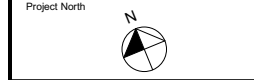
Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A428154.02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopos, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

DRAWING TITLE SITE AND LOCATION
Demolition Ground Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
1	17/8/21
DRAWING NO.	DA1006

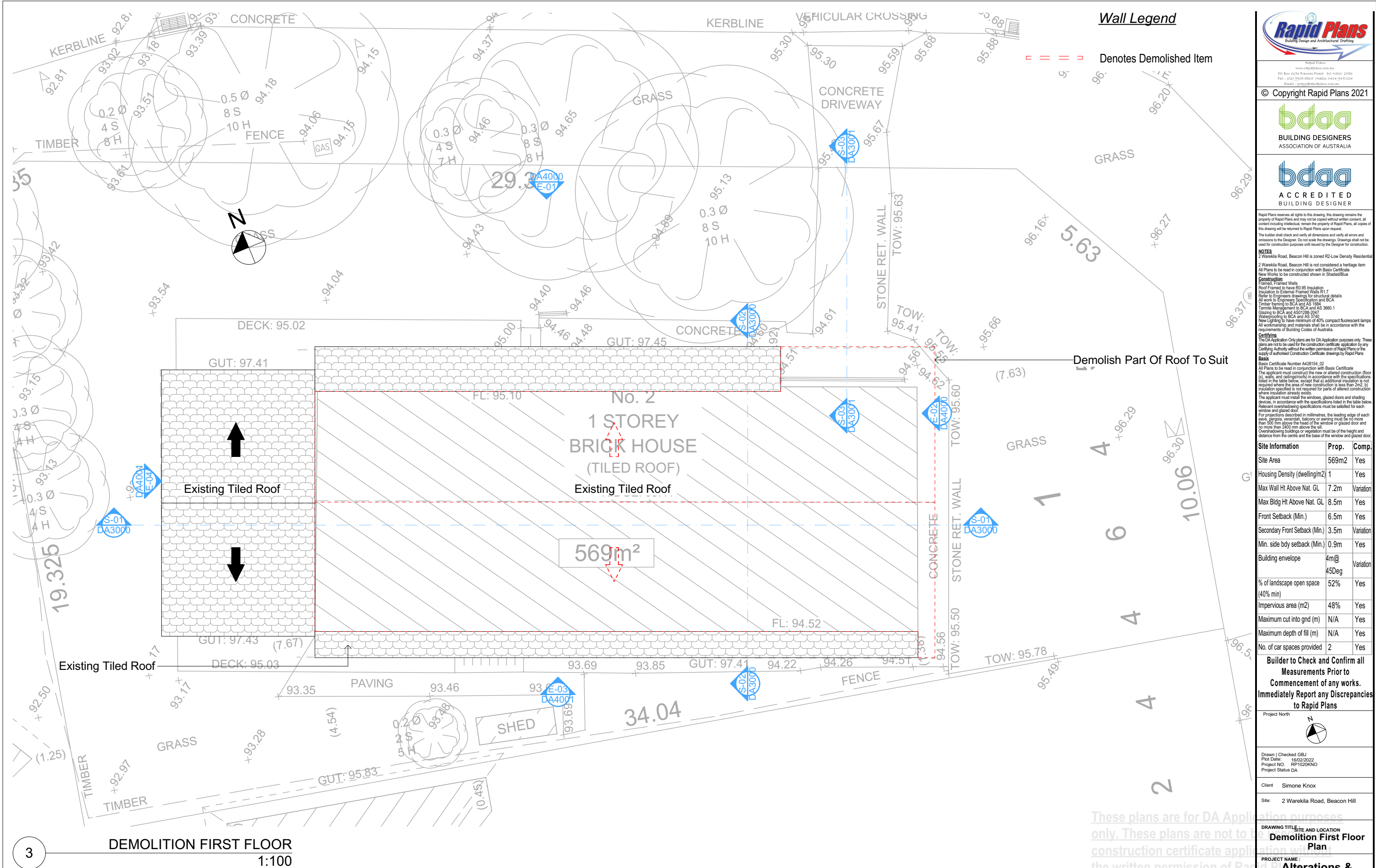
Plot Date: 16/02/2022
Sheet Size: A3

2 DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

These plans are for DA Application purposes only. These plans are not to be used for the construction certificate application without the written permission of Rapid Plans.



Wall Legend

Denotes Demolished Item



© Copyright Rapid Plans 2021



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

NOTES
2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential
2 Warekila Road, Beacon Hill is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A428154 (02)
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specification is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

DRAWING TITLE SITE AND LOCATION
Demolition First Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
1 17/8/21
DRAWING NO.
DA1007

Plot Date: 16/02/2022
Sheet Size: A3



Rapid Plans
Building Design and Architectural Drafting

Rapid Plans
www.rapidplans.com.au
 PO Box 4234 Fremantle Precinct DC NSW 2056
 Fax: (02) 9395-6865 Mobile: 0414 34 34 6224
[Email: info@rpl-plans.com.au](mailto:info@rpl-plans.com.au)

© Rapid Plans 2012



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**



**ACCREDITED
BUILDING DESIGNER**

Site Area
A: 569.00 m²

Impervious Area
A: 267.79 m²

Proposed Impervious Area
A: 274.27 m²

Description	Area (m ²)	Percentage
Site Area	569m ²	100%
Exist. Open Landscape Area	301.21m ²	53%
Exist. Impervious Area	267.79m ²	47%
Proposed Open Landscape Area	294.73m ²	52%
Proposed Impervious Area	274.27m ²	48%

Note:
Total Open Landscape Area for the property will be decreased by 1%

Note:
Total Open Landscape Area for the property will be decreased by 1%

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**

Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO. RP1020KNO
Project Status DA

Client	Simone Knox
--------	-------------

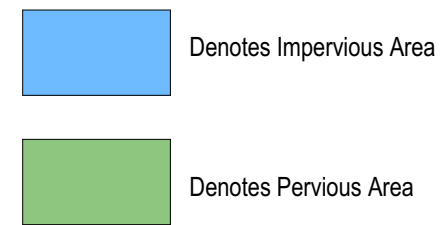
Site: 2 Warekila Road, Beacon Hill

DRAWING TITLE: SITE AND LOCATION
**Landscape Open Space
Plan Existing**

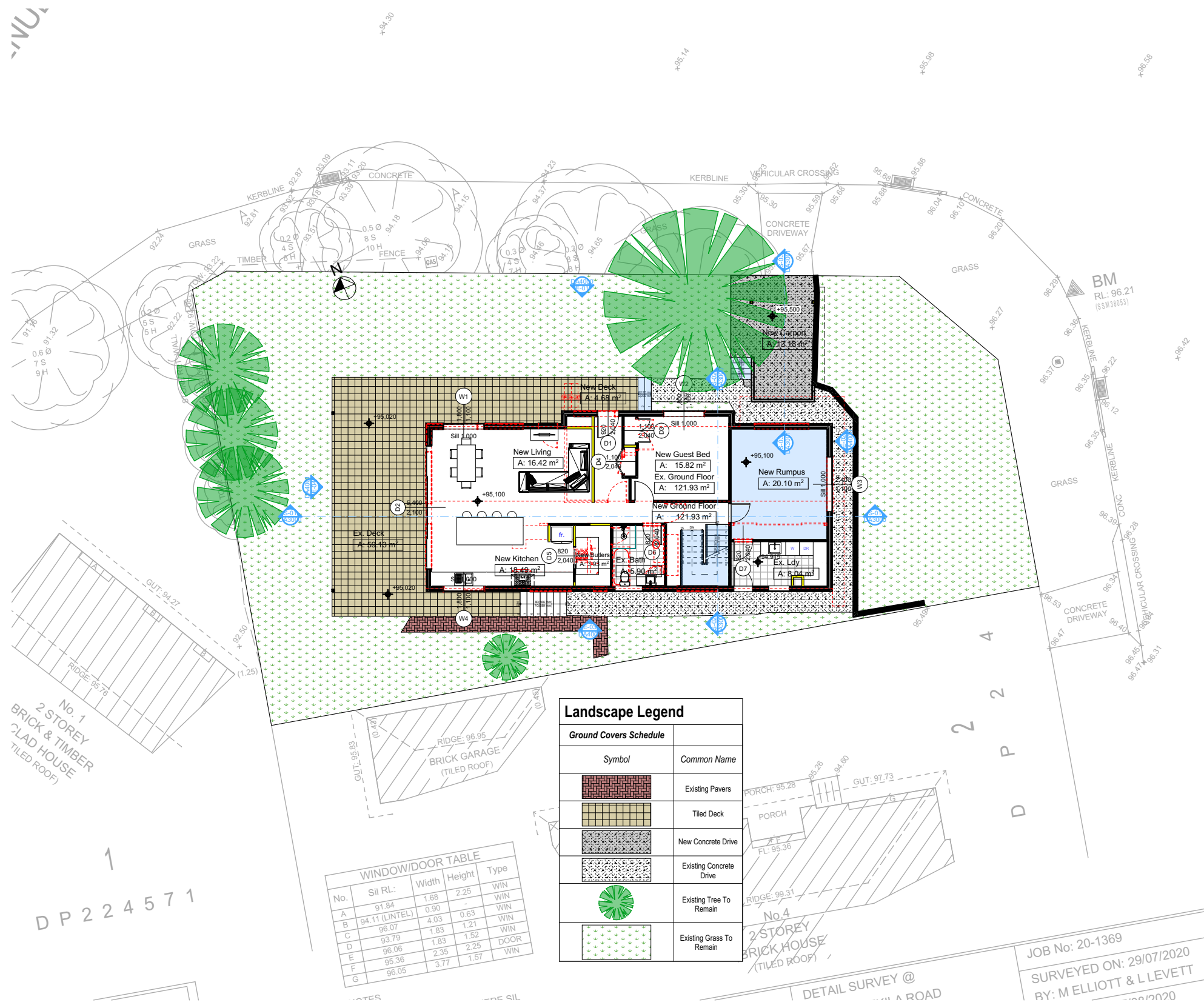
PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
1	17/8/21
DRAWING NO.	
DA1008	

Plot Date: 16/02/2022
 Sheet Size: A3
 F:\Current Job\KNCIK_Summit-Knee-23-CA
 Final-Draw1.pn



<div> Building Design and Architectural Drafting</div> <div><div>Rapid Plans www.rapidplans.com.au PO Box 4238 Potts Point NSW 1586 Ph: (02) 9556-0888 Fax: (02) 9556-0888 Email: info@rapidplans.com.au</div><div>© Copyright Rapid Plans 2021</div></div>		
<div><div> BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div><div> ACCREDITED BUILDING DESIGNER</div></div>		
<p>Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remains the property of Rapid Plans, all content of this drawing will be returned to Rapid Plans upon request.</p> <p>The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.</p>		
<p>NOTES</p> <p>2 Warrakula Road, Beacon Hill is zoned R2-Low Density Residential</p> <p>2 Warrakula Road, Beacon Hill is not considered a heritage item</p> <p>All Plans to be read in conjunction with Basic Certificate</p> <p>New Works to be constructed shown in Shaded/Blue</p> <p>Construction</p> <p>Framed, Framed Walls</p> <p>Roof Framed to be R0.95 Insulation</p> <p>Insulation to External Framed Walls R1.7</p> <p>Refer to Engineers Drawings for structural details</p> <p>All work to Engineers Specification and BCA</p> <p>Termite framing to BCA and AS 1584</p> <p>Termite Management to BCA and AS 3660.1</p> <p>Glazing to BCA and AS01288-2047</p> <p>Waterproofing to BCA and AS 3740</p> <p>New Lighting to have minimum of 40% compact fluorescent lamps</p> <p>All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.</p>		
<p>Certification</p> <p>The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority. Construction certificate drawings by Rapid Plans</p> <p>Basic</p> <p>Basic Certificate Number A428154_02</p> <p>All Plans to be read in conjunction with Basic Certificate</p> <p>Plans shall be constructed in new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, and that if additional insulation is cut where the area of new construction is not more than 2m2, b)</p> <p>Waterproofing shall not be required for parts of altered construction where insulation already exists.</p> <p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below</p> <p>Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>For projections described in millimetres, the leading edge of each eave, gable, veranda, balcony or awning must be no more than 300 mm above the head of the window or glazed door and no more than 2400 mm above the sill.</p> <p>Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.</p>		
Site Information	Prop.	Comp.
Site Area	569m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m2)	48%	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes
<p>Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans</p>		
<div><div>Project North</div><div></div></div>		
<div><div>Drawn Checked GBU Plot Date: 16/02/2022 Project NO. RP102KKNO Project Status DA</div></div>		
<div><div>Client Simone Knox</div></div>		
<div><div>Site: 2 Warrakula Road, Beacon Hill</div></div>		
<div><div>DRAWING TITLE SITE and LOCATION</div><div>Landscape Open Space Plan Proposed</div></div>		
<div><div>PROJECT NAME :</div><div>Alterations & Additions</div></div>		
<div><div>REVISION NO. DATE</div><div>1 17/8/21</div></div>		
<div><div>DRAWING NO.</div><div>DA1009</div></div>		
<div><div>Plot Date: 16/02/2022 Sheet Size: A3</div><div><small>© Copyright Rapid Plans 2021 Rapid Plans Pty Ltd, 4238 Potts Point NSW 1586</small></div></div>		



LANDSCAPE PLAN
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Pirrama NSW 1512
Ph: (02) 9550-8845 Mob: 0414-946-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential.
2 Warekila Road, Beacon Hill is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction
Framed, Framed Walls
Roof Framed to have R0.95 insulation
Insulation to External Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS/NZS 4847
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A428154_02
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m2)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP10220KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

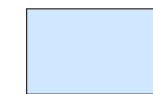
DRAWING TITLE: **Alterations & Additions**

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
1	17/8/21

DRAWING NO. **DA1010**

Plot Date: 16/02/2022
Sheet Size: A3



Denotes New Works

Wall Legend



Denotes New Timber Framed Wall



Denotes Existing Wall



Denotes Demolished Item



Rapid Plans
Building Design and Architectural Drafting
PO Box 6239 Pirrama NSW 1512
Tel: (02) 9555-8844 Fax: (02) 9555-8844
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential
2 Warekila Road, Beacon Hill is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction

Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1906-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A428154 (02)

All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specification is not required for parts of altered construction where insulation already exists.

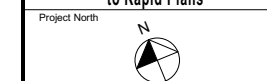
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DRAWING TITLE :

SITE AND LOCATION

Sediment & Erosion Plan

PROJECT NAME :

Alterations & Additions

REVISION NO. DATE

1 17/8/21

DRAWING NO.

DA1011

Plot Date: 16/02/2022

Sheet Size: A3

KALIANNA

CRESCENT

Site Safety Fence

Sediment Control Fence

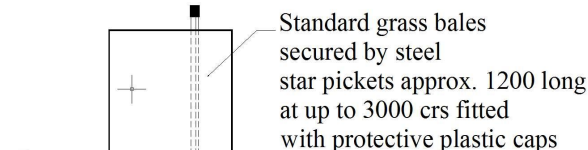
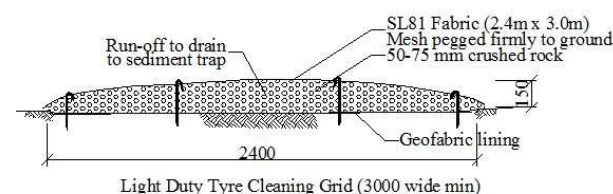
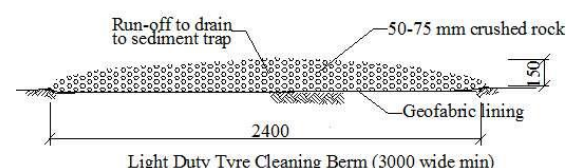
ROAD

WAREKILA

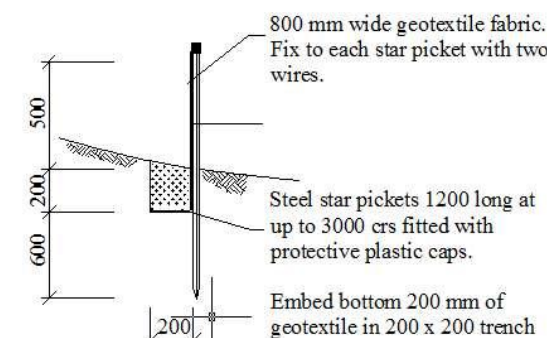
2

SEDIMENT & EROSION CONTROL PLAN

1:200

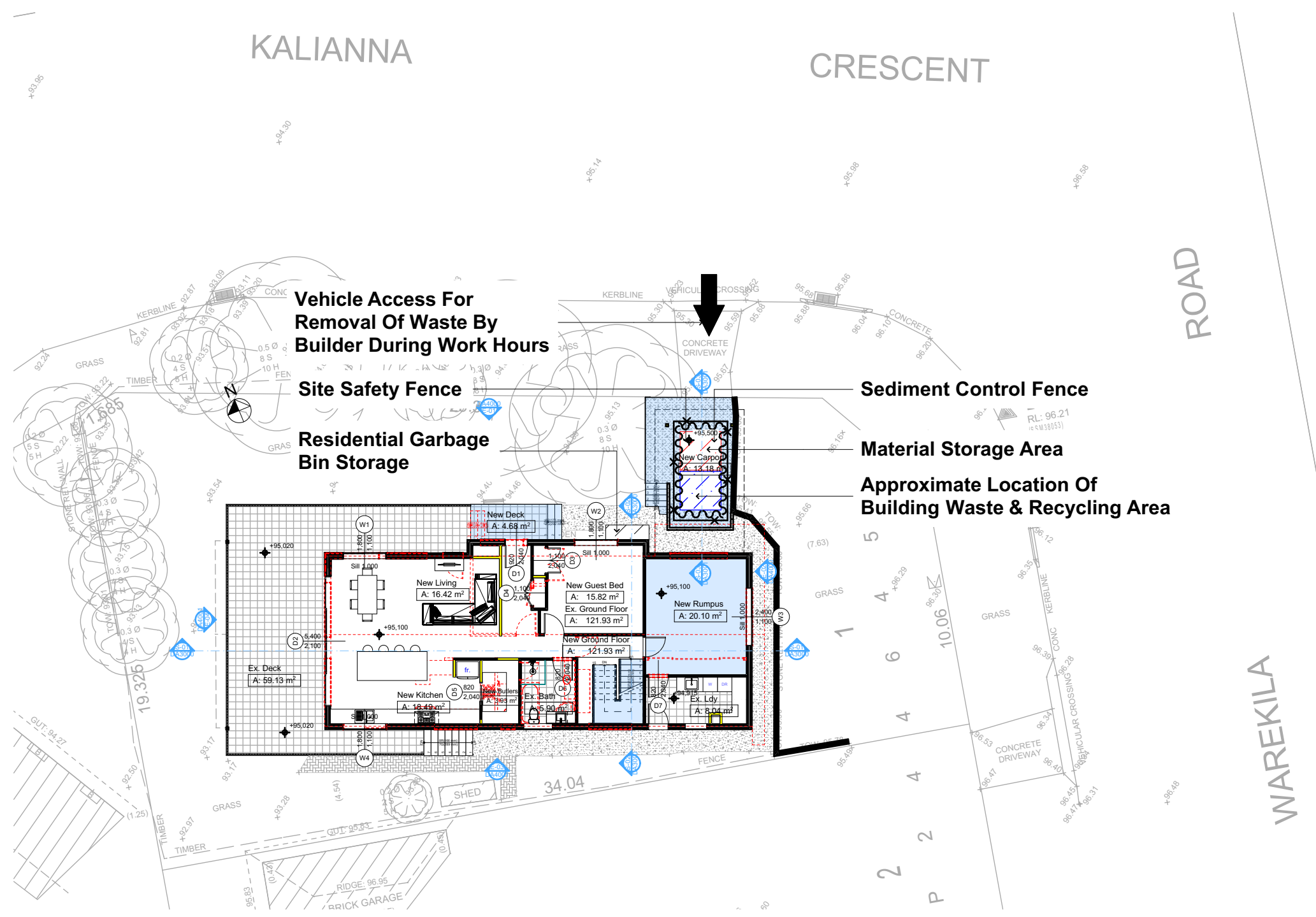


Typical Detail Grass Bale Sediment Barrier



Typical Detail Sediment Control Barrier

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



2 WASTE MANAGEMENT PLAN
1:200

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

© Copyright Rapid Plans 2021

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Framed Framed Walls

Roof Framed to have R0.95 Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1078-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A428154_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

DRAWING TITLE :
Waste Management Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE

1 17/8/21

DRAWING NO.
DA1012

Plot Date: 16/02/2022
Sheet Size: A3

Denotes New Works

Legend
Denotes Demolished Item



Copyright Rapid Plans 2021



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential

2 Warekila Road, Beacon Hill is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction
Framed: Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288.2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Noting
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A428154.02

All Plans to be read in conjunction with Basic Certificate. The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

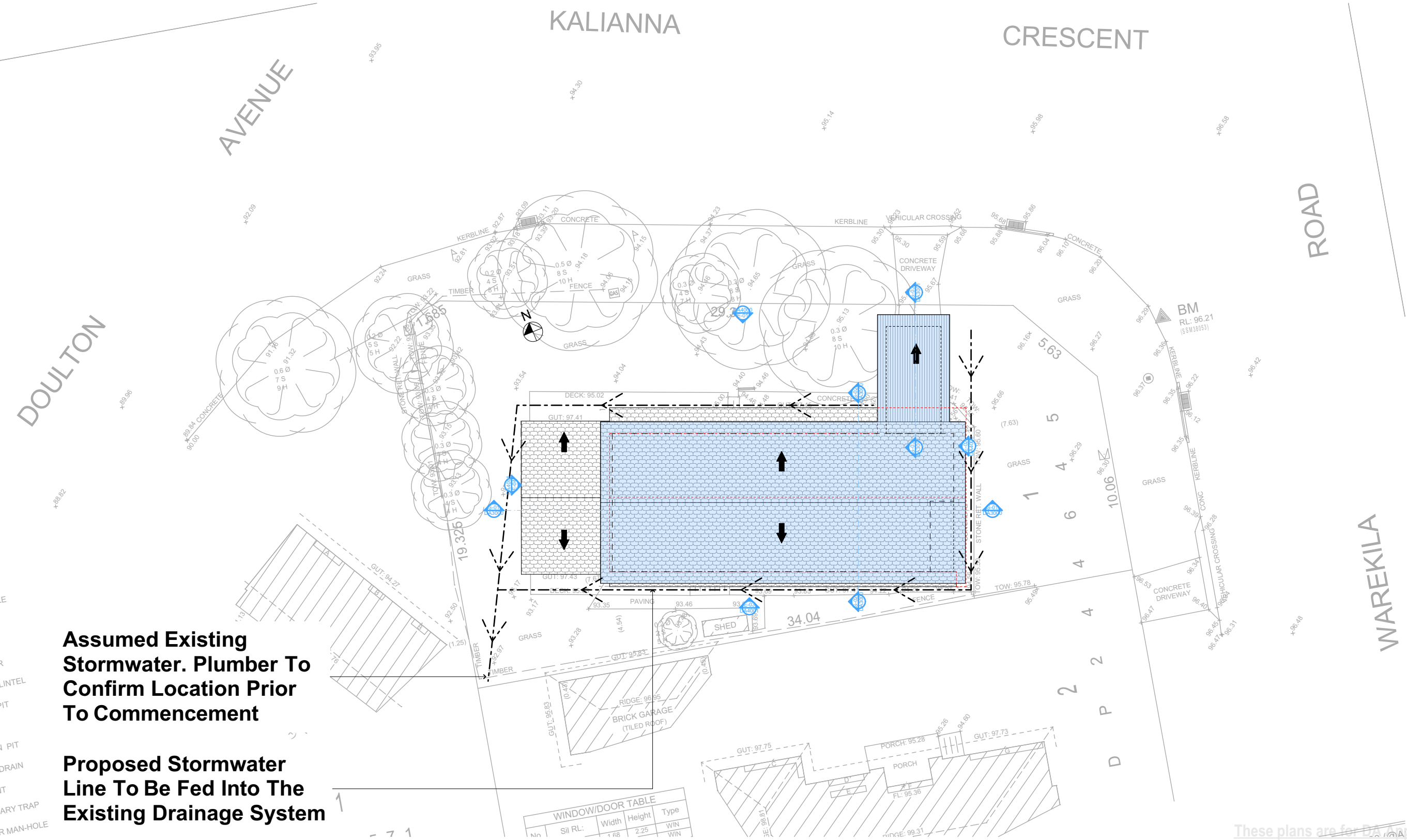
DRAWING TITLE:
SITE AND LOCATION
Stormwater Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
1 17/8/21

DRAWING NO.
DA1013

Plot Date: 16/02/2022
Sheet Size: A3



Assumed Existing Stormwater. Plumber To Confirm Location Prior To Commencement

Proposed Stormwater Line To Be Fed Into The Existing Drainage System

STORMWATER PLAN
1:200

WINDOW/DOOR TABLE				
No	Sil RL	Width	Height	Type
1	95.36	1.68	2.25	WIN

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



Denotes New Works

Wall Legend



Denotes New Timber Framed Wall



Denotes Existing Wall



Denotes Demolished Item



2 Warekila Road, Beacon Hill is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed in Shaded/Blue

© Copyright Rapid Plans 2021



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

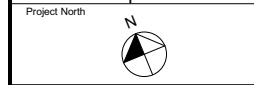
NOTES
2 Warekila Road, Beacon Hill is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed in Shaded/Blue
Construction
Framed Timber Walls
Roof Framed to have R0.95 insulation
Insulation to External Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029.2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A428154 (02)
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

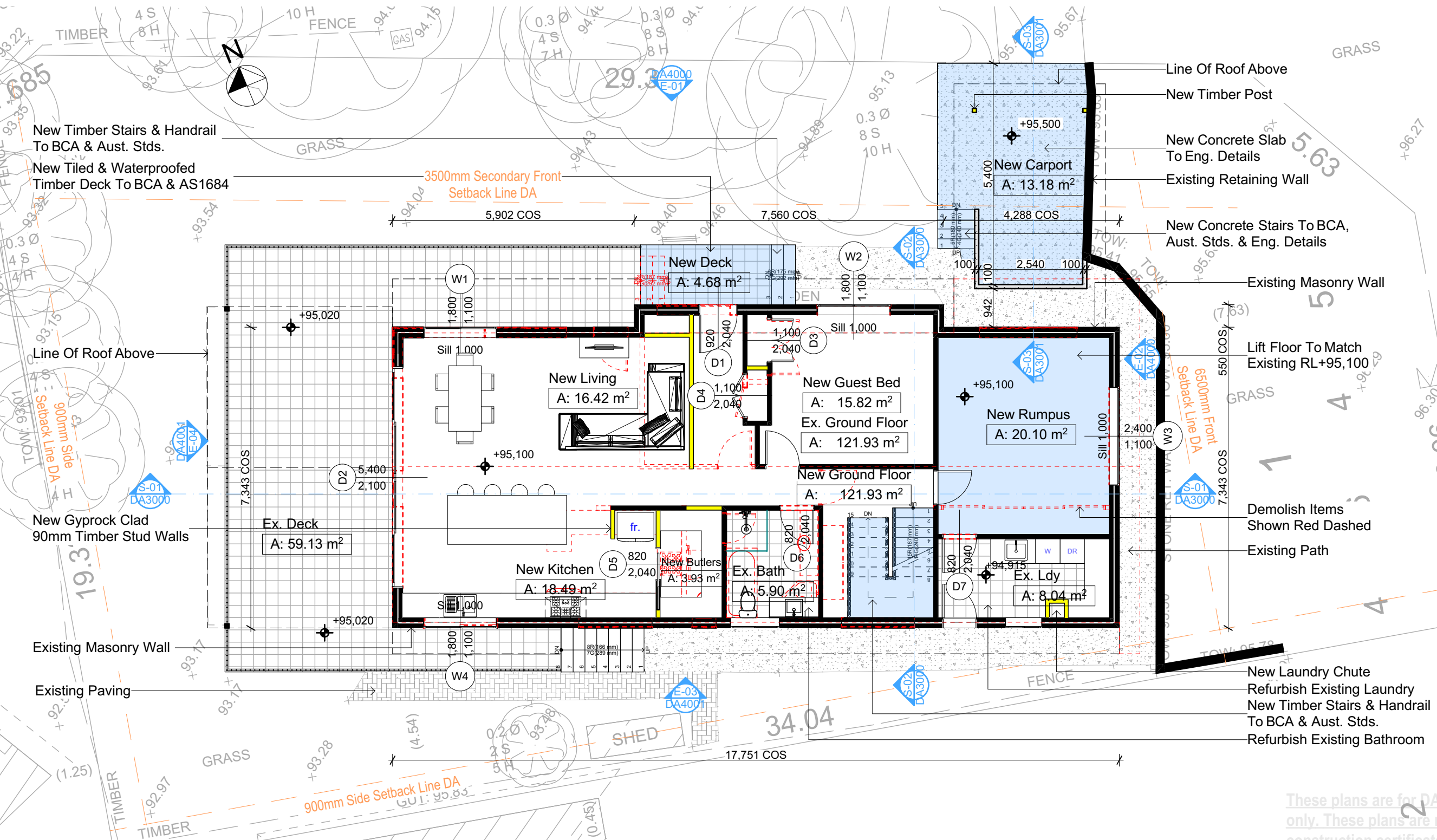
Site: 2 Warekila Road, Beacon Hill

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DRAWING TITLE: PLANS
GROUND FLOOR
PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
1 17/8/21
DRAWING NO. **DA2001**

Plot Date: 16/02/2022
Sheet Size: A3



2
GROUND FLOOR
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
/	The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Wall Legend

Denotes Demolished Item




Basix
Basix Certificate Number A428154_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	569m2	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	52%	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	48%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Secondary Front Setback (Min.)	3.5m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



Project North



DRAWING TITLE : **PLANS
FIRST FLOOR**

PROJECT NAME : **Alterations & Additions**

REVISION NO.
1
DATE.
17/8/21
DRAWING NO.
DA2002

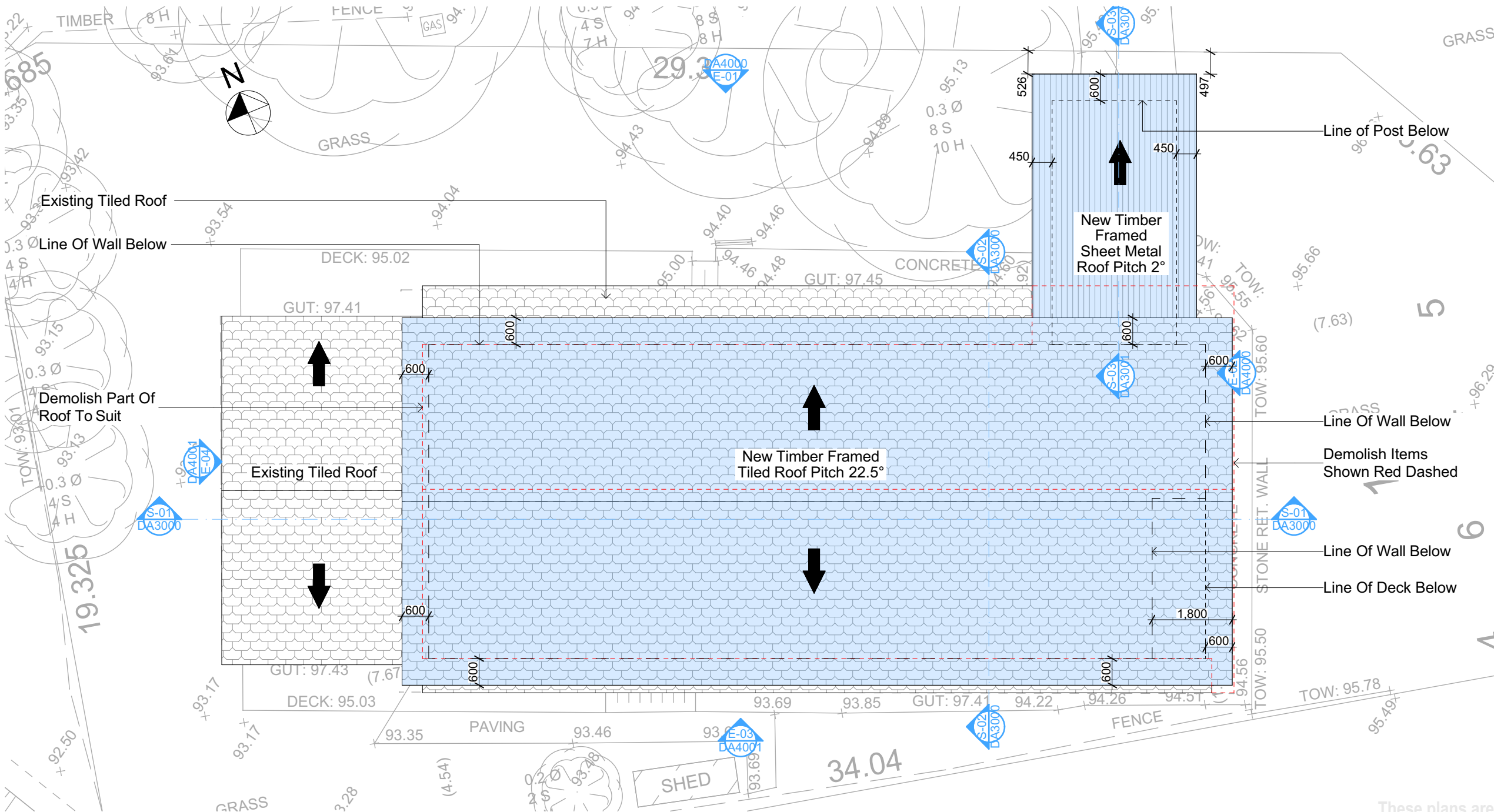
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Denotes New Works

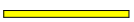
Wall Legend

Denotes Demolished Item





Denotes New Works



Wall Legend

Denotes New Timber Framed Wall



Denotes Existing Wall



Denotes Demolished Item



Rapid Plans
PO Box 4239 Fitzroy Vic 3122
Tel: (03) 9350-8845 Mobile: 0414-545-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

NOTES
2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
Construction
Framed Walls
Roof Framed to have R0.95 insulation.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1029-2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A428154.02
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

Site Area	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP10220KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
1 **17/8/21**

DRAWING NO. **DA3000**

Plot Date: 16/02/2022
Sheet Size: A3

New Timber Framed
Tiled Roof Pitch 22.5°

+101,938
5 ROOF

New Cladded 90mm
Timber Framed Wall

+100,300
4 FCL

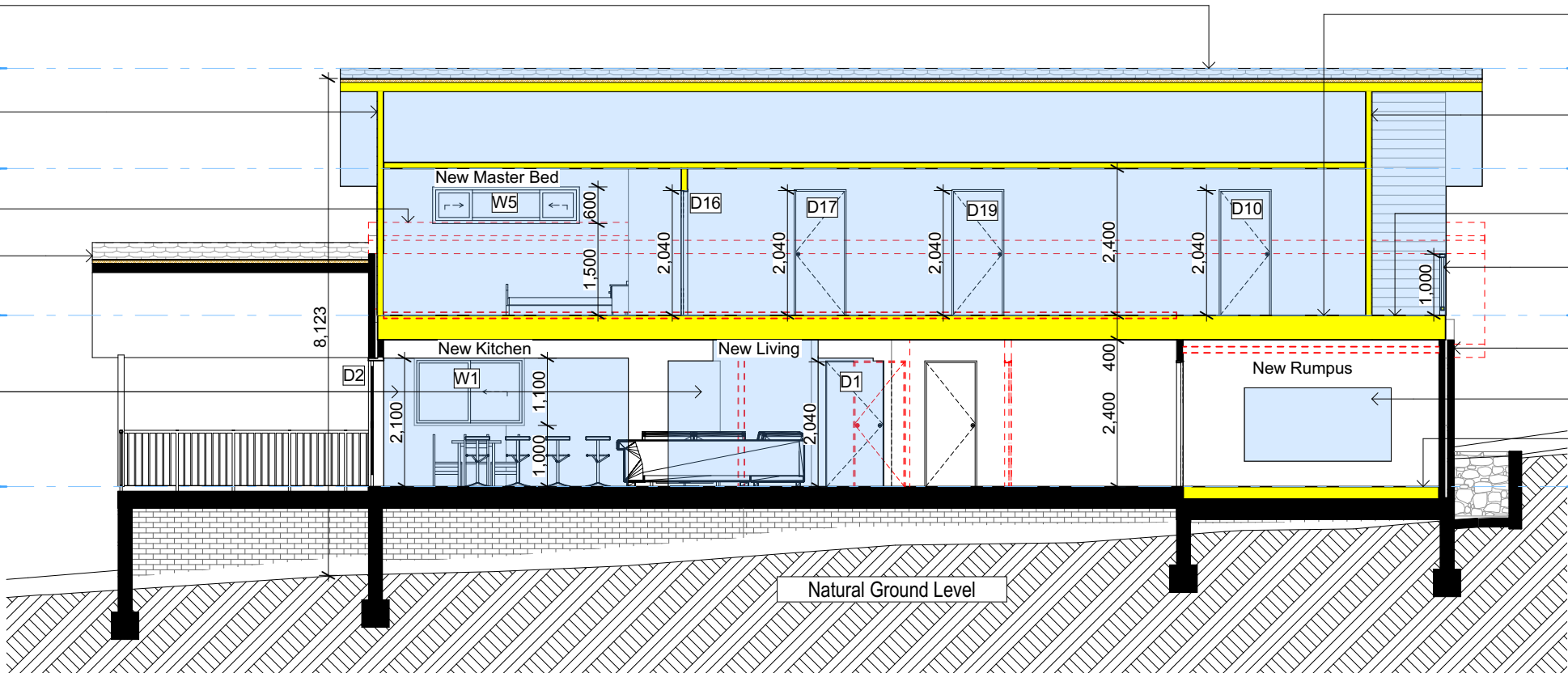
Demolish Items
Shown Red Dashed

Existing Tiled Roof

+97,900
3 FIRST FLOOR

Block In Door To
Match Existing

+95,100
2 GROUND FLOOR



SECTION 1
1:100

S-01

+101,938
5 ROOF

New Timber Framed
Tiled Roof Pitch 22.5°

+100,300
4 FCL

Demolish Items
Shown Red Dashed

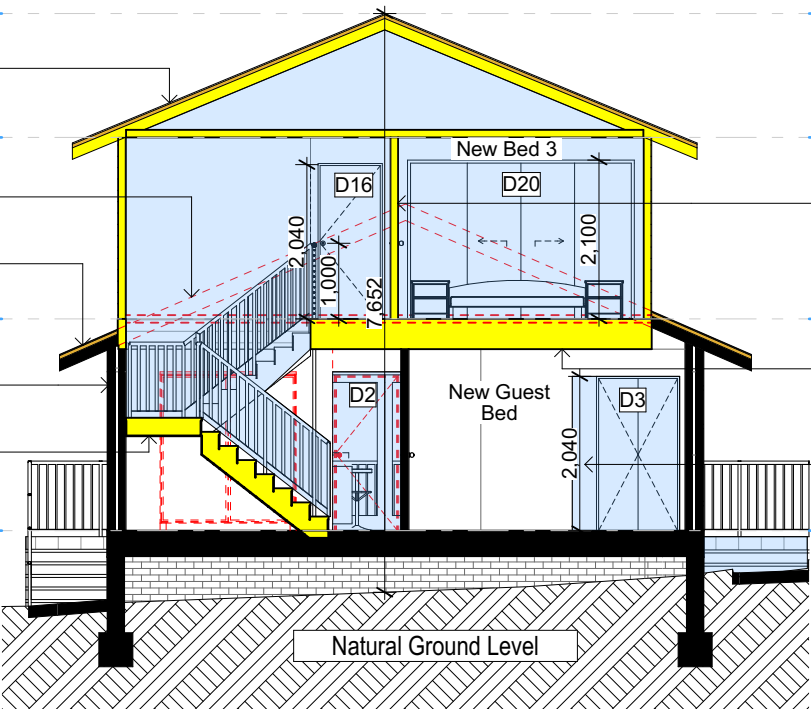
Existing Tiled Roof

+97,900
3 FIRST FLOOR

Existing Masonry Wall

New Timber Stairs
& Handrail To
BCA & Aust. Stds.

+95,100
2 GROUND FLOOR



SECTION 2
1:100

S-02

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

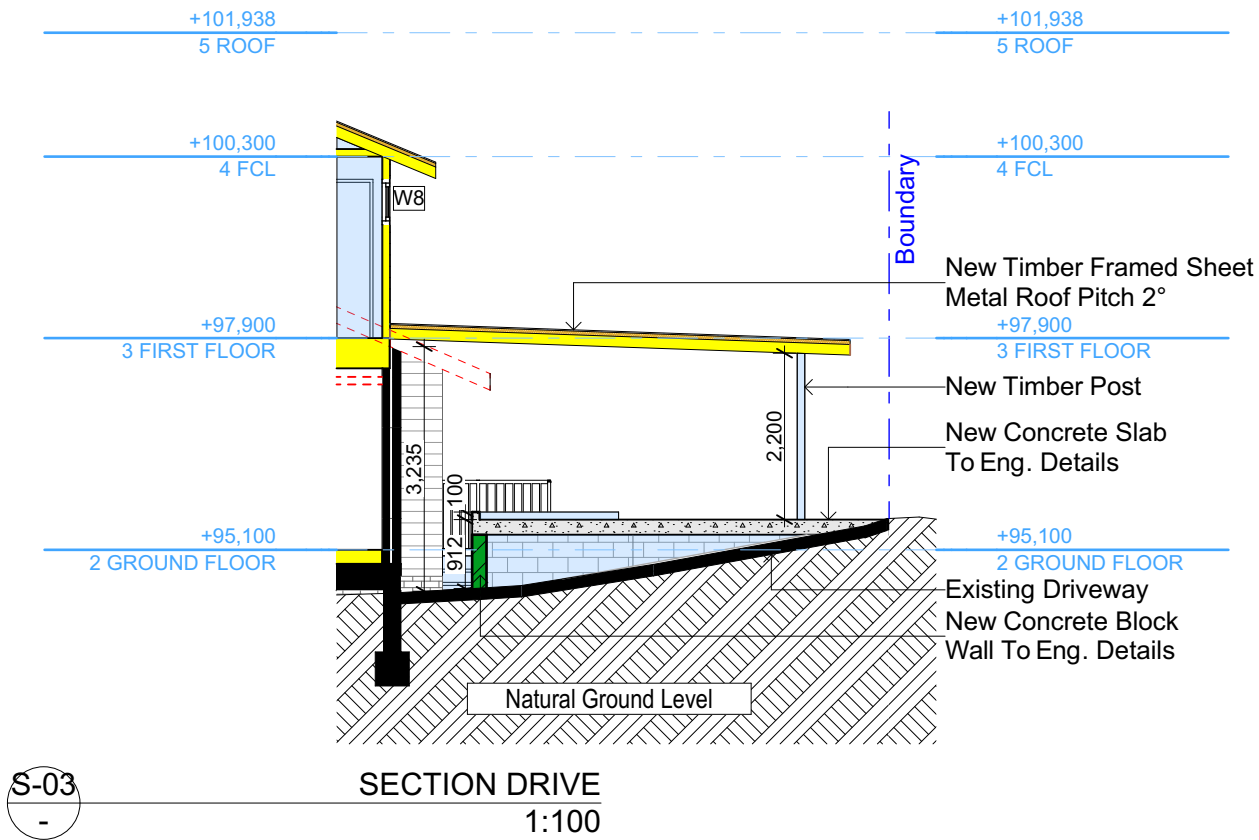
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Denotes New Works



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes New Concrete Block Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item

Wall Legend

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



Rapid Plans
Building Design and Architectural Drafting

Unit 10/11
PO Box 6239 Rydges Forest DC NSW 2086
Ph: (02) 9505-8845 Mobile: 0414-545-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021



bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



bdca
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential
2 Warekila Road, Beacon Hill is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed: Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic
Basic Certificate Number A428154_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

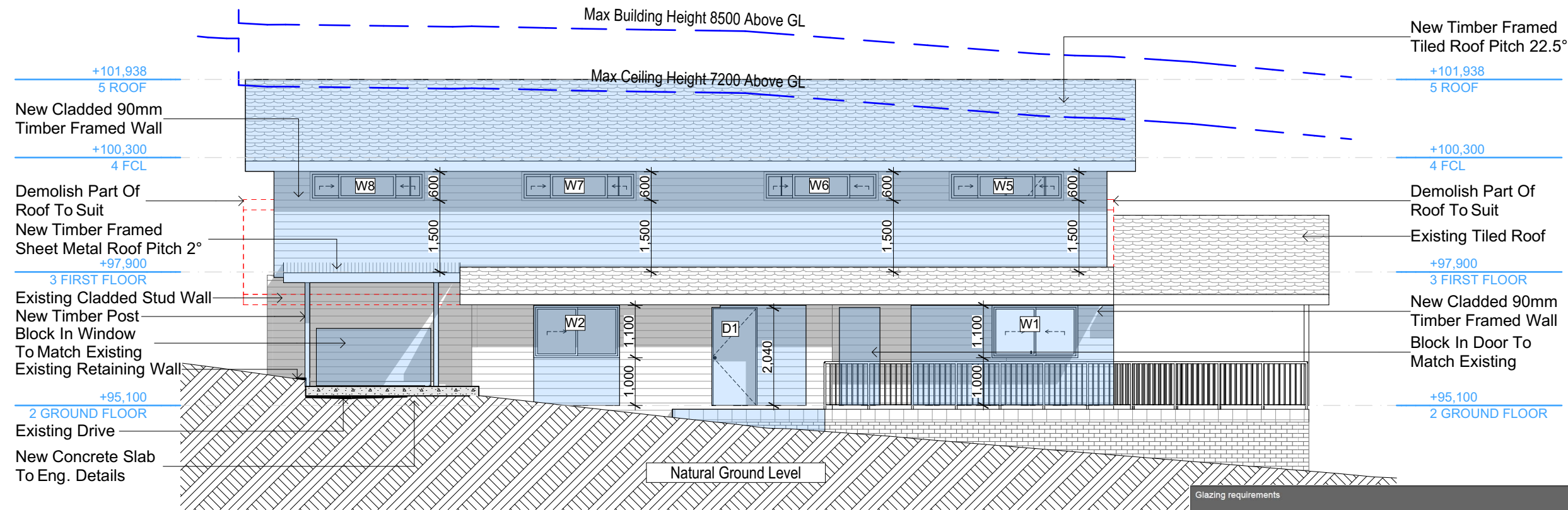
DRAWING TITLE : SECTIONS
SECTION 2

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
1	17/8/21

DRAWING NO.
DA3001

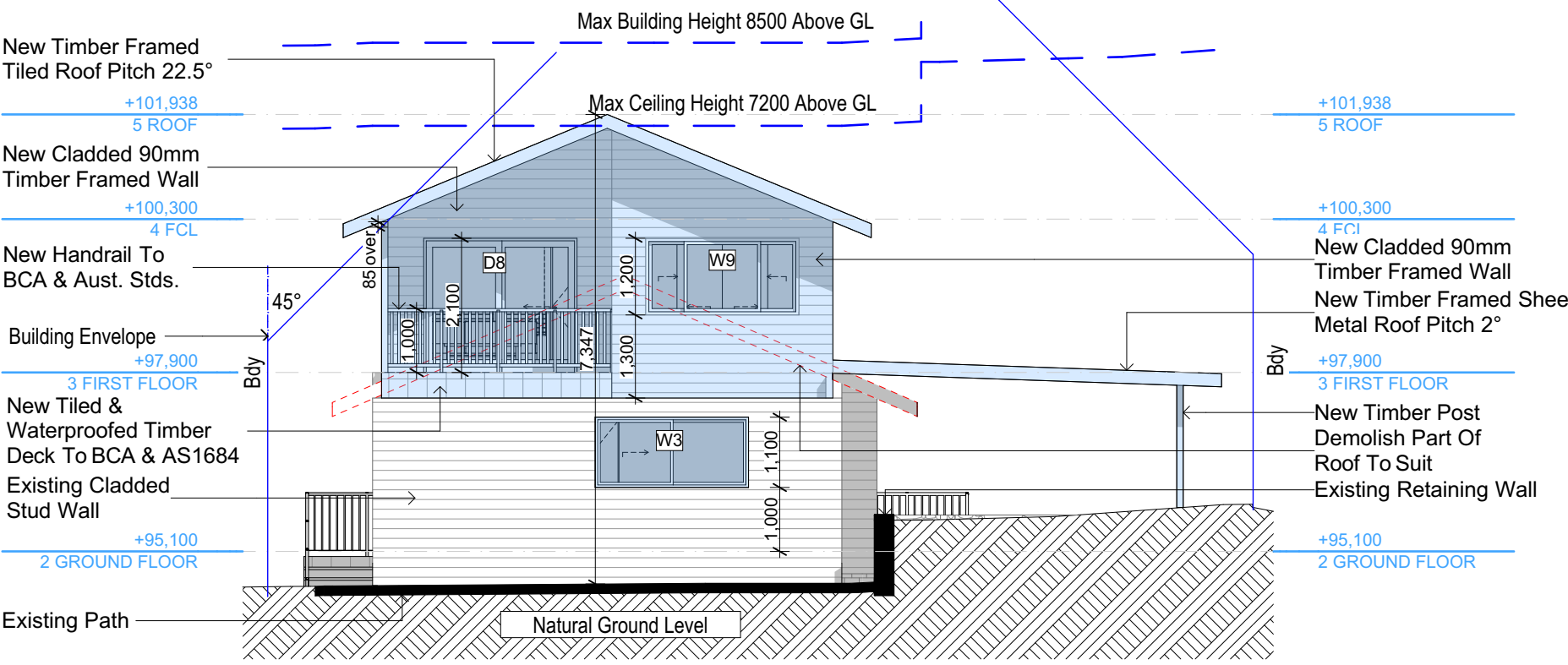
Plot Date: 16/02/2022
Sheet Size: A3



E-01 North 1:100

- Denotes New Works
- Denotes Existing Item
- Denotes Demolished Item

Wall Legend



E-02 East 1:100

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device
W1	NE	1.98	0	0	eave/verandah/pergola/balcony >=900 mm
W2	NE	1.98	0	0	eave/verandah/pergola/balcony >=600 mm

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W3	SE	2.04	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W4	SW	1.98	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W5	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W6	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W7	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W8	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W9	SE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W10	SW	1.26	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W11	SW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W12	NW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W13	NW	1.62	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
D2	NW	11.34	0	0	projection/height above sill ratio >=0.43	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D8	SE	5.04	0	0	projection/height above sill ratio >=0.23	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

DA APPLICATION ONLY NOT FOR CONSTRUCTION

© Copyright Rapid Plans 2021

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential

New Works to be constructed shown in Shaded/Blue

Construction

Framed Timber Walls

Roof Framed to have R0.95 Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1029:2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Glazing

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A428154 (02)

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m2)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked | GBKJ 16/02/2022 Project NO. RP1020KNO Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

DRAWING TITLE: ELEVATIONS 1

PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
1	17/8/21

DRAWING NO. DA4000

Plot Date: 16/02/2022 Sheet Size: A3

+101,938
5 ROOF
New Timber Framed
Tiled Roof Pitch 22.5°

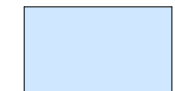
+100,300
4 FCL
New Cladded 90mm
Timber Framed Wall

+97,900
3 FIRST FLOOR
Block In Window
To Match Existing

+95,100
2 GROUND FLOOR
Block In Door To
Match Existing

E-03

South
1:100



Denotes New Works

Wall Legend



Denotes Existing Item



Denotes Demolished Item

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

+101,938
5 ROOF
New Cladded 90mm
Timber Framed Wall

+100,300
4 FCL
New Timber Post
Demolish Items
Shown Red Dashed
New Handrail To
BCA & Aust. Stds.

+97,900
3 FIRST FLOOR
Existing Cladded Stud Wall

+95,100
2 GROUND FLOOR
Block In Window
To Match Existing

Natural Ground Level

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	NE	1.98	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	NE	1.98	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W3	SE	2.64	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W4	SW	1.98	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W5	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W6	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single tinted, (or U-value: 5.67, SHGC: 0.49)
W7	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W8	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W9	SE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W10	SW	1.26	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W11	SW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W12	NW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W13	NW	1.62	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
D2	NW	11.34	0	0	projection/height above sill ratio >=0.43	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D8	SE	5.04	0	0	projection/height above sill ratio >=0.23	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

+101,938
5 ROOF
Demolish Part Of Roof To Suit
New Timber Framed Sheet
Metal Roof Pitch 2°

+100,300
4 FCL
New Timber Post
Building Envelope

+97,900
3 FIRST FLOOR
New Timber Post
Block In Door To
Match Existing

+95,100
2 GROUND FLOOR

Max Building Height 8500 Above GL

Max Ceiling Height
7200 Above GL

+101,938
5 ROOF
New Timber Framed
Tiled Roof Pitch 22.5°

+100,300
4 FCL
New Cladded 90mm
Timber Framed Wall

+97,900
3 FIRST FLOOR
Existing Tiled Roof

+95,100
2 GROUND FLOOR
Block In Door To
Match Existing

Natural Ground Level

West
1:100

E-04

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Building Design and Architectural Drafting

© Copyright Rapid Plans 2021

bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdca
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights in this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential

2 Warekila Road, Beacon Hill is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Framed Timber Walls

Roof Framed to have R0.95 insulation

Insulation to External Framed Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Glazing

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A428154_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) regulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

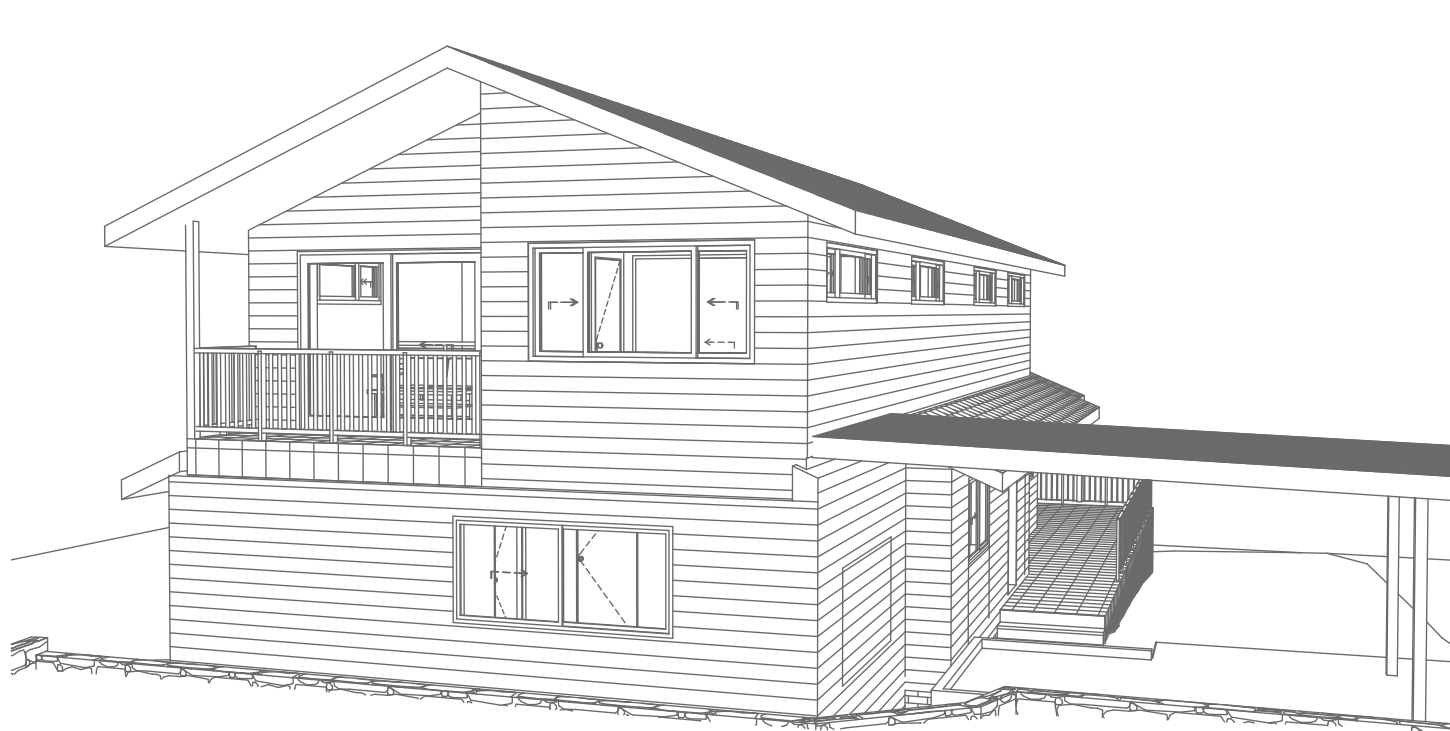
DRAWING TITLE: ELEVATIONS 2

PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
1	17/8/21

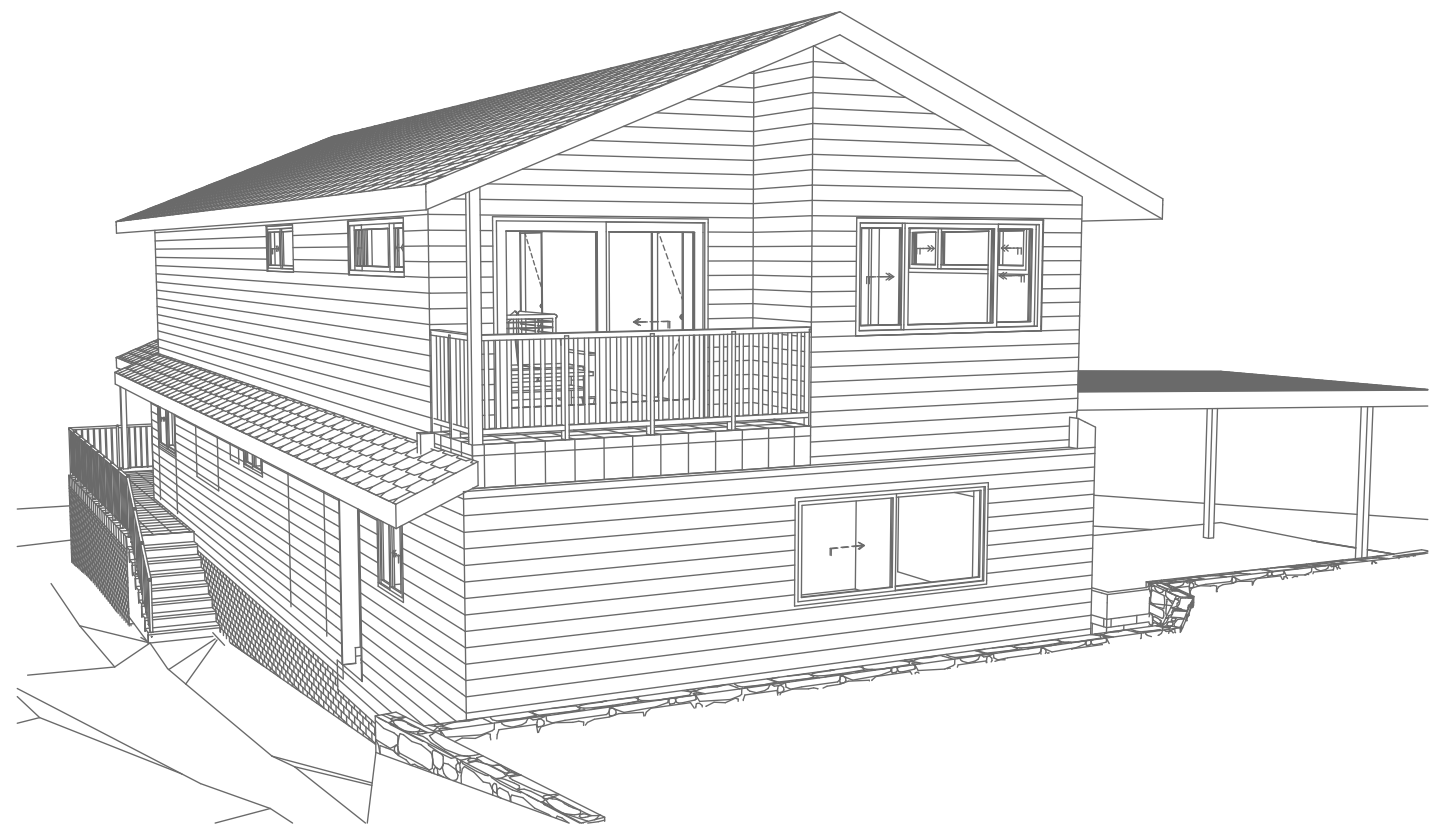
DRAWING NO. **DA4001**

Plot Date: 16/02/2022
Sheet Size: A3



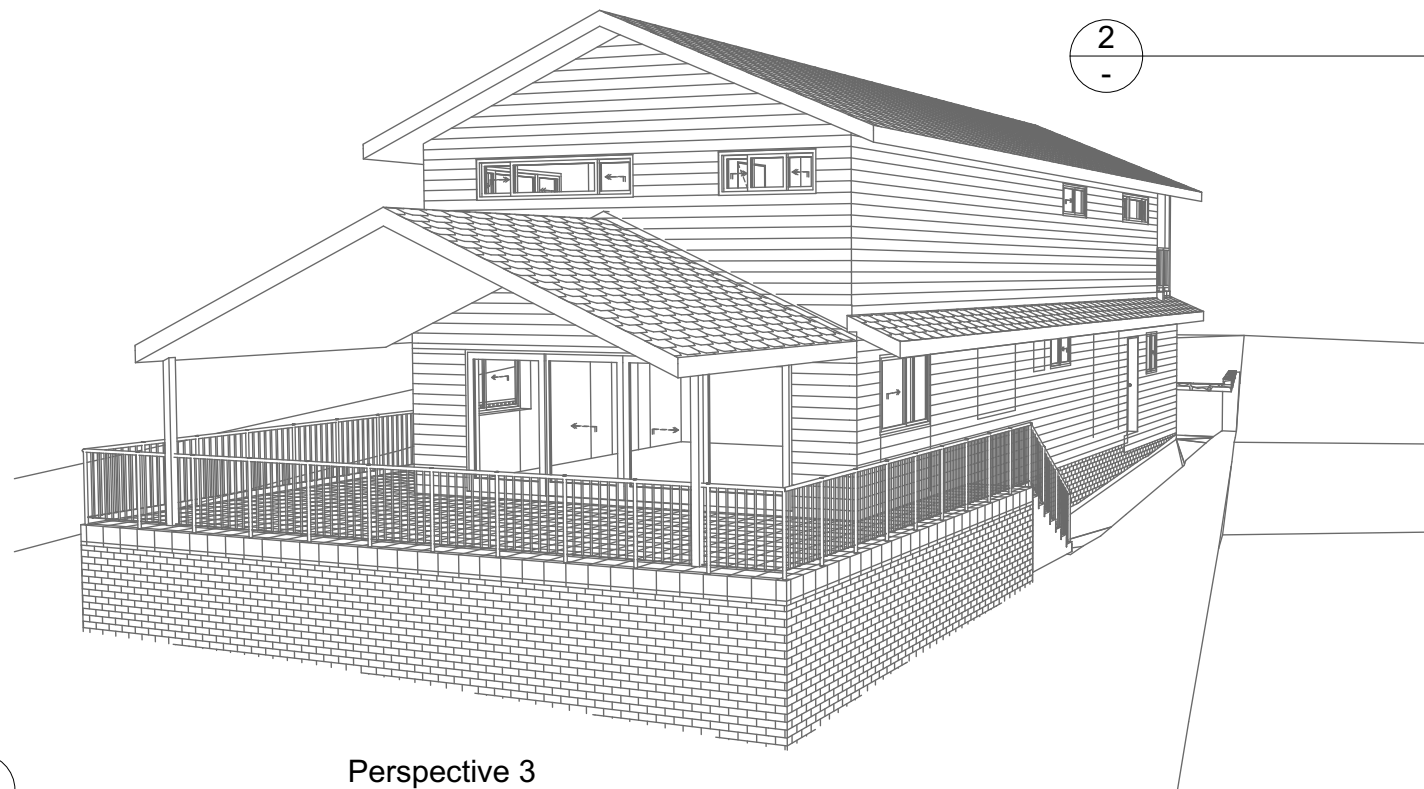
1
-

Perspective 1
1:200



2
-

Perspective 2
1:200



3
-

Perspective 3
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2 Warekila Road, Beacon Hill is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A428154_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	569m ²	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	52%	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	48%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Secondary Front Setback (Min.)	3.5m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

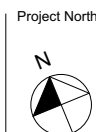


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
16/02/2022
RP1020KNO
DA

Client
Site:

Simone Knox
2 Warekila Road, Beacon Hill

Sheet Size: A3

DRAWING TITLE :

SHADOW PLANS
PERSPECTIVE

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE

17/8/21

DRAWING NO.

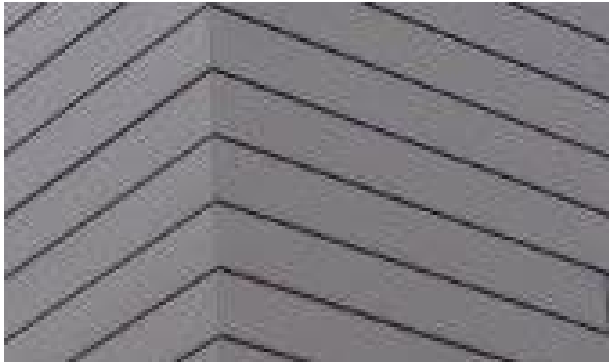
DA5000



Denotes Tiled Roof (Typical).
Owner To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Horizontal Cladding (Typical).
Owner To Confirm Type & Colour



Denotes Tiled Deck (Typical).
Owner To Confirm Type & Colour



Denotes Vertical Balustrade (Typical).
Owner To Confirm Type & Colour

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	NE	1.98	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	NE	1.98	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W3	SE	2.64	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W4	SW	1.98	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W5	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W6	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W7	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W8	NE	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W9	SE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W10	SW	1.26	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W11	SW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W12	NW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W13	NW	1.62	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
D2	NW	11.34	0	0	projection/height above sill ratio >=0.43	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D8	SE	5.04	0	0	projection/height above sill ratio >=0.23	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Rapid Plans
Building Design and Architectural Drafting

Rapid Plans
PO Box 6239 Fremantle Forest DC NSW 2006
Ph : (02) 9350-8545 Mobile: 0414-545-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2021



bd
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



bd
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed: Framed Walls
Roof Framed to have R0.95 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic
Basic Certificate Number A428154_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m2)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

DRAWING TITLE **SHADOW PLANS MATERIAL & COLOUR SAMPLE BOARD**

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
1	17/8/21

DRAWING NO. **DA5001**

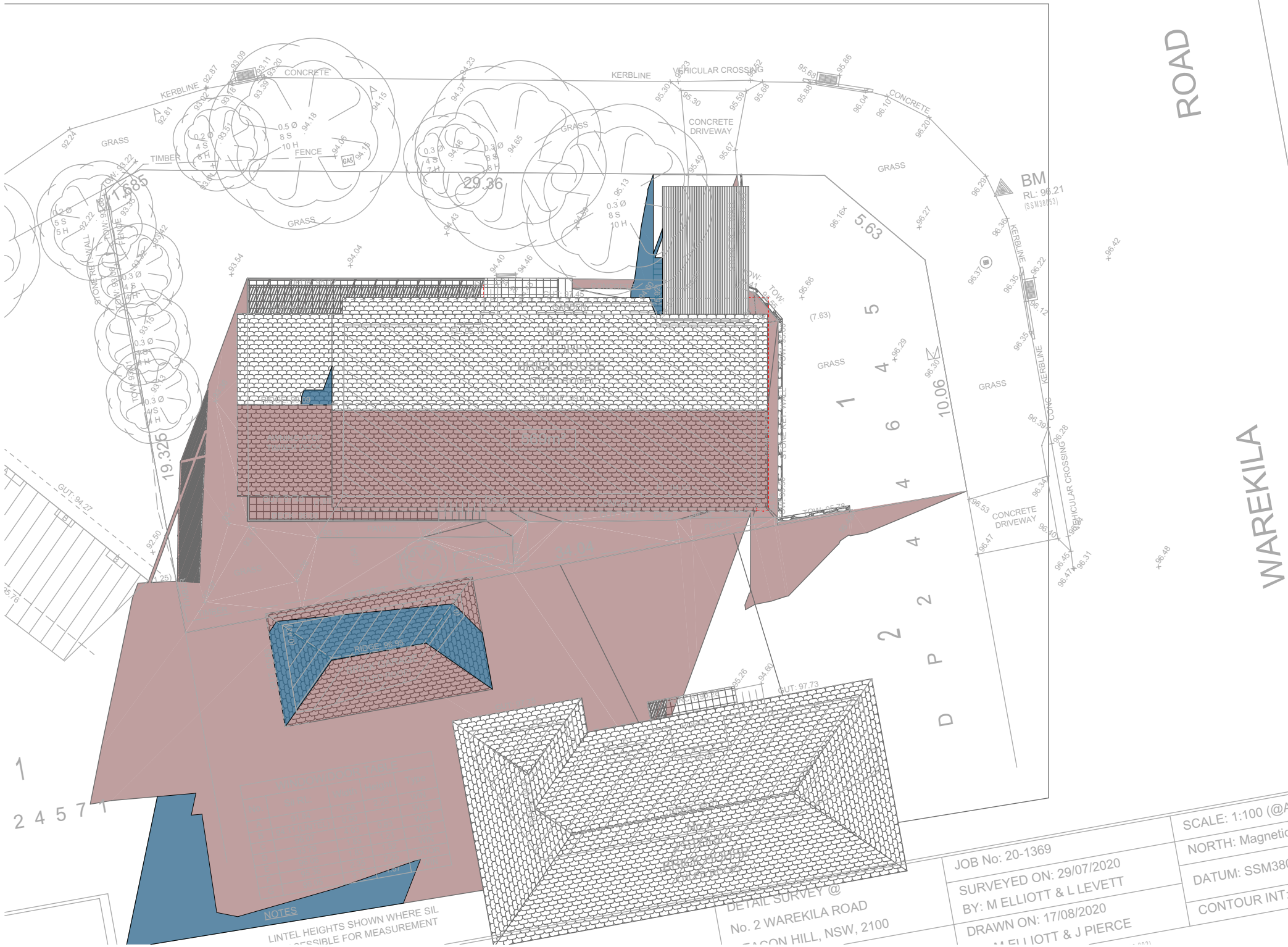
Plot Date: 16/02/2022
Sheet Size: A3

KALIANNA

CRESCENT

Denotes Proposed Shadow

Denotes Existing Shadow



SHADOW PLAN 21 JUN at 0900h
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

01



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

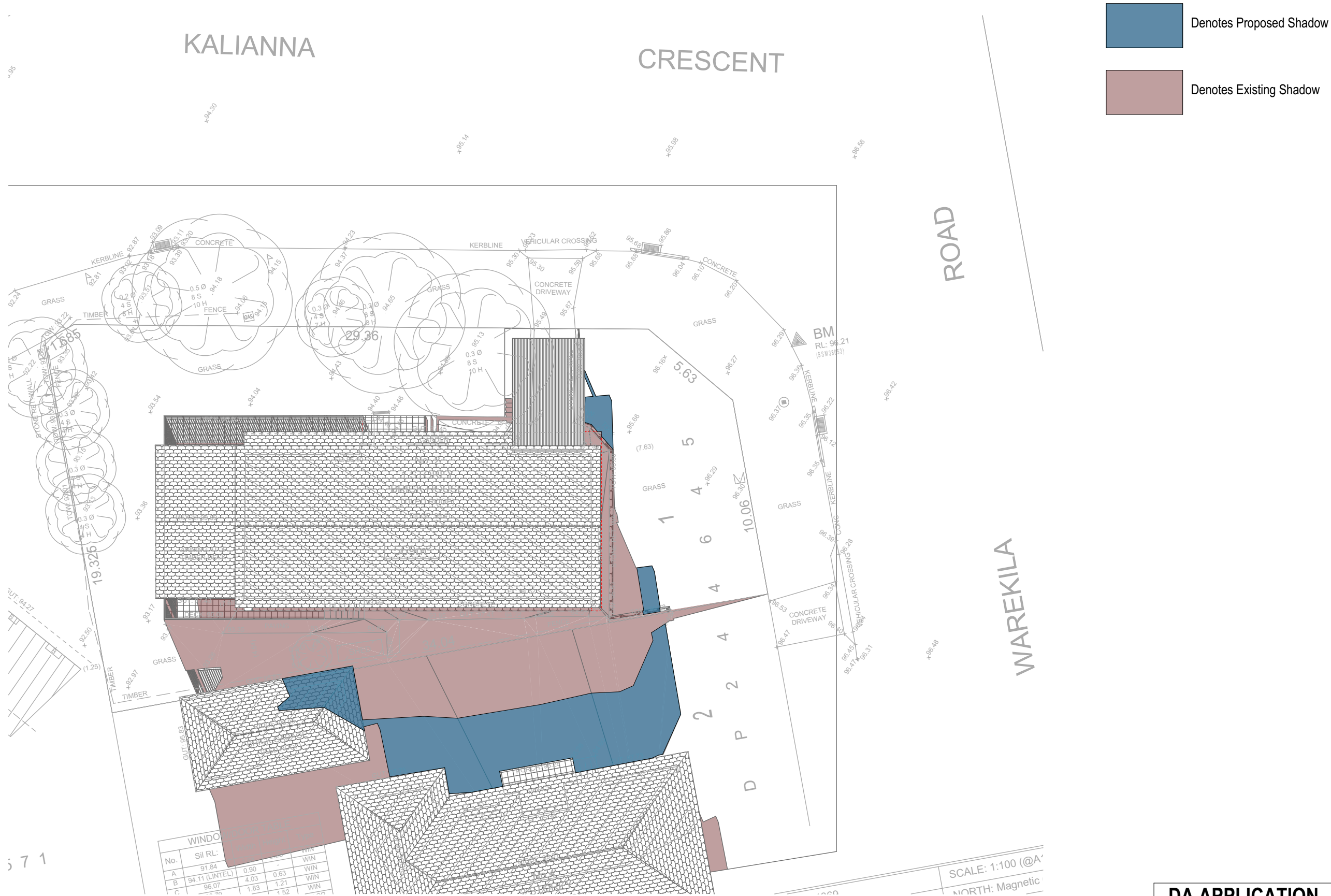


Checked
Plot Date:
Project NO.
Project Status

GBJ
16/02/2022
RP1020KNO
DA
Client
Site:
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
9am
PROJECT NAME : Alterations & Additions

REVISION NO.
1
DATE
17/8/21
DRAWING NO.
DA5002



02 SHADOW PLAN 21 JUN at 1200h
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

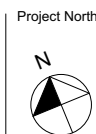


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked: GBJ
Plot Date: 16/02/2022
Project NO: RP1020KNO
Project Status: DA
Client: Simone Knox
Site: 2 Warekila Road, Beacon Hill
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
12pm**
PROJECT NAME : **Alterations & Additions**

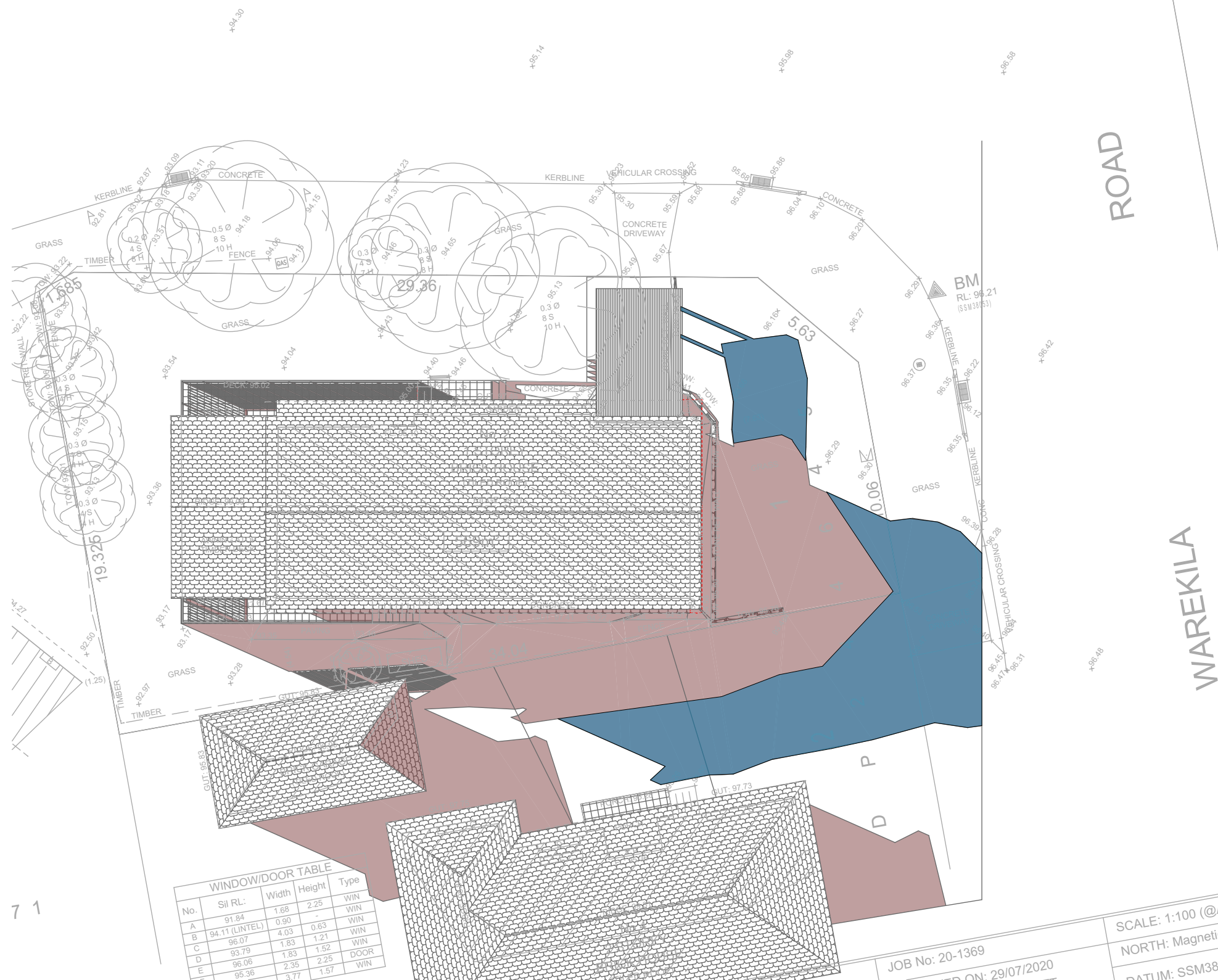
REVISION NO.
1
DATE:
17/8/21
DRAWING NO.
DA5003

KALIANNA

CRESCENT

Denotes Proposed Shadow

Denotes Existing Shadow



03 SHADOW PLAN 21 JUN at 1500h 1:200

JOB No: 20-1369
DATE: 29/07/2020
SCALE: 1:100 (@A1)
NORTH: Magnetic (t)
DATUM: SSM3805'

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



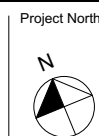
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

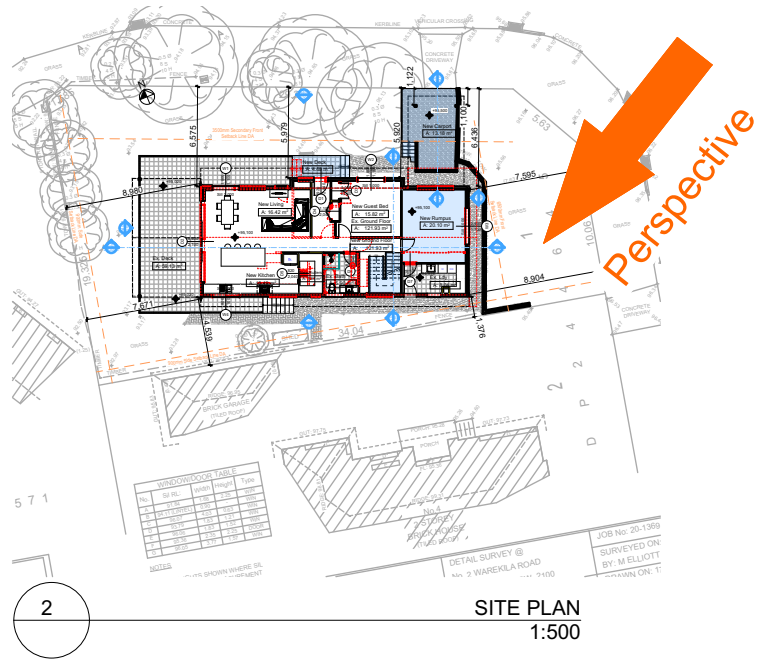
**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



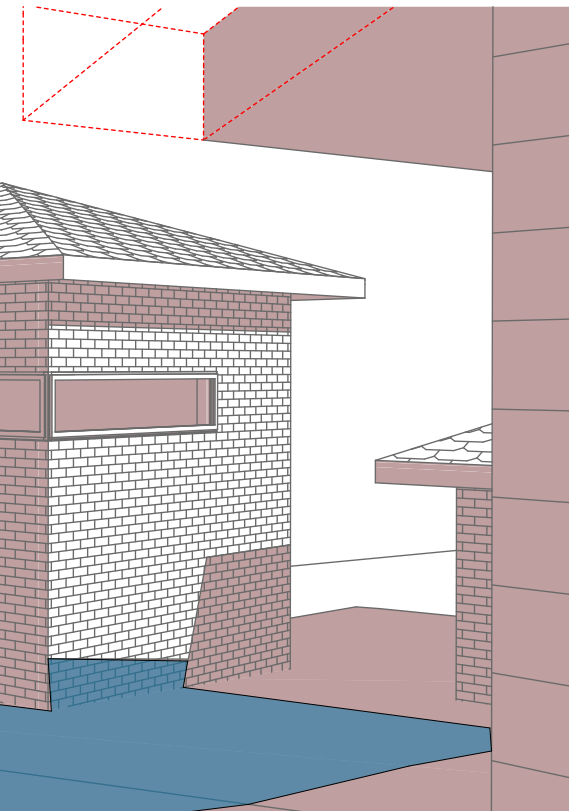
Checked
Plot Date: 16/02/2022
Project NO: RP1020KNO
Project Status: DA
Client: Simone Knox
Site: 2 Warekila Road, Beacon Hill
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June 3pm
PROJECT NAME : **Alterations & Additions**

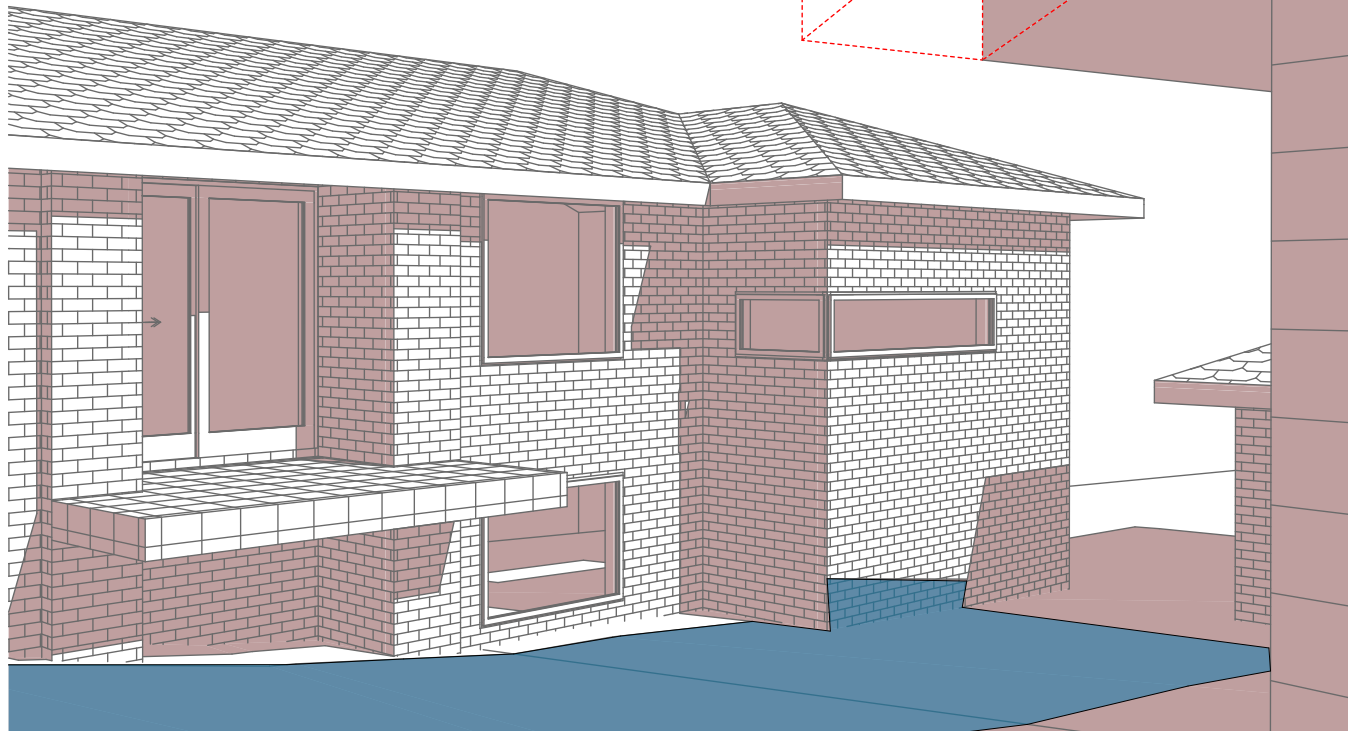
REVISION NO.
1
DATE:
17/8/21
DRAWING NO.
DA5004



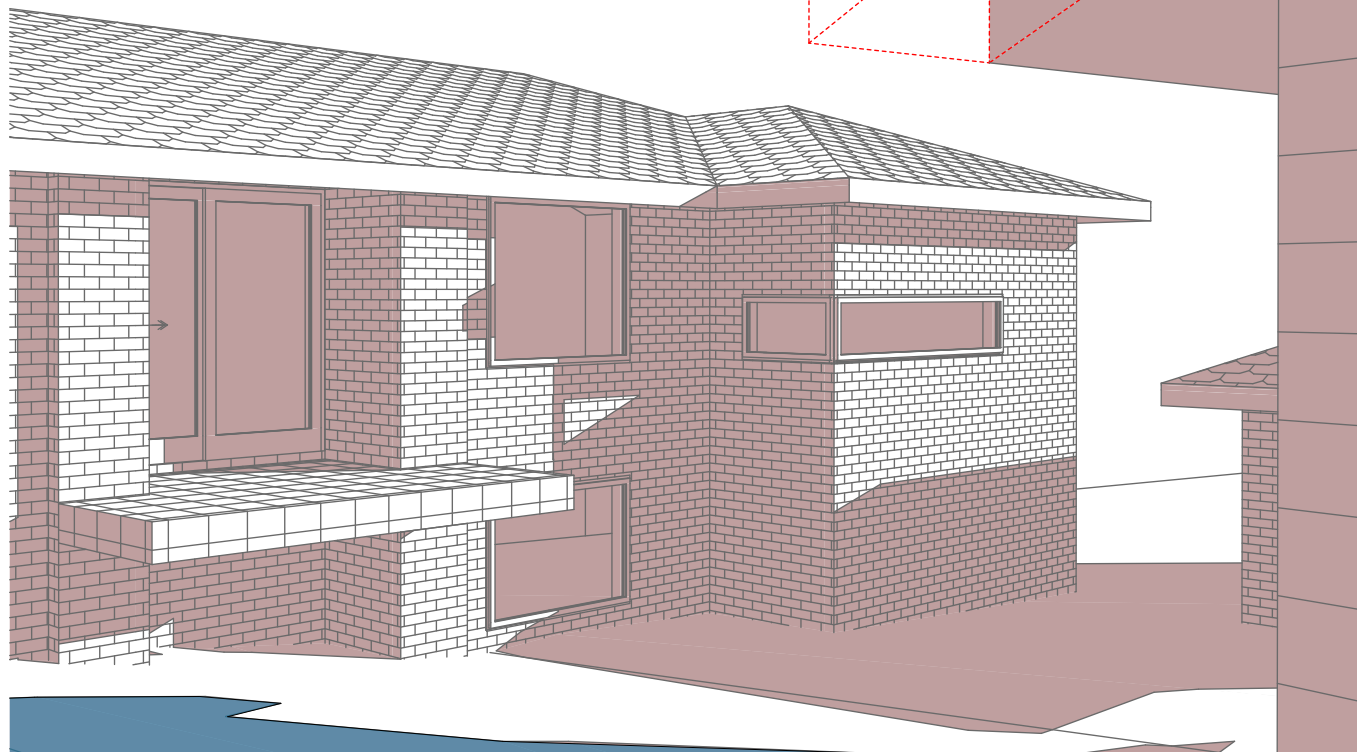
SHADOW ELEVATION 21 JUN at 0900h
1:200



SHADOW ELEVATION 21 JUN at 1200h
1:200



SHADOW ELEVATION 21 JUN at 1500h
1:200



Denotes Proposed Shadow

Denotes Existing Shadow

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Rapid Plans
Building Design and Architectural Drafting

© Copyright Rapid Plans 2021

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2 Warekila Road, Beacon Hill is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A428154, 02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	569m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Wall Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Secondary Front Setback (Min.)	3.5m	Variation
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	52%	Yes
Impervious area (m ²)	48%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/02/2022
Project NO.: RP1020KNO
Project Status DA

Client Simone Knox

Site: 2 Warekila Road, Beacon Hill

**DRAWING TITLE SHADOW PLANS
WALL ELEVATION
SHADOWS**

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
1 17/8/21

DRAWING NO.
DA5005

Plot Date: 16/02/2022
Sheet Size: A3