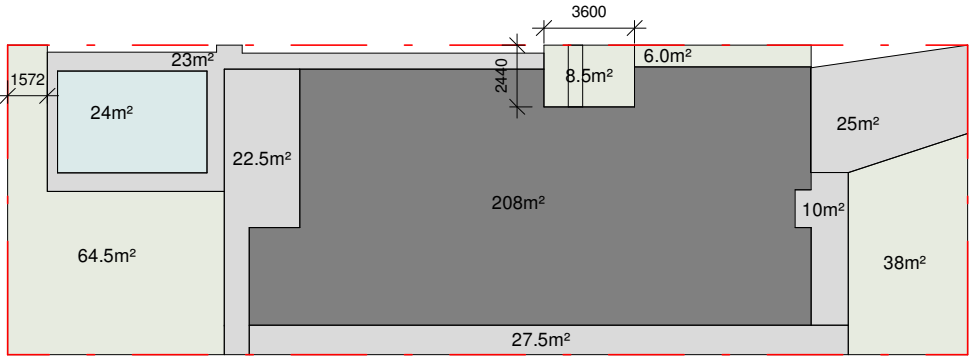
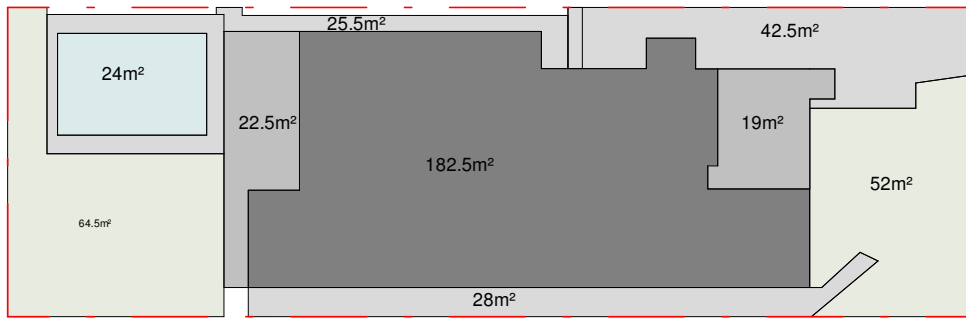


CALCULATION TABLE			
ZONE	R2 - LOW DENSITY RESIDENTIAL		
HAZARDS	-		
SITE AREA	467.3m <sup>2</sup>		
MAX. BUILDING HEIGHT	Hmax = 8.5 m		
BUILDING ENVELOPE	4m - SIDE BOUNDARY ENVELOPES		
	EXISTING	DEMOLISHED	PROPOSED
GROSS FLOOR AREA	171.5m <sup>2</sup>	10.5m <sup>2</sup>	158.5m <sup>2</sup> +110.5m <sup>2</sup> = 269m <sup>2</sup>
GARAGE	0m <sup>2</sup>		30m <sup>2</sup>
FLOOR SPACE RATIO	0.37:1	-	0.58:1
FOOTPRINT	182.5m <sup>2</sup> / 39%		208m <sup>2</sup> / 44.5%
HARD SURFACE	137.5m <sup>2</sup>	51.3m <sup>2</sup>	114m <sup>2</sup>
SITE COVERAGE	320m <sup>2</sup> /68.5%		322m <sup>2</sup> /68.9%
POOL WATER SURFACE	24m <sup>2</sup>		24m <sup>2</sup>
SOFT LANDSCAPING	116.5m <sup>2</sup> / 25%	-	117m <sup>2</sup> / 25%
LANDSCAPED OPEN SPACE	140.5m <sup>2</sup> / 30%		141m <sup>2</sup> / 30%
PRIVATE OPEN SPACE	132m <sup>2</sup>		132m <sup>2</sup>

- NOTES:
- Demolition works to be carried out in accordance with the requirements of A2601-2001 The Demolition of Structures. Also in compliance with work cover authority of NSW requirements, including but not limited to:
    - Protection of site workers and the general public
    - Asbestos handling and disposal where applicable
  - Termite protection to be in accordance with AS 3600.1
  - All construction to comply with current BCA codes and Australian Standards.
  - Stormwater system to be connected to the existing.
  - All timber framing shall comply with AS1684
  - These documents must be read in conjunction with all the sub-consultants reports and recommendations. The architectural documents form part of the total construction set and are not to be taken as exclusively being the building construction documents
  - Eaves within 900mm of allotment boundaries are to be constructed of non-combustible materials. eaves must not be within 450mm of allotment boundaries as required by part 3.7.1 of BCA
  - Sediment & Erosion control are to be installed and maintained during the life of the project



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2019/0753**

ALL BUILDING WORKS MUST BE CARRIED OUT  
IN ACCORDANCE WITH THE REQUIREMENTS OF  
THE BUILDING CODE OF AUSTRALIA (BCA) AND  
AUSTRALIAN STANDARDS

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	18.04.2019	EXISTING	KM	
	11.05.2019	CONCEPT DESIGN 1B	KM	
	27.05.2019	CONCEPT DESIGN 2	KM	
	25.06.2019	DA ISSUE	KM	



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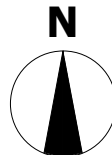
STUDIO: 2/67 Wanganella St, Balgowlah  
EMAIL: naomi@nncollective.com.au  
MOBILE: 0416 149 678 / 0407 255 627  
WEBSITE: www.nncollective.com.au

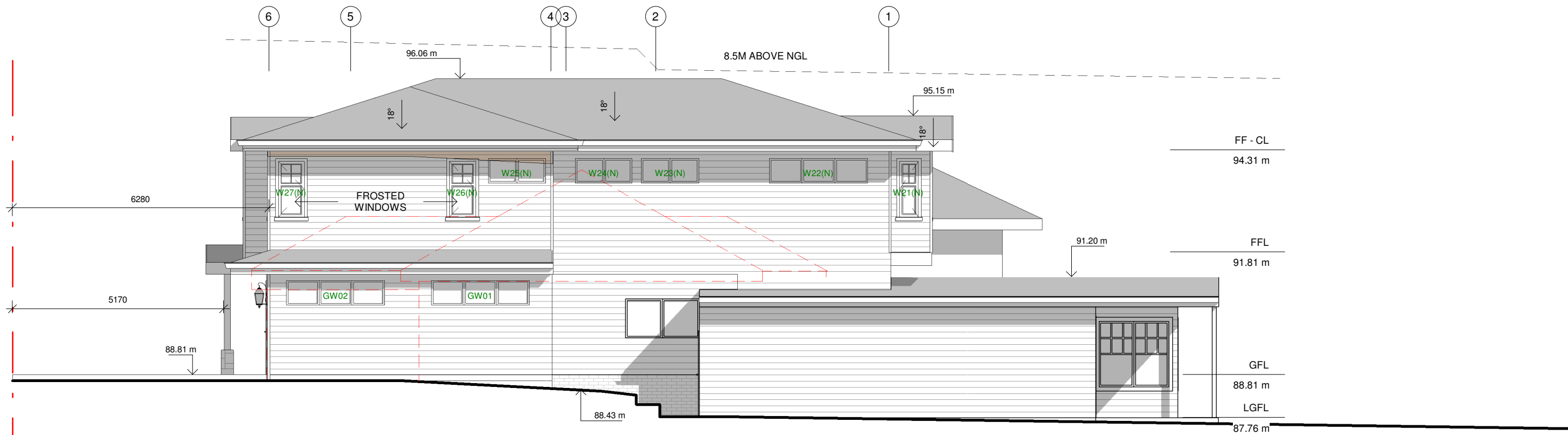
**PROJECT TITLE:** ALTERATION & ADDITION  
**PROJECT NO.:** NBAL.2019024  
**AT:** 14 GARRAWEEN AVE  
NORTH BALGOWLAH  
**FOR:** SASHA & AIMEE SLAVKOVSKI

**SHEET TITLE:** SITE PLAN

**SHEET NO:** A101

**SCALE A3:** As indicated



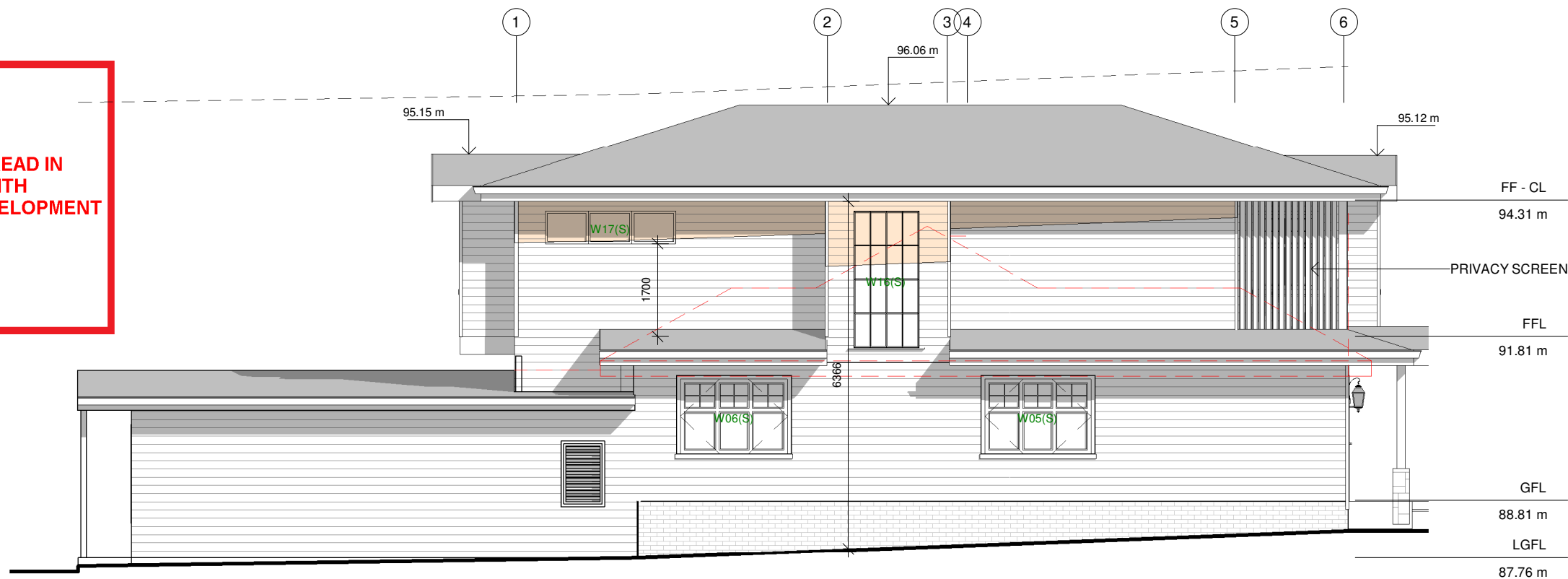


1 | NORTH ELEVATION  
A106 | 1 : 100

 northern beaches council

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2019/0753**



2 | SOUTH ELEVATION  
A106 | 1 : 100

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	18.04.2019	EXISTING	KM	
	11.05.2019	CONCEPT DESIGN 1B	KM	
	27.05.2019	CONCEPT DESIGN 2	KM	
	25.06.2019	DA ISSUE	KM	

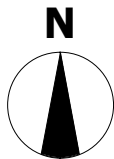
PREPARED BY BLUE SKY BUILDING DESIGNS / info@bsbd.com.au / 0414 310 171

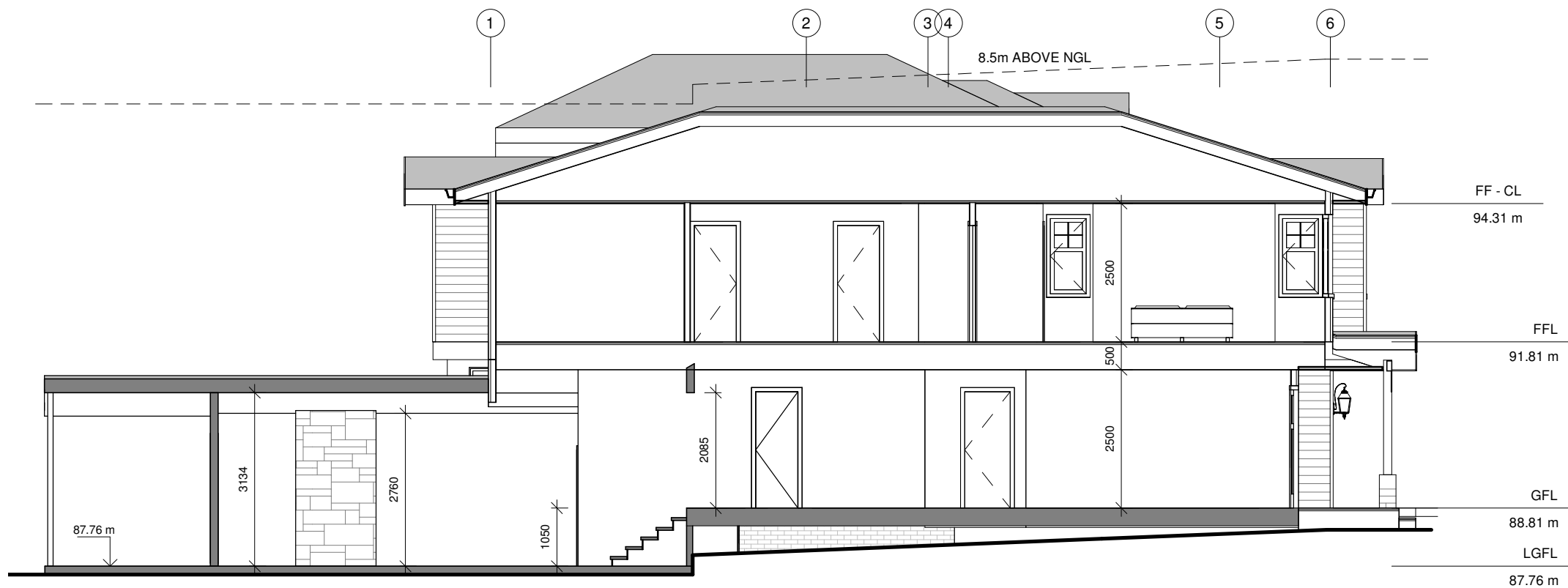
  
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EMAIL: naomi@nncollective.com.au  
MOBILE: 0416 149 678 / 0407 255 627  
WEBSITE: www.nncollective.com.au

PROJECT TITLE: ALTERATION & ADDITION  
PROJECT NO.: NBAL.2019024  
AT: 14 GARRAWEEN AVE  
NORTH BALGOWLAH  
FOR: SASHA & AIMEE SLAVKOVSKI

SHEET TITLE: ELEVATIONS  
SHEET NO: A106  
SCALE A3: 1 : 100





## 1 SECTION 1

A107 1 : 100

### BASIX COMMITMENTS

#### FIXTURES AND SYSTEMS

LIGHTING MIN 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LED LAMPS

FIXTURES SHOWERHEADS MIN 3 STAR RATING

TOILET FLUSHING SYSTEM MIN 3 STAR RATING

TAPS MIN 3 STAR RATING

#### CONSTRUCTION

INSULATION FLOOR ABOVE GARAGE NIL

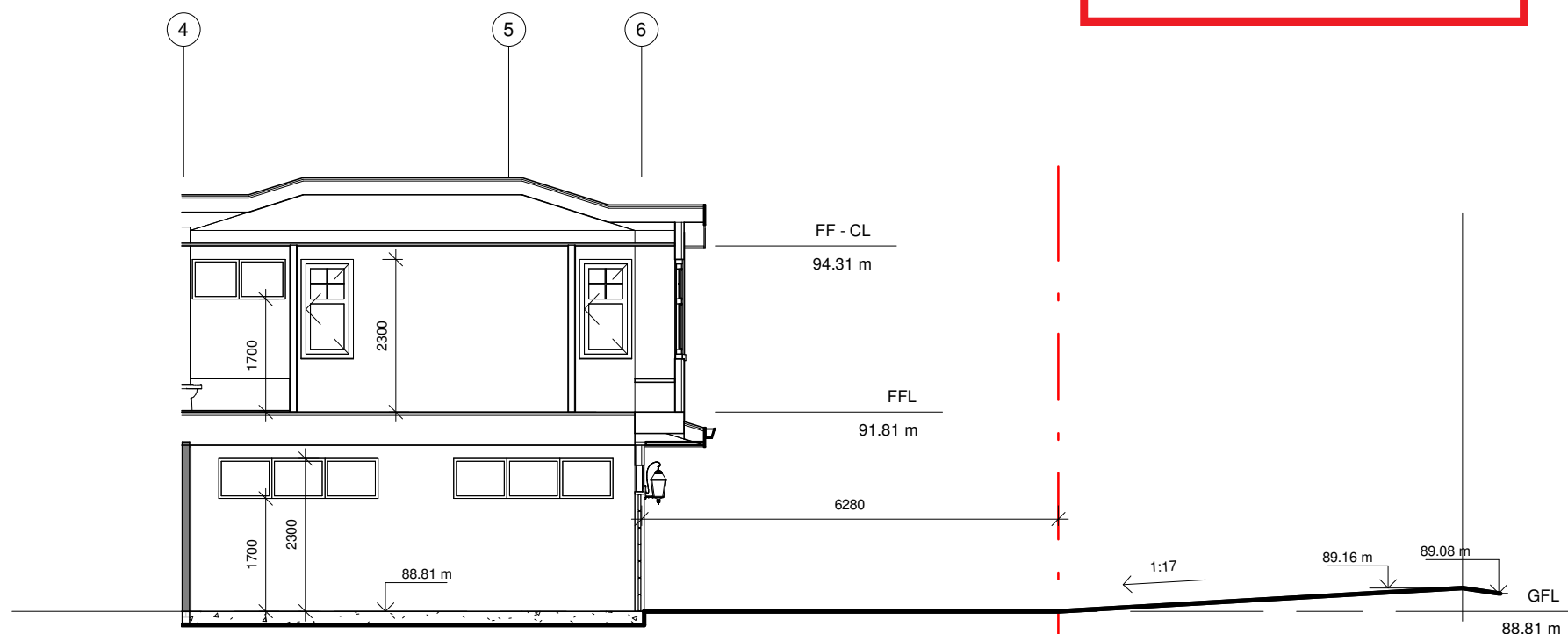
FLOOR ABOVE EXISTING DWELLING NIL

EXTERNAL WALL FRAMED R1.3 (OR R1.7 INCLUDING CONSTRUCTION

INTERNAL WALL (GARAGE) PLASTERBOARD . NIL

FLAT CEILING / PITCHED ROOF CEILING R2.5, ROOF - FOIL OR SARKING MEMBRANE

WINDOWS & DOORS REF TO BASIX CERTIFICATE A351728



## 2 DRIVEWAY PROFILE

A107 1 : 100

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	18.04.2019	EXISTING	KM	
	11.05.2019	CONCEPT DESIGN 1B	KM	
	27.05.2019	CONCEPT DESIGN 2	KM	
	25.06.2019	DA ISSUE	KM	