

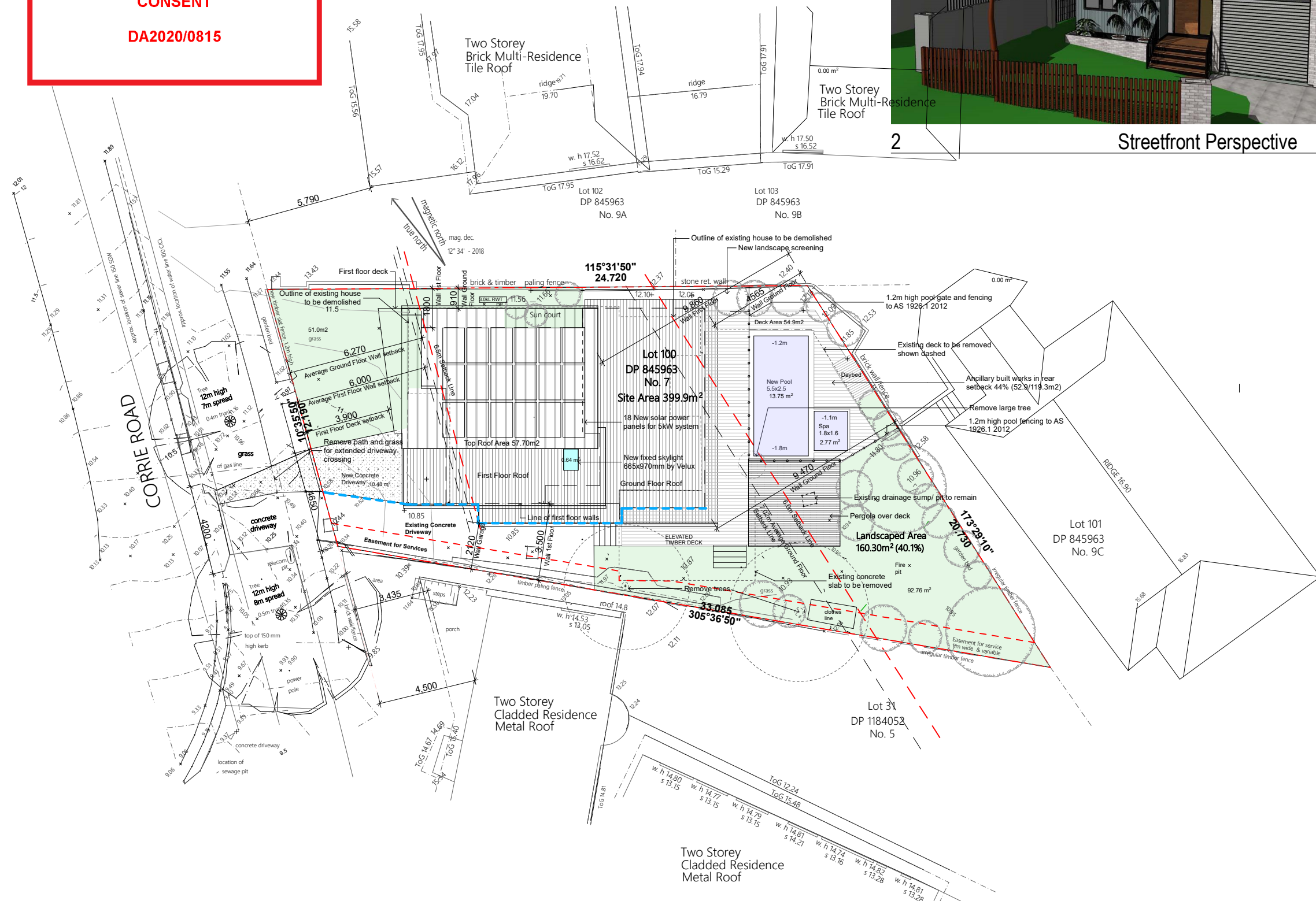


THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0815



Streetfront Perspective



Site and Roof Plan

1:200

3

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
**Sally Bamford and Rob Wilkie**  
Project Name  
**Bamkie House**  
7 Corrie Rd  
North Manly NSW 2100

Drawing Title:  
**Site and Roof Plan**

Scale: as noted	Date: 24.06.2020
Status: DA	Checked By: SH
Project No: <b>2019 15</b>	Drawing No.: <b>DA01</b>

Plot Date: 24/06/2020



0004954301 25 Jun 2020  
Assessor  
Accreditation No.  
Address  
7 Corrie Road, North  
Manly, NSW, 2100  
hstar.com.au

Lot 102  
DP 845963

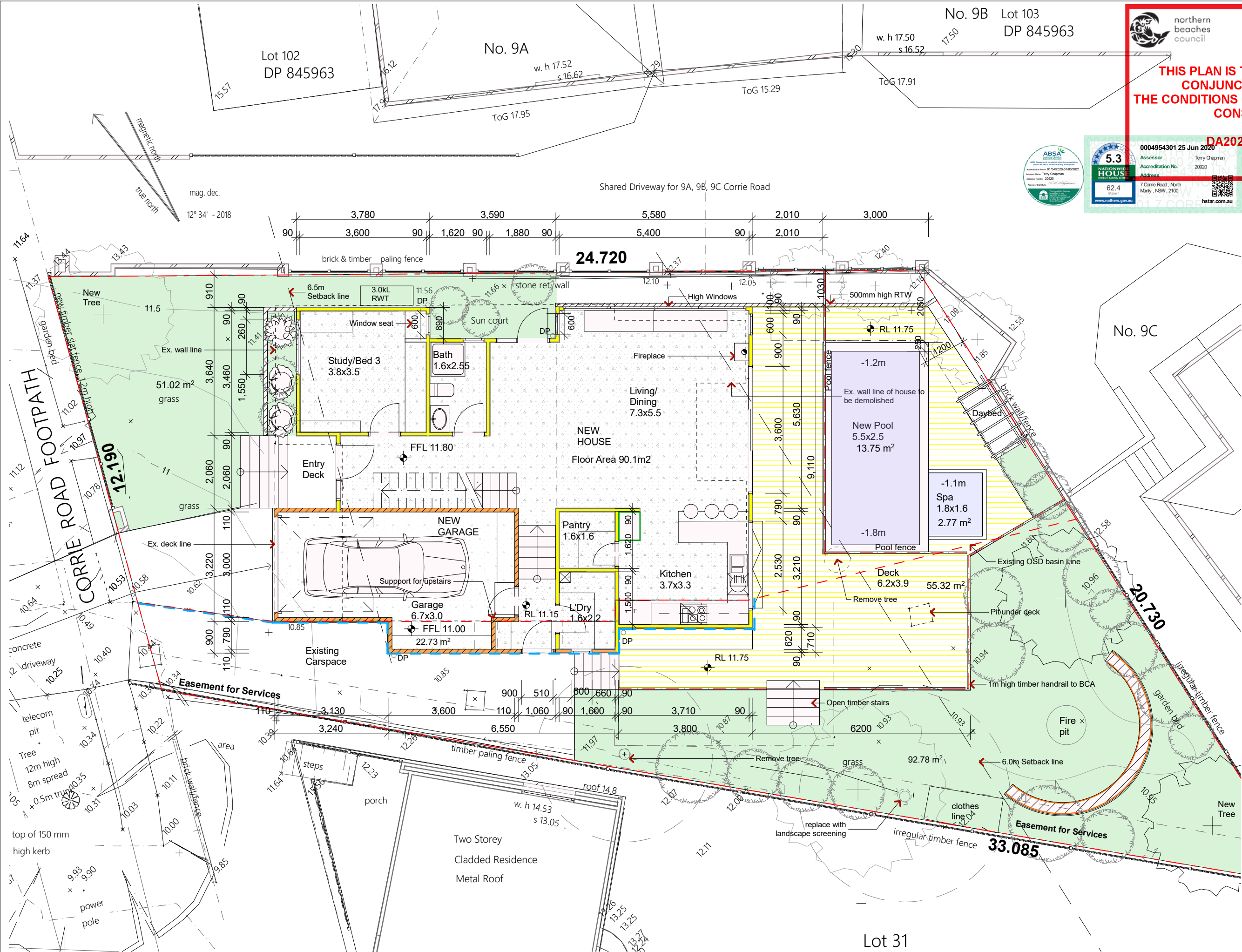
No. 9A

No. 9B Lot 103  
DP 845963



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/0815**



3

Ground Floor

Lot 31

1:100

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
**Sally Bamford and Rob Wilkie**  
Project Name  
**Bamkie House**  
7 Corrie Rd  
North Manly NSW 2100

Drawing Title:  
**Ground Floor Plan**

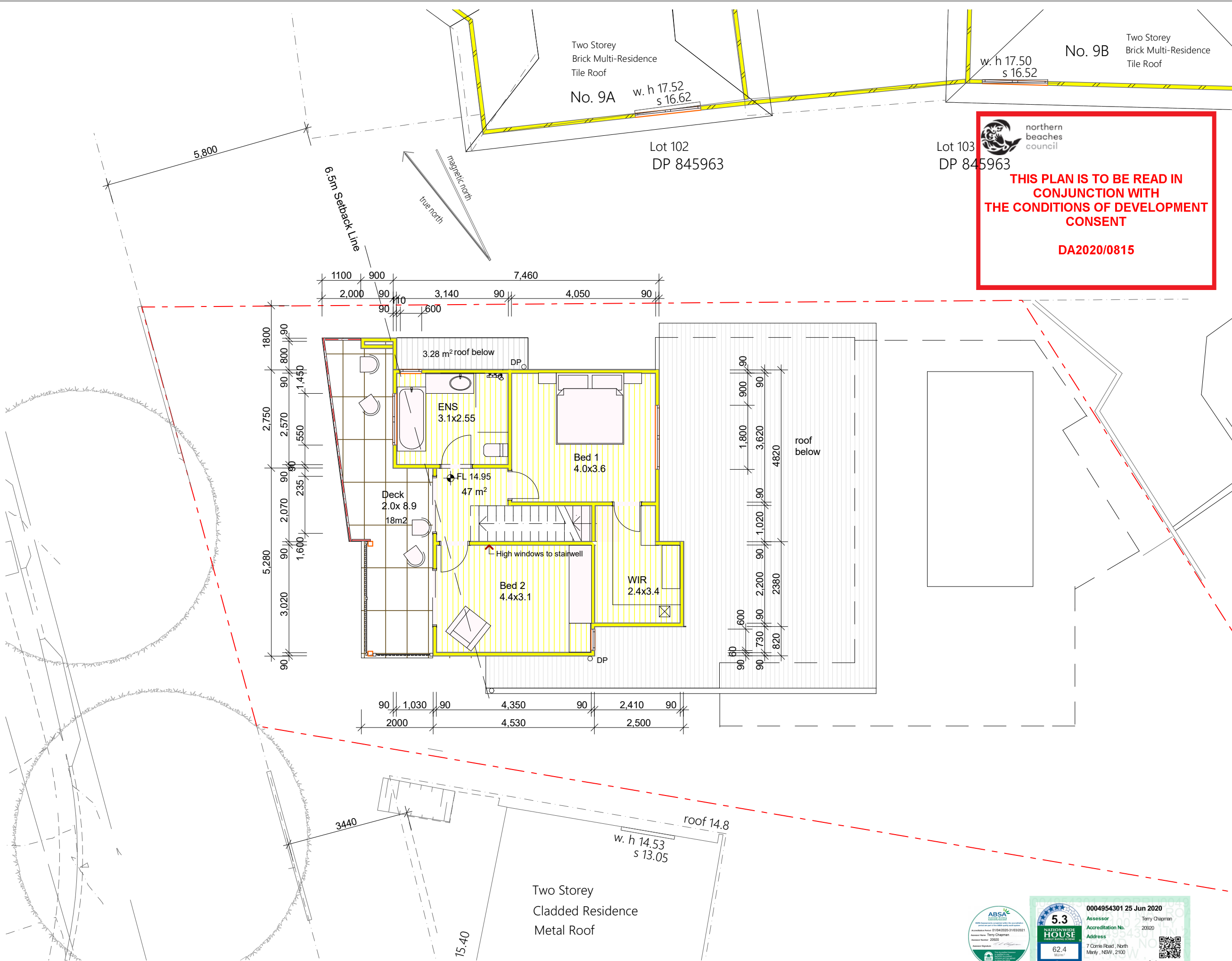
Scale: as noted Date: 24.06.2020

Status: DA Checked By: SH

Project No: **2019 15** Drawing No.: **DA02**

Plot Date: 24/06/2020





The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
**Sally Bamford and Rob Wilkie**  
Project Name  
**Bamkie House**  
7 Corrie Rd  
North Manly NSW 2100

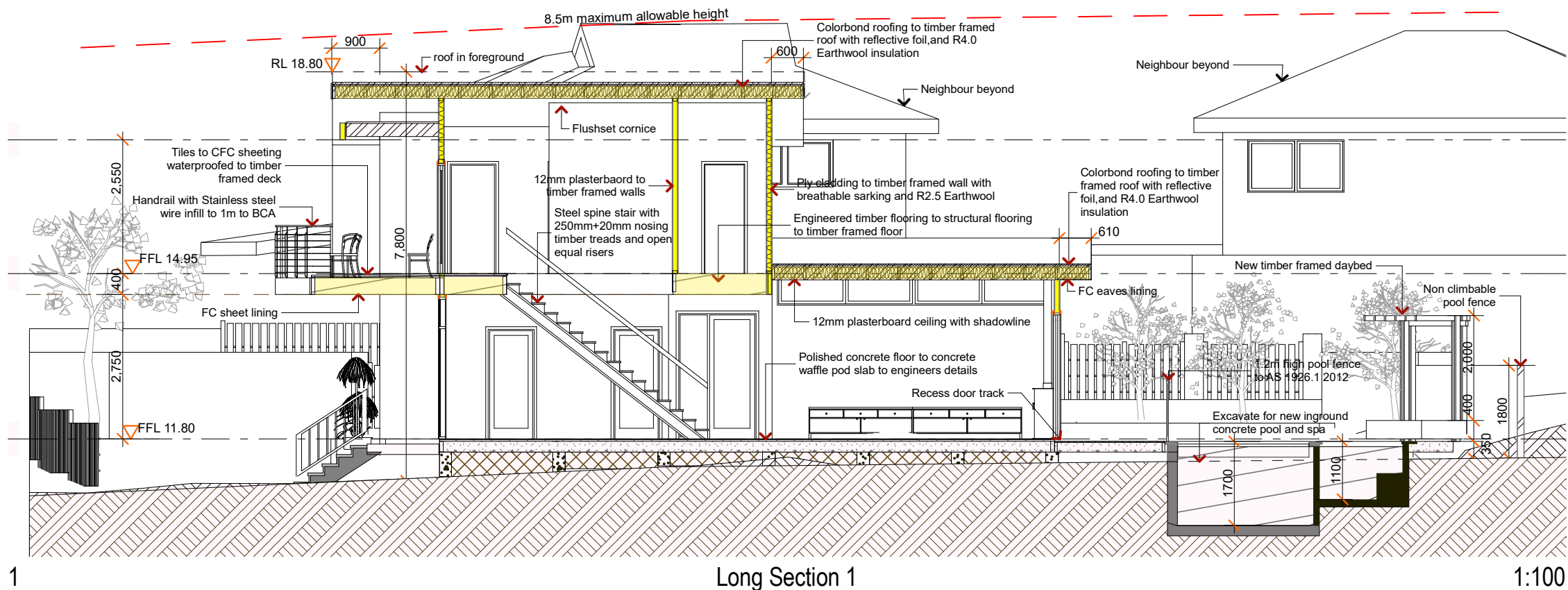
Drawing Title:  
**First Floor Plan**


Scale: as noted Date: 24.06.2020

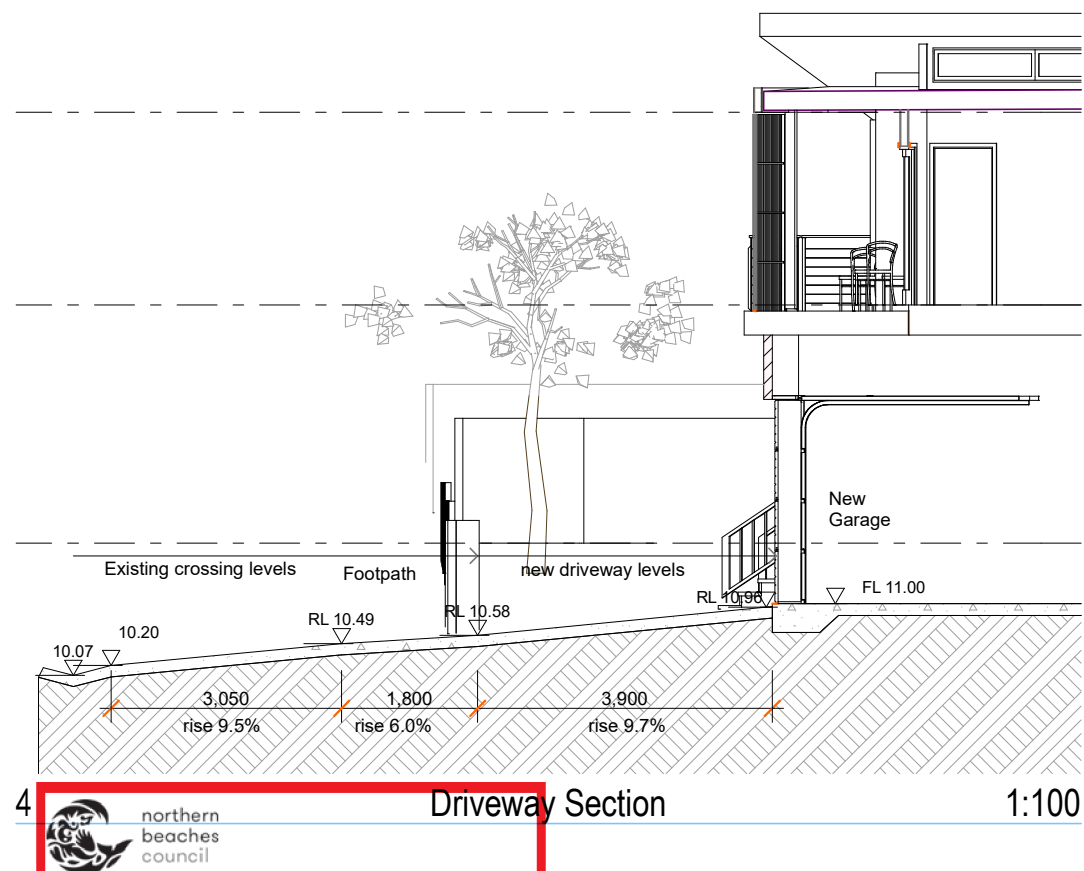
Status: DA Checked By: SH

Project No:  
**2019 15**  
Drawing No.:  
**DA03**

Plot Date: 17/07/2020



Sally Bamford & Rob Wilke 7 Corrie Road North Manly		NSW	2100	Basix Requirements Summary - Single Dwelling		Prepared by Chapman Environmental Services www.basixcertificates.com.au 1300 004 914			
Water Target	40	Water Score	40	Conditioned Area			122.9		
Energy Target	50	Energy Score	64	Unconditioned Area			16.2		
Max. Heating Load is (MJ/m²)	40	Actual Heating Load	40						
Max. Cooling Load is (MJ/m²)	26	Actual Cooling Load	22.4	Star Rating			5.3		
Basix Commitments									
Landscaping	Total area of garden & lawn (m²)		158	Area of indigenous/low water use plants (m²)		79			
Fixtures	Shower heads		3 star (> 4.5 but <= 6 L/min)		Toilets	4 star	All taps		6 star
Alternative Water	Minimum Rainwater tank size (L)		3000		Collect run off from roof area of at least (m²)		57.7		
	Toilet connection Yes	Laundry connection Yes	Landscape connection Yes		Pool top up Yes		Spa top up Yes		
Pool and Spa	Max pool volume (kL)		20		Pool requires a cover		Pool pump must have a timer		
	Max spa volume (kL)		3.2		Spa does not require a cover		Spa pump must have a timer		
	Pool heating		Gas		Spa Heating		Gas		
Energy	Hot water system		Solar (gas boosted, evacuated tube)		Rating		15 to 20 STCs		
	Bathroom ventilation		Individual fan, ducted to facade or roof		with		Manual switch on/off		
	Kitchen ventilation		Individual fan, ducted to facade or roof		with		Manual switch on/off		
	Laundry ventilation		Natural ventilation only, or no laundry						
	Cooling - living areas		1-phase airconditioning		Rating		EER 2.5 - 3.0		Zoned
	Cooling - bedrooms		1-phase airconditioning		Rating		EER 2.5 - 3.0		
	Heating - living areas		1-phase airconditioning		Rating		EER 2.5 - 3.0		
	Heating - bedrooms		1-phase airconditioning		Rating		EER 2.5 - 3.0		
	Alternate Energy		Photovoltaic system able to generate at least		5.0		peak kilowatts of electricity		
	Gas cooktop & electric oven				Outdoor clothesline required		No indoor clothesline required		
Thermal Performance Assessment Based on the Following Requirements									
Floor Types	Waffle pod slab 300mm		with		nil				
Floor Coverings	Tiles		Upper Bath		Timber		Upper Bedrooms/Hall		
	Carpet		n/a		Concrete		Lower level through out		
External Walls	Single skin brick		with		Nil				
	Timber framed Fibro clad		with		Sarking and R2.5 bulk insulation				
Internal Walls	Plasterboard		with		No insulation required				
	Single skin brick		with		Nil				
Ceiling (floor over)	Timber above plasterboard		with		R2.5 bulk insulation to garage ceiling only between floors				
Ceilings (roof over)	Timber above plasterboard.		with		R4.0 bulk insulation				
Roof	Metal		with		Sarking		Colour		Dark
Windows and Doors	AF single glazed - Comfort Plus  to all windows and glazed doors unless noted otherwise		Louvers		VAN-004-08   U-Value 4.51 or less   SHGC 0.54 +/- 5%				
			Fixed Glass		AWS-066-03   U-Value 3.91 or less   SHGC 0.62 +/- 5%				
			Sliding Windows		AWS-001-19   U-Value 4.52 or less   SHGC 0.59 +/- 5%				
			Awning Windows		AWS-007-19   U-Value 4.90 or less   SHGC 0.53 +/- 5%				
			Sliding Doors		AWS-011-18   U-Value 4.36 or less   SHGC 0.59 +/- 5%				
			Bi-Fold		AWS-016-18   U-Value 4.63 or less   SHGC 0.47 +/- 5%				
			Hinged Door		ALM-001-03   U-Value 5.40 or less   SHGC 0.58 +/- 5%				
If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA If there is a discrepancy between this document and the Nathers Certificate, then the Nathers Certificate shall take precedence									



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0815



The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
Sally Bamford and Rob Wilke  
Project Name  
Bamkie House  
7 Corrie Rd  
North Manly NSW 2100

Drawing Title:  
Section and Basix

Scale: as noted Date: 24.06.2020

Status: DA Checked By: SH

Project No: 2019 15 Drawing No.: DA04

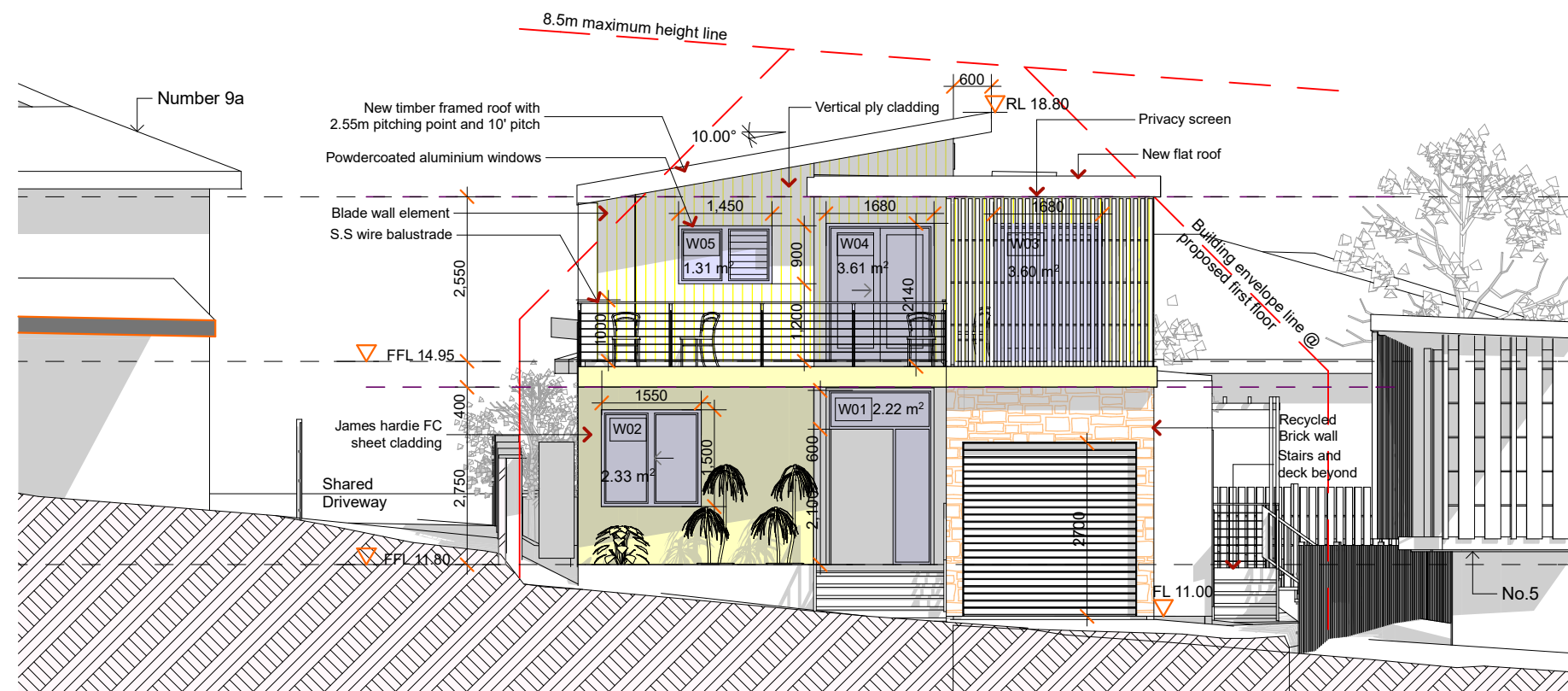
Plot Date: 25/06/2020



northern  
beaches  
council

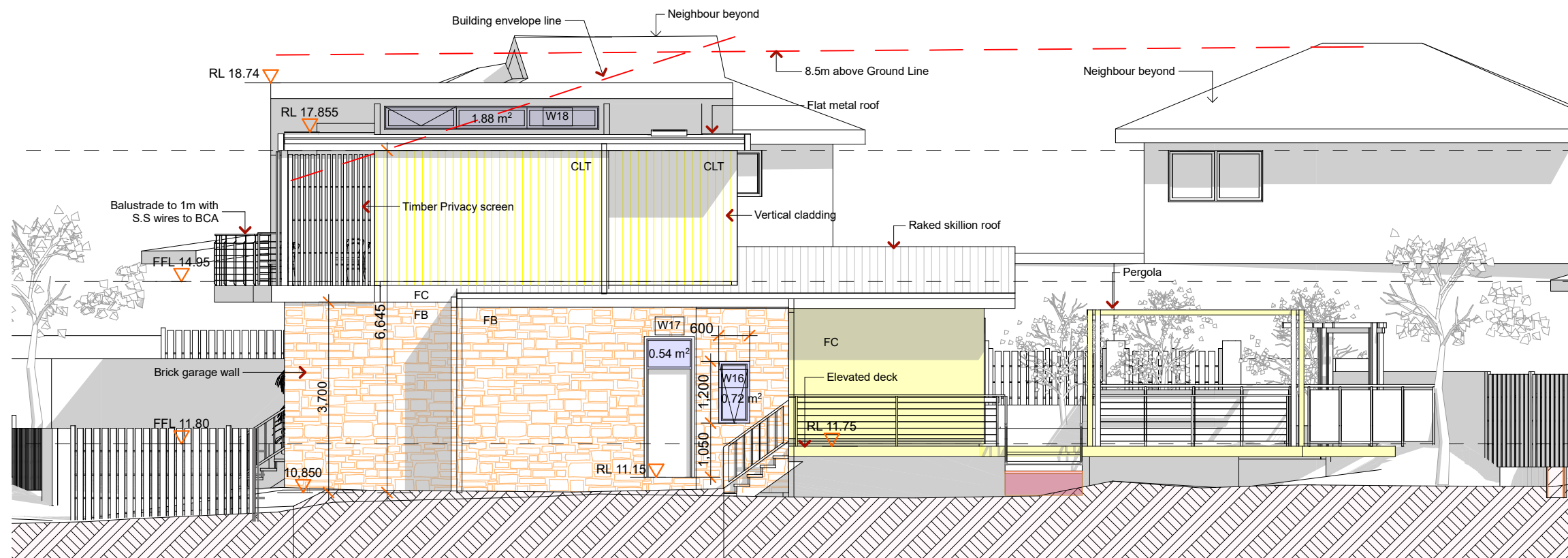
THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0815



West (Street) Elevation

1:100



South Elevation

1:100

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
**Sally Bamford and Rob Wilkie**  
Project Name  
**Bamkie House**  
7 Corrie Rd  
North Manly NSW 2100

Drawing Title:  
**West and South Elevations**

Scale: as noted Date: 24.06.2020

Status: DA Checked By: SH

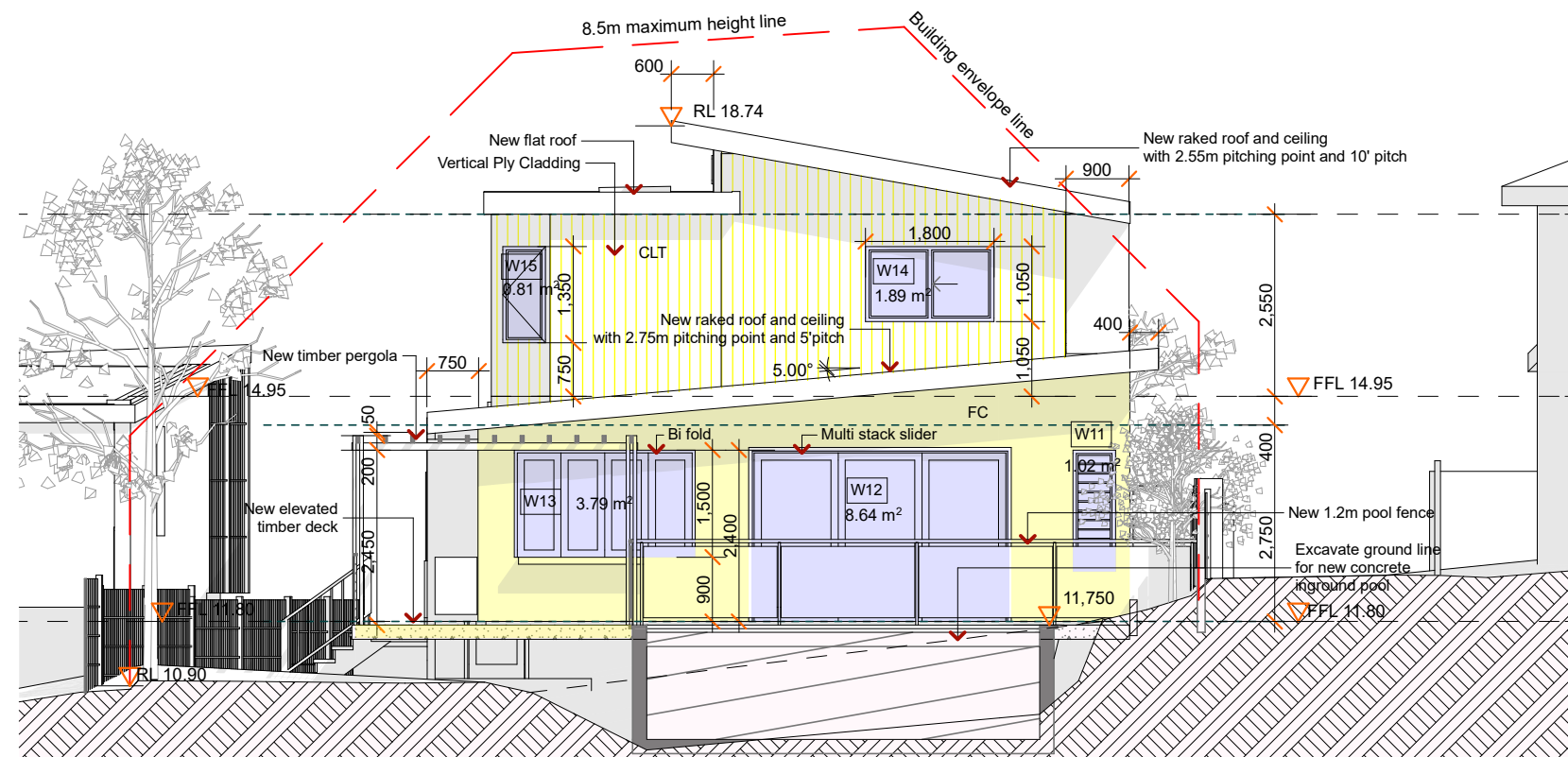
Project No: **2019 15** Drawing No.: **DA05**

Plot Date: 17/07/2020



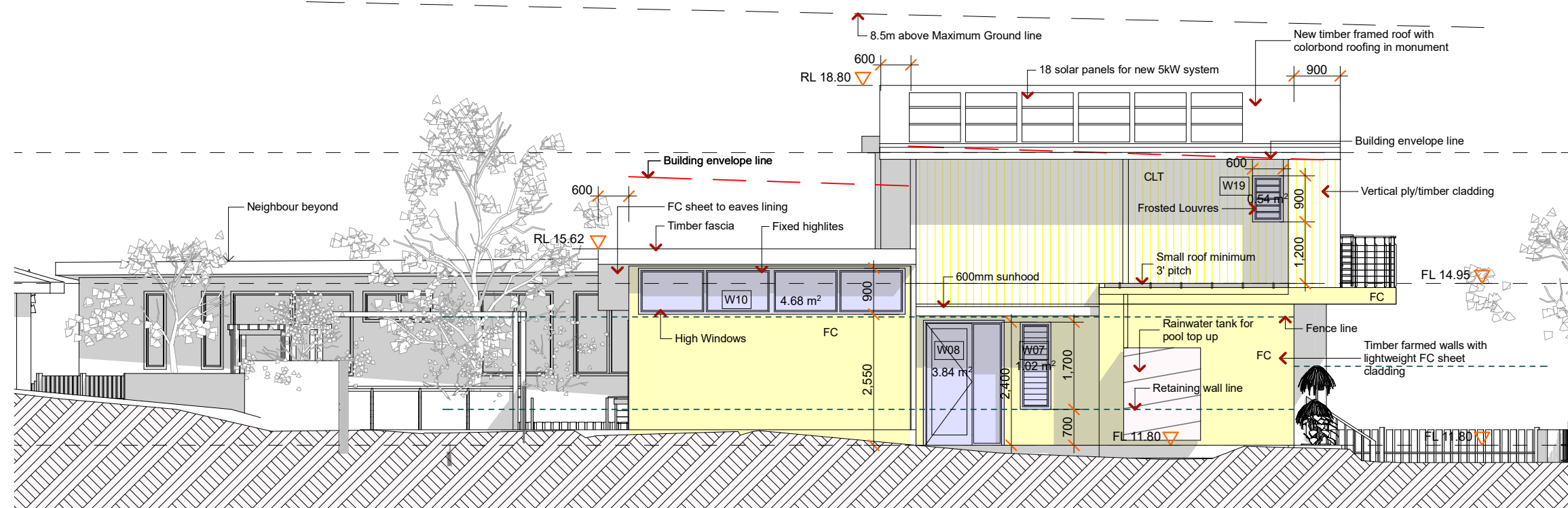


DA2020/0815



### East Elevation

1:100



North Elevation

1:100

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
**Sally Bamford and Rob Wilkie**  
Project Name  
**Bamkie House**  
7 Corrie Rd  
North Manly NSW 2100

Drawing Title:  
North and East Elevations

Scale: as noted	Date: 24.06.2020
-----------------	------------------

Status: DA	Checked By: SH
------------	----------------

Project No:	Drawing No.:
-------------	--------------

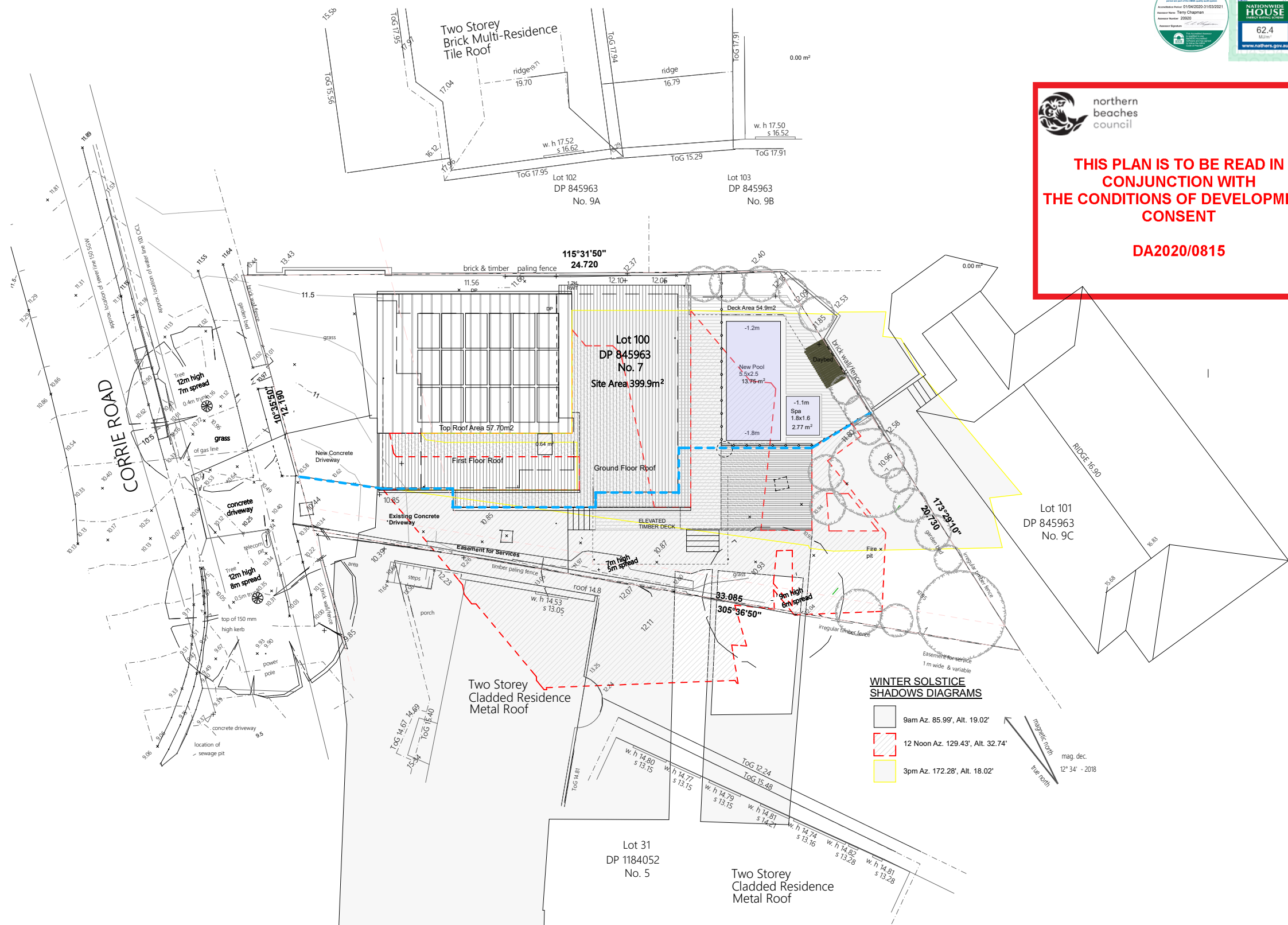
2019 15	DA06
---------	------

Plot Date:	24/06/2020
------------	------------



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/0815**



The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
**Sally Bamford and Rob Wilkie**  
Project Name  
**Bamkie House**  
7 Corrie Rd  
North Manly NSW 2100

Drawing Title:  
**Winter Solstice Sydney, 21st  
June, Shadow Diagrams**

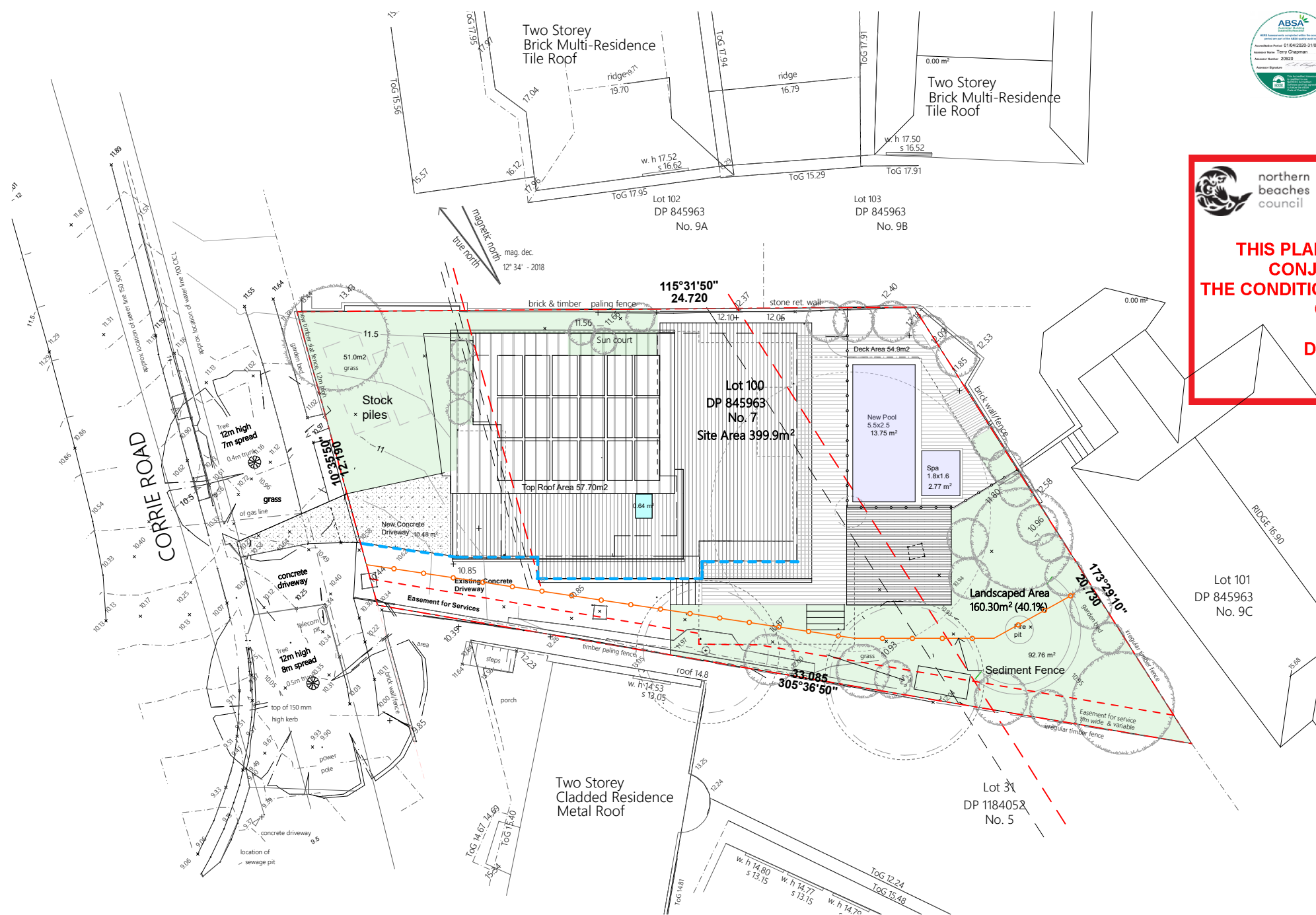
Scale: as noted Date: 24.06.2020

Status: DA Checked By: SH

Project No: 2019 15 Drawing No.: DA07

Plot Date: 24/06/2020





**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

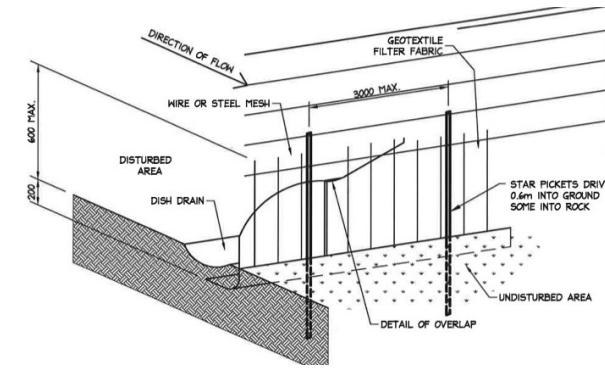
**DA2020/0815**

3

1:200

### Polution Prevention

- Use the following measures to prevent pollution on site;
1. restrict access to one stable entry and exit point
  2. install and maintain adequate sediment and erosion controls
  3. preserve grassed area and the maximum cover of natural vegetation by minimising the amount of land disturbed.
  4. ensure that stockpiles of sand, gravel, soil, and similar materials are located so that the material doesn't spill onto the road or pavement, wash into drainage lines, watercourses or depressions.
  5. minimise on site vehicle activity during wet weather
  6. Do not pump or allow any unclean water to enter the stormwater system from excess materials or cleaning tools.
  7. Sediment fences are to be laid along the contour as much as possible and are to be of suitable geotextile fabric and supported every three metres with star pickets and a lower trench depth of 150mm



Sedimentation fence

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
**Sally Bamford and Rob Wilkie**  
Project Name  
**Bankie House**  
7 Corrie Rd  
North Manly NSW 2100

Drawing Title:  
**Sediment and Erosion Plan**

Scale: as noted	Date: 24.06.2020
Status: DA	Checked By: SH
Project No: <b>2019 15</b>	Drawing No.: <b>DA08</b>
Plot Date:	24/06/2020





Window Type	Al. Slider	Fixed and louvres	Casement	Louvres	Casement	Fixed	Fixed	Louvres	Al. Bi-fold	Al. Slider
ID	W02	W05	W06	W07	W09	W10	W10	W11	W13	W14
From Room	Bed 3	Ens	Bed 3	Bath	Living	Living	Living	Living	Kitchen	Bed 1
Height	1,500	900	1,700	1,700	1,700	900	900	1,700	1,500	1,050
Width	1,550	1,450	600	600	600	2,600	2,600	600	2530	1,800
Eave size	1.80m	900	600	600	600	350	350	600	600	600
Glass type.	Toned	Frosted	clear	Frosted	clear	toned	toned	Clear	Clear	Clear
2D Symbol										
Elevation	 U- 4.52 SHGC 0.59	 U- 3.91 SHGC 0.62 U- 4.51 SHGC 0.54	 U- 4.9 SHGC 0.53	 U- 4.51 SHGC 0.54	 U- 4.9 SHGC 0.53	 U- 3.91 SHGC 0.62	 U- 4.51 SHGC 0.54	 U- 4.63 SHGC 0.47	 U- 4.52 SHGC 0.59	 U- 4.52 SHGC 0.59

External Glass Doors

Window Type	Casement	Awning	Awning and Fixed	Louvres	Fixed and Pivot	Slider	Hinged and Fixed		Multi stack Slider	Hinged and Fixed
ID	W15	W16	W18	W19	W01	W03, W04	W08		W12	W17
From Room	Bed 2	Laundry	Stairwell	Ensuite	Entry	Hall + Bed 2	Dining		Living	Garage,hall
Height	1,350	1,200	450	900	2100,600	2140	2400		2440	2100, 600
Width	600	600	4,150	600	600, 1600	1680	900,600		3600	900
Eave size	900	0	600	900	2000	2000	600		600	0
Glass type.	Clear	Clear	Clear	Frosted	Clear	Toned	Clear		Clear	Frosted
2D Symbol										
Elevation	 U- 4.9 SHGC 0.53	 U- 4.9 SHGC 0.53	 U- 3.91 SHGC 0.62 U- 4.9 SHGC 0.53	 U- 4.51 SHGC 0.54	 U- 3.91 SHGC 0.62	 U- 4.52 SHGC 0.59	 Door U- 5.4 SHGC 0.58 U- 3.91 SHGC 0.62	 U- 4.52 SHGC 0.59	 U- 4.52 SHGC 0.59	 Door U- 5.4 SHGC 0.58 U- 3.91 SHGC 0.62



northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/0815**

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client  
**Sally Bamford and Rob Wilkie**  
Project Name  
**Bamkie House**  
7 Corrie Rd  
North Manly NSW 2100

Drawing Title:

Window and Door  
Schedule

Scale: as noted Date: 24.06.2020

Status: DA Checked By: SH

Project No:  
**2019 15**  
Drawing No.:  
DA09

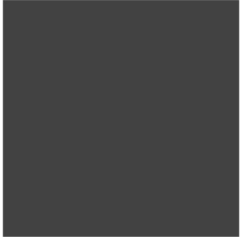




Plot Date: 24/06/2020

# Site Specific Designs

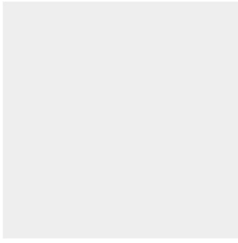



External Finishes Schedule  
7 Corrie Road, North Manly  
June 2020

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/0815**

Item	Description	Finish	Colour	Image
<b>Lightweight Cladding</b>	James Hardie or Weathertex TBC	Dulux weathershield or similar	Resene, Double Gravel	
<b>External Walls</b>	Plywood Cladding	Natural, Limed	Porters Light White Liming	
<b>External Walls</b>	Austral Reclaimed Brick	Natural, recycled	Varies	
<b>Doors and Windows</b>	Aluminium external	Powdercoated Matt	Colorbond, Monument	
<b>Roof and Gutters</b>	Colorbond	Trimdek Profile	Colorbond, Monument	



Item	Description	Finish	Colour	Image
<b>Eaves</b>	FC sheet	Flat external finish	Dulux Natural White	
<b>Decking</b>	Timber Hardwood	Natural water Based	Blackbutt	
<b>Timber trims</b>	Posts, timber screens	Natural water Based	Blackbutt	
<b>Handrails and Balustrades</b>	External, Powdercoated Aluminium and StainlessSteel Wires	Stainless Steel Powdercoated Aluminium, rectangular	Colorbond, Monument Matt finish	

#### Notes/Additional Items



northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/0815**