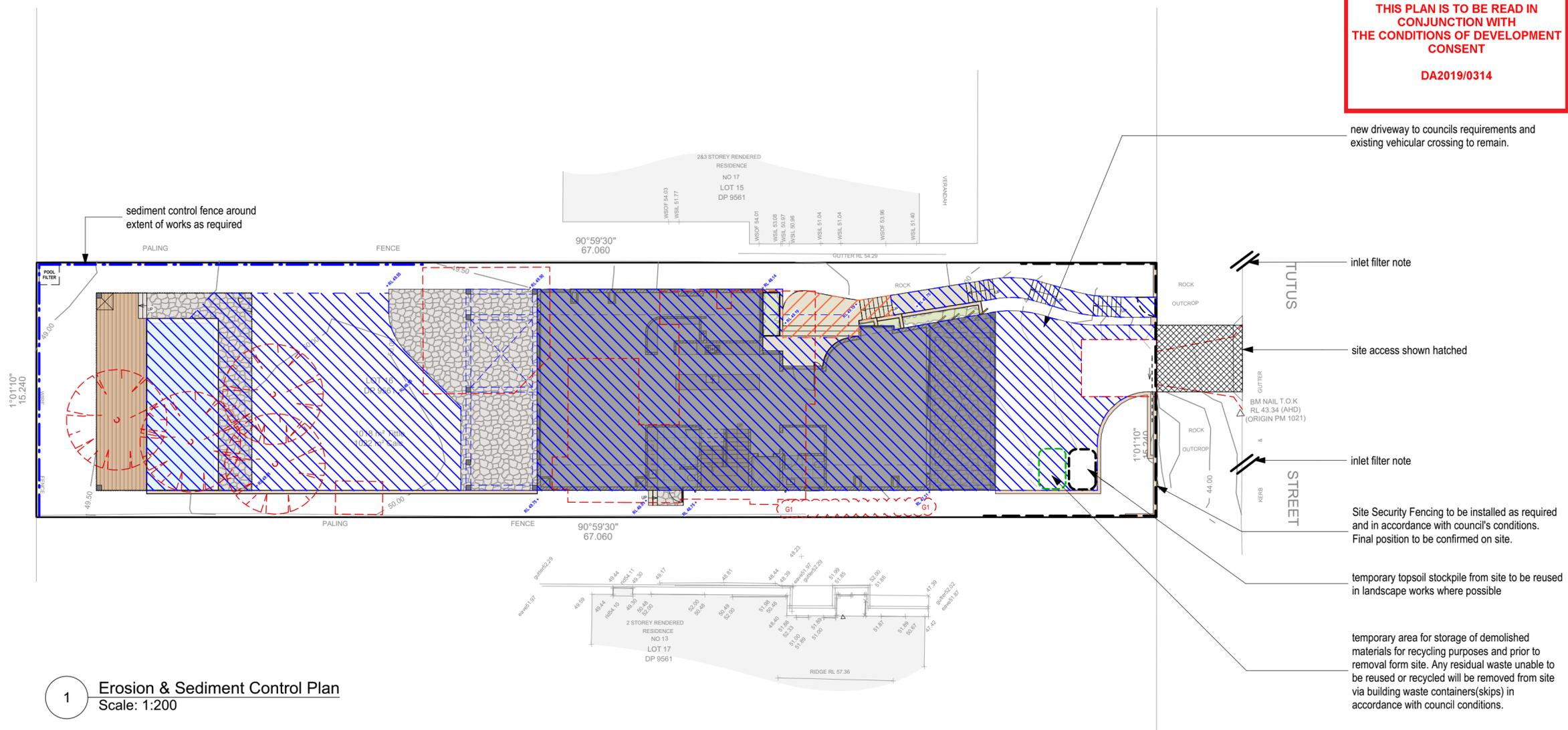
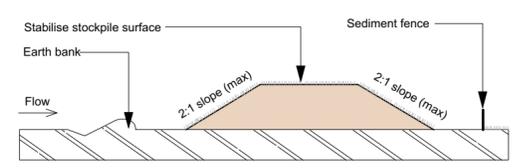


DRAWING REFERENCE KEY

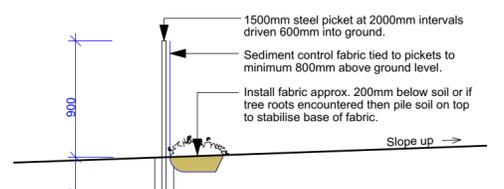
- Existing structures and outbuildings to be demolished
- Existing trees to be removed
- Proposed excavation area
- Proposed area of site fill



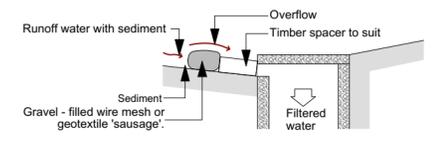
1 Erosion & Sediment Control Plan
Scale: 1:200



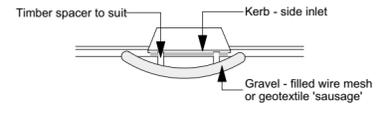
2 Soil Stockpile detail
Section NTS



3 Sediment Control Fence
Section NTS



4 Mesh & gravel inlet filter
Section NTS



5 Mesh & gravel inlet filter
Plan NTS

GENERAL NOTES:

- Install temporary sediment control fence as shown.
- Provide temporary haybales where sediment control fence requires dismantling for site access.
- Install mesh and drainage inlet protection on stormwater inlets down slope of site

new driveway to councils requirements and existing vehicular crossing to remain.

inlet filter note

site access shown hatched

inlet filter note

Site Security Fencing to be installed as required and in accordance with council's conditions. Final position to be confirmed on site.

temporary topsoil stockpile from site to be reused in landscape works where possible

temporary area for storage of demolished materials for recycling purposes and prior to removal from site. Any residual waste unable to be reused or recycled will be removed from site via building waste containers(skips) in accordance with council conditions.

REVISION	DATE	REVISION NOTE



CLIENT: Colin & Emily Panagakis
PROJECT: 15 Tutus St, Balgowlah Heights Being LOT 16 in D.P. 9561

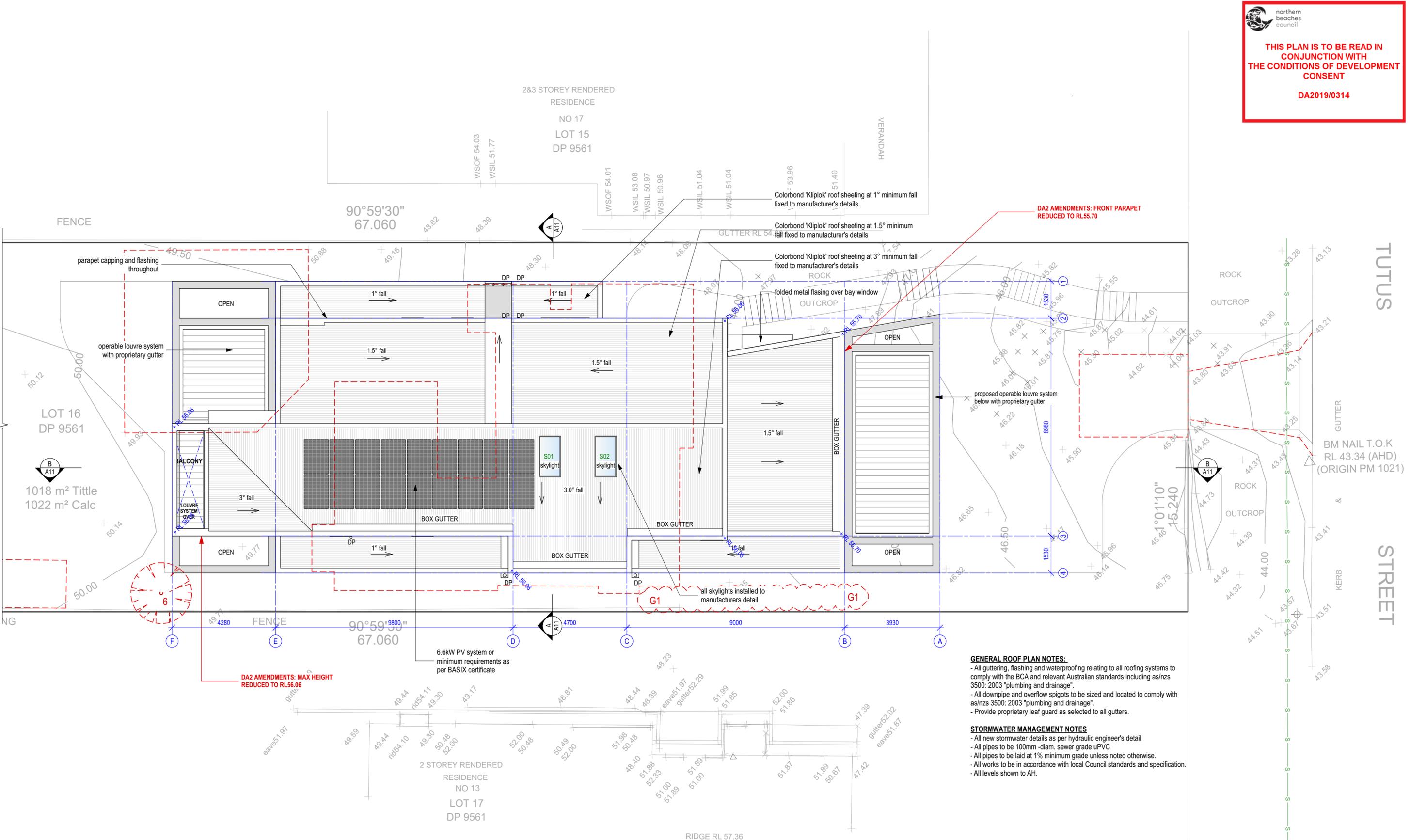
DRAWING: Erosion & Sediment Ctrl. / Excav. & Fill / Demolition Plan	
PROJECT NO: PAN 0518	ISSUE TYPE: DA1

DRAWN: PV	SHEET NO: A02
CHKD:	SCALE @ A2: 1:200
ISSUE DATE: 11/3/19	REVISION:

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0314



- GENERAL ROOF PLAN NOTES:**
- All gutting, flashing and waterproofing relating to all roofing systems to comply with the BCA and relevant Australian standards including as/nzs 3500: 2003 "plumbing and drainage".
 - All downpipe and overflow spigots to be sized and located to comply with as/nzs 3500: 2003 "plumbing and drainage".
 - Provide proprietary leaf guard as selected to all gutters.
- STORMWATER MANAGEMENT NOTES**
- All new stormwater details as per hydraulic engineer's detail
 - All pipes to be 100mm -diam. sewer grade uPVC
 - All pipes to be laid at 1% minimum grade unless noted otherwise.
 - All works to be in accordance with local Council standards and specification.
 - All levels shown to AH.

NOTE: ALL WINDOWS AND DOORS AS NUMBERED, TO BE READ IN CONJUNCTION WITH THERMAL ASSESSMENT AND AS SCHEDULED

1 Roof Plan
Scale: 1:100

CADENCE & CO DESIGN
PTY LTD

Suite 7, 287 Mona Vale Rd,
Terrey Hills, NSW, 2084,
P 9450 1950
E info@cadenceandco.com.au

ABN: 12 168 714 752
Copyright © CADENCE & CO DESIGN PTY LTD

REVISED DA - 14/6/19

REVISION	DATE	REVISION NOTE
A	14/6/19	ALL DA AMENDMENTS AS NOTED RED ON THE DRAWINGS



CLIENT:
Colin & Emily Panagakis

PROJECT:
**15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561**

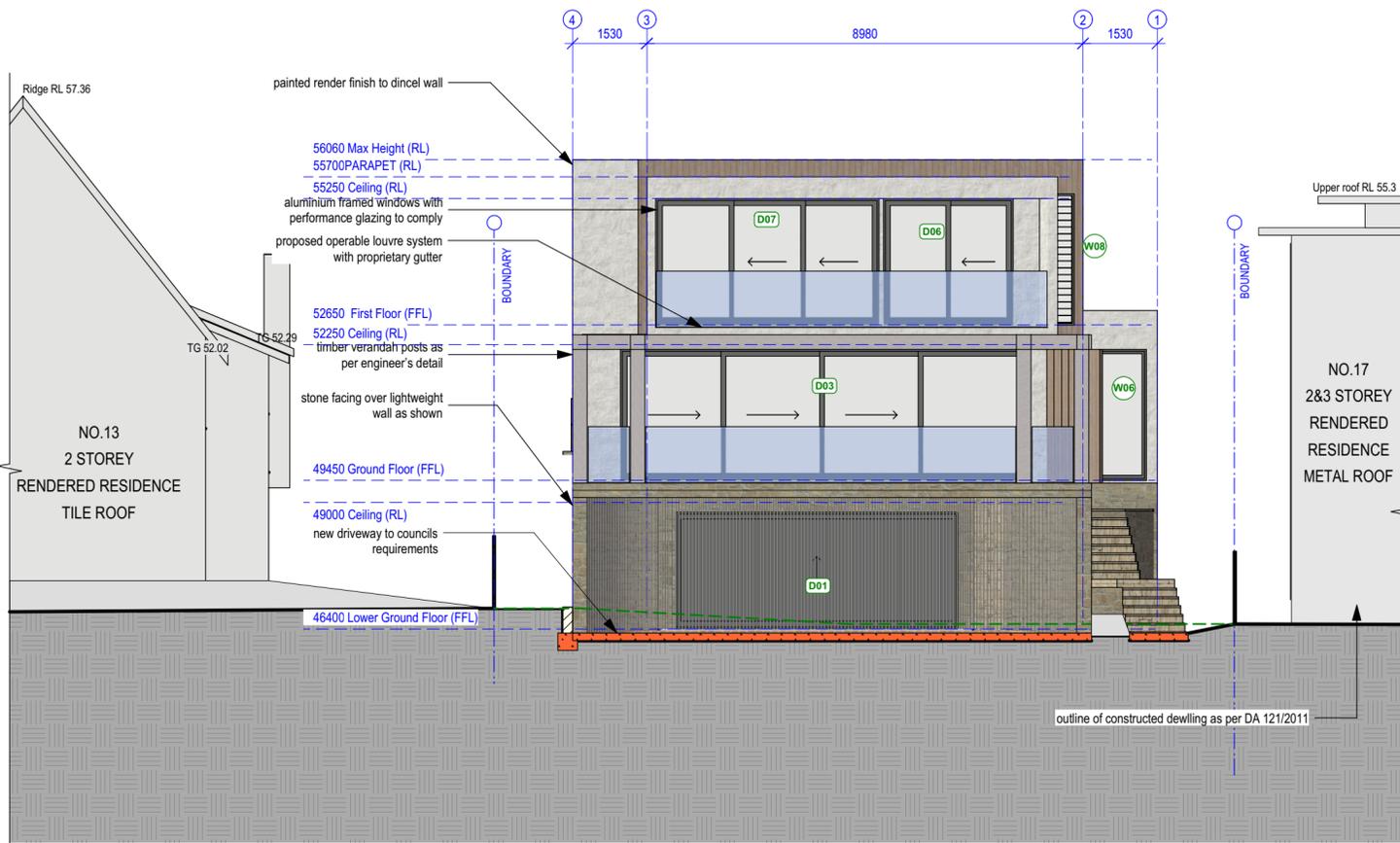
DRAWING:
Roof Floor Plan

PROJECT NO:
PAN 0518

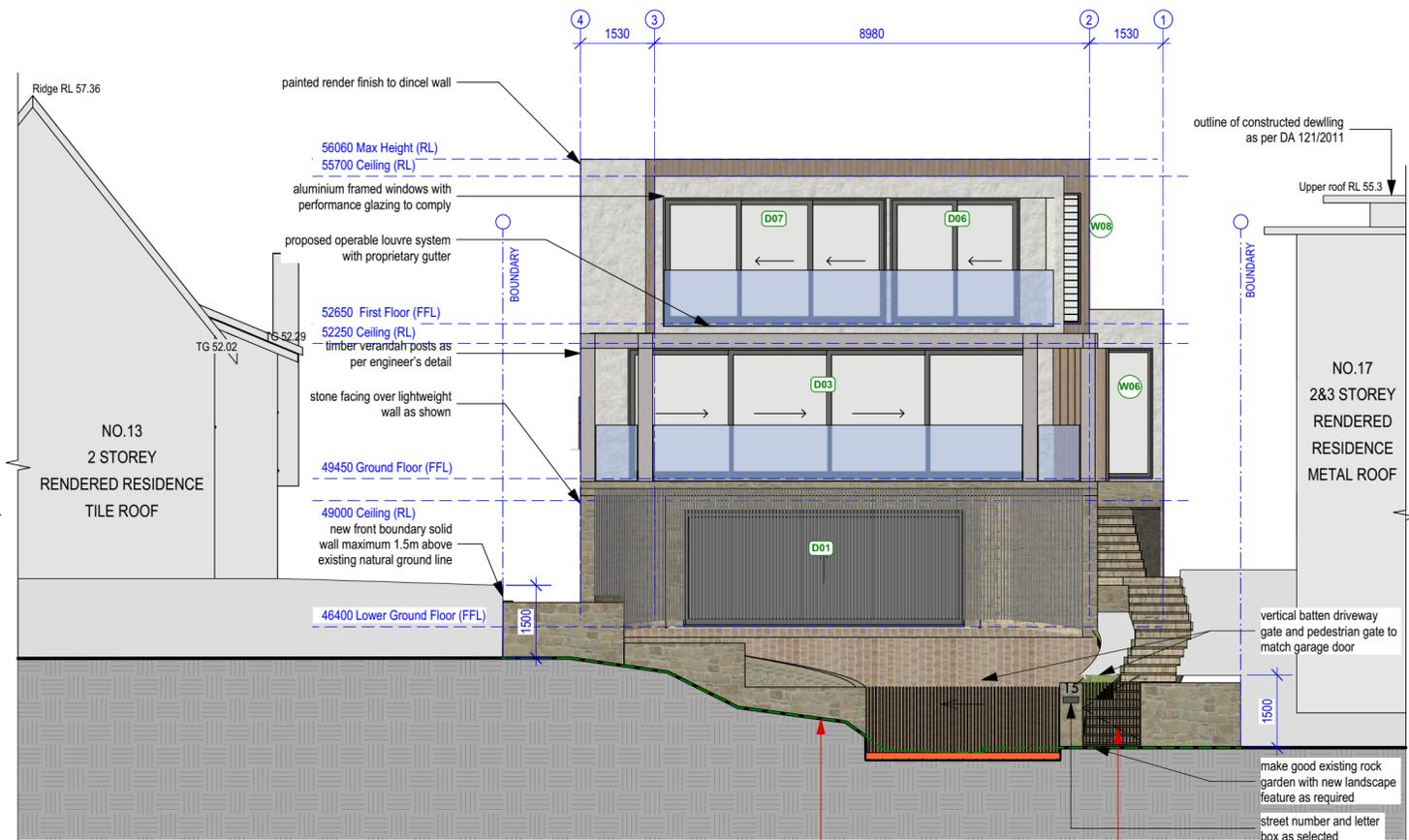
ISSUE TYPE:
DA2

DRAWN: PV	SHEET NO: A07
CHKD:	SCALE @ A2: 1:100
ISSUE DATE: 14/6/19	REVISION: A

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

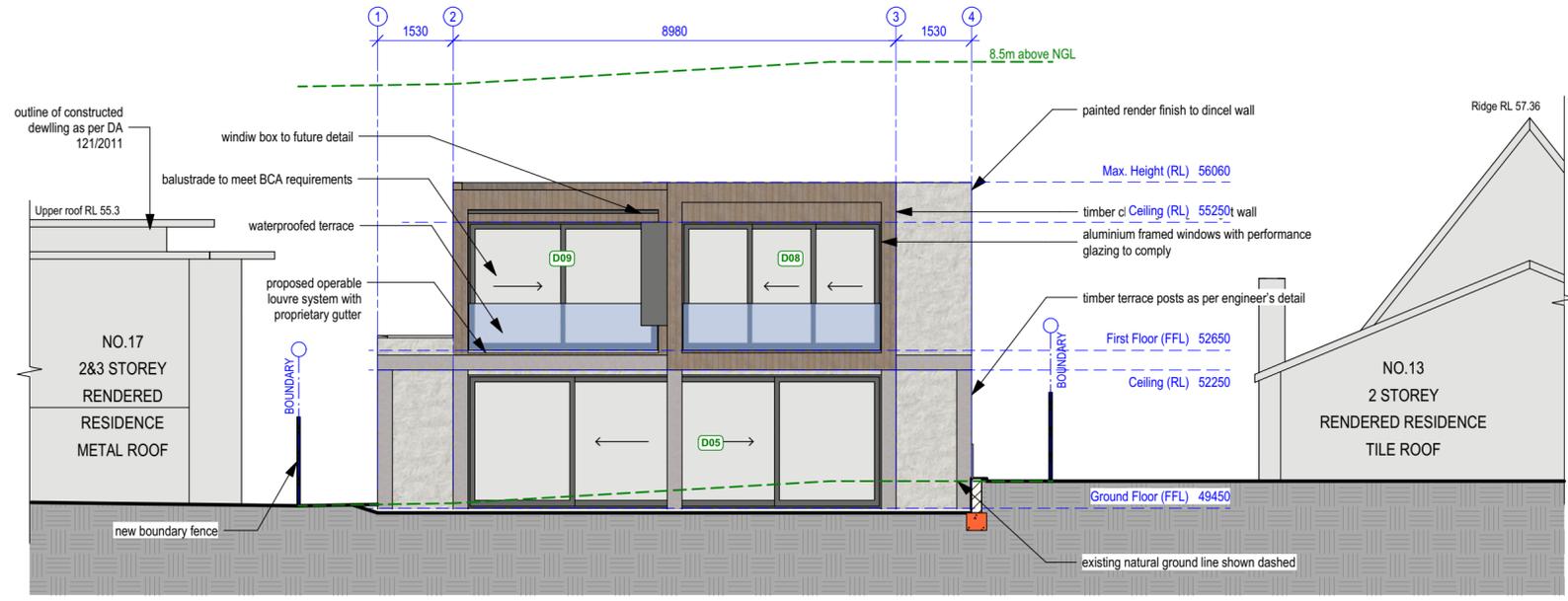


1 East Elevation
Scale: 1:100



3 Front Fence Elevation
Scale: 1:100

- DA2 AMENDMENTS:
- MAX HEIGHT REDUCED TO RL 56.06
 - PARAPET HEIGHT FACING STREET REDUCED TO RL 55.70
 - FIRST FLOOR REDUCED TO FFL 52.65
 - FIRST FLOOR CEILING HEIGHT REDUCED TO 2600mm
 - GROUND FLOOR REDUCED TO FFL 49.45
 - GROUND FLOOR CEILING REDUCED TO 2800mm
 - GARAGE / BASEMENT REDUCED TO FFL 46.40



2 West Elevation
Scale: 1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0314

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REVISED DA - 14/6/19

REVISION	DATE	REVISION NOTE
A	14/6/19	ALL DA AMENDMENTS AS NOTED RED ON THE DRAWINGS

CLIENT:
Colin & Emily Panagakis

PROJECT:
**15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561**

DRAWING:
East & West Elevations

PROJECT NO:
PAN 0518

ISSUE TYPE:
DA2

DRAWN:
PV

CHKD:
A09

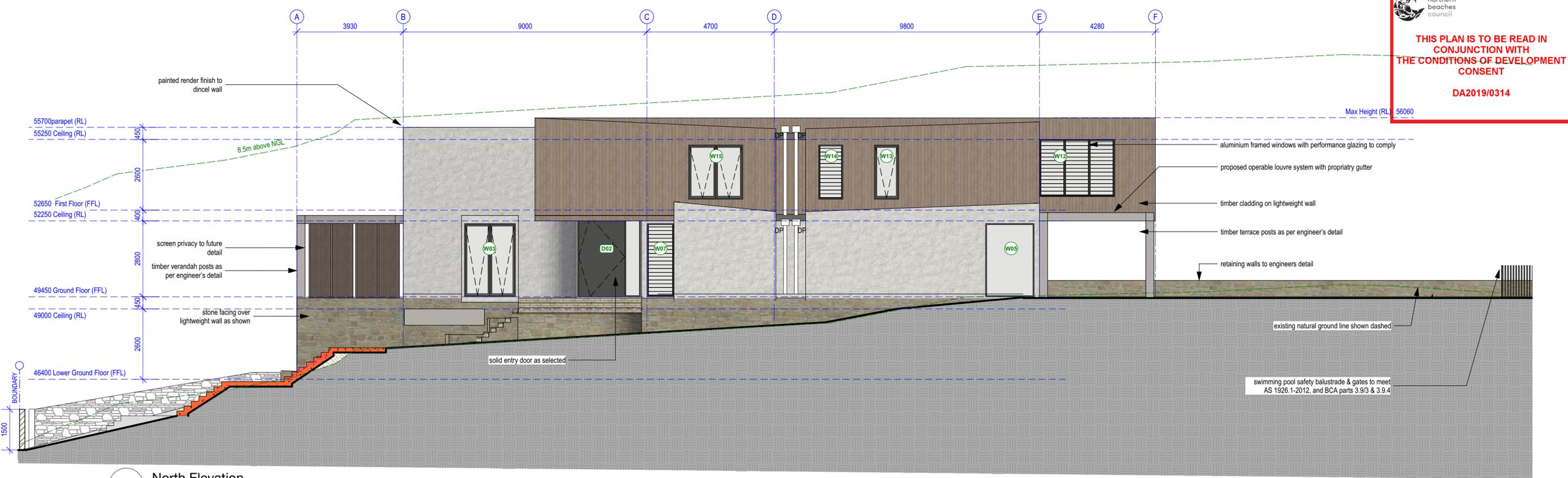
ISSUE DATE:
14/6/19

REVISION:
A

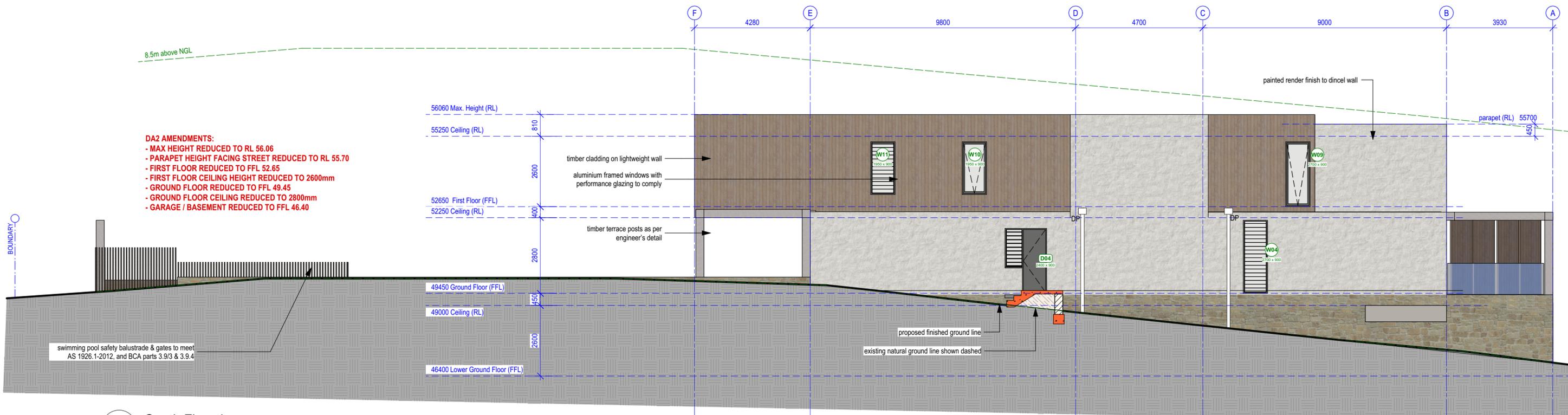
SHEET NO:
A09

SCALE @ A2:
1:100

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL. BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 North Elevation
Scale: 1:100



2 South Elevation
Scale: 1:100

DA2 AMENDMENTS:

- MAX HEIGHT REDUCED TO RL 56.06
- PARAPET HEIGHT FACING STREET REDUCED TO RL 55.70
- FIRST FLOOR REDUCED TO FFL 52.65
- FIRST FLOOR CEILING HEIGHT REDUCED TO 2600mm
- GROUND FLOOR REDUCED TO FFL 49.45
- GROUND FLOOR CEILING REDUCED TO 2800mm
- GARAGE / BASEMENT REDUCED TO FFL 46.40

REVISION	DATE	REVISION NOTE
A	14/6/19	ALL DA AMENDMENTS AS NOTED RED ON THE DRAWINGS



CLIENT:
Colin & Emily Panagakis

PROJECT:
**15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561**

DRAWING:
North & South Elevations

PROJECT NO:
PAN 0518

ISSUE TYPE:
DA2

DRAWN:
PV

SCALE @ A2:
1:100

ISSUE DATE:
14/6/19

REVISION:
A

SITE NOTES:

SITE PREPERATION

Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution or landscape works. In particular, root systems of existing plants must not be disturbed. Any nearby site works should be carried out carefully using hand tools. Trees shall not be removed or lopped unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refuelling, site office and sheds shall not occur within three (3) metres of any existing or new trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials within the drip line of existing or new trees.

SERVICE

Services and utilities shown have been located by physical evidence and/or by reference to surveys provided. Pits may not have been opened to verify the type of utility. Excavation has not been carried out to confirm underground location. Service details should be confirmed with the relevant service authority during design and prior to commencement of construction.

SOIL PREPERATION

All proposed planting areas to be deep ripped to 300mm. Clay soils to be combined with 50-100mm of A.N.L 'Organic Clay Breaker'. 75mm depth of A.N.L 'Organic Garden Mix' to be imported and combined with 25mm depth of A.N.L 'Greenlife' compost or approved equivalent. Care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees.

NEW PLANTINGS

Newly planted advanced trees are to be secured with 3 @ 1.8m x 22mm x 22mm hardwood stakes with hessian ties to prevent excessive movement. Planting holes for plants are to be large enough to take the root ball with additional space for back fill with soil prepared as

MULCHING

All planting areas, unless otherwise specified to me mulched with A.N.L 'Droughtmaster' to 50mm deep with catchment dish to be left around base of plants.

FERTILISER

On completion of work all planting areas are to be fertilised with 'Osmocote Pro (8-9mo) Controlled Release Fertiliser' which is to be sufficiently watered in.

GARDEN EDGING

All planter beds adjacent to lawn areas to have flush 3mm corten steel.

IRRIGATION

By others

Plants require hand watering until established, in addition to irrigation

PAVING

All paving to be selected by client.

All paving to be laid to manufacturers recommendations. All paving adjacent to house to have a minimum fall of 1:100 directed away from residence. Sealing of all paving should be a consideration with the supplier. This is to be sought by client.

DRAINAGE

To intercept rainwater at the bottom of the fall, install a grated surface drain at the edge of the paving. If draining a large area or you are likely to get a lot of silt in the runoff captured by the drain, install a sump or clean-out section between the drain and the stormwater pipe to collect soil and sand. Clean it out periodically.

POOL ENCLOSURE

Pool fencing material to comply Australian Standards for Pool enclosure requirements regarding height and gate fixtures. AS1926

TURF

Turf to be as specified. Turf to be laid on 50mm topsoil over 200mm deep rotary hoed prepared area. Turf areas to be evenly graded. Adequate drainage to be provided under lawn area.

Weed Control

Identify weed species and eradicate as per best horticultural practice. On going maintenance plan to be discussed with client.

RETAINING WALLS

All retaining walls over 600mm to be to constructed to Engineers specifications.

HARD CONSTRUCTION

All civil, structural and hydraulic work associated with this project shall be to consulting Engineers details. All external stairs to be constructed in accordance with Clause D2.13 of the Building Code of Australia.

PLANTING

Unless supplied, installed and maintained by **Sticks & Stones Landscape Design** takes no responsibility taken for the vigour, condition or life span of any plant material.

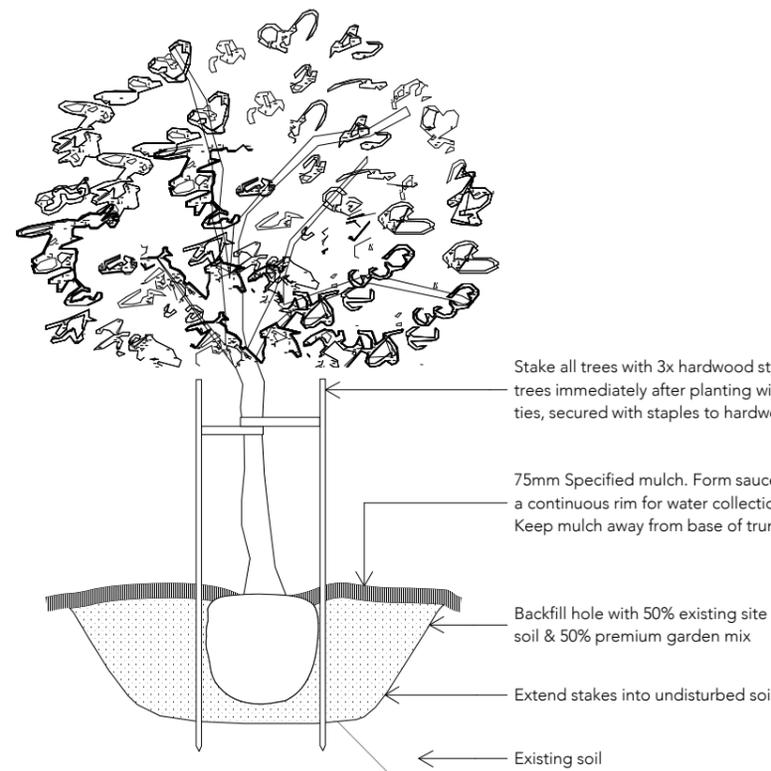
EXTRAS

80mm DIA conduit required under all paving and paths for cable access.

TREE REMOVAL

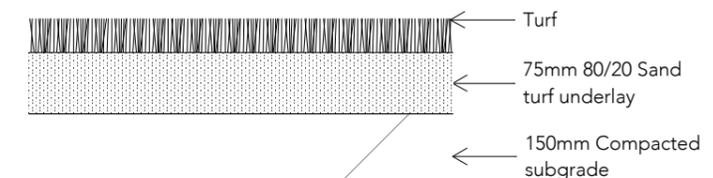
Where trees are recommended for removal, client should seek council approval to do so.

1 **DETAIL DRAWINGS**

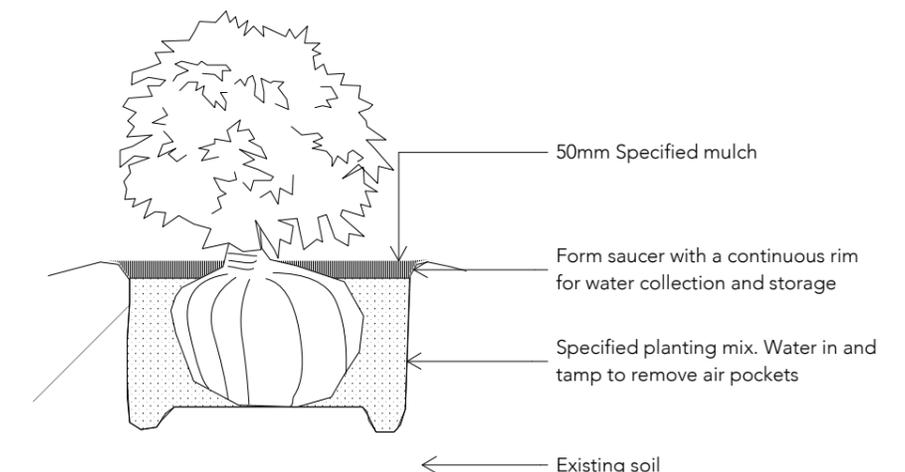


NOTE: Planting hole must be minimum 2.5 times rootball size. Apply 'Osmocote' or equivalent to manufacturers specifications

Tree planting/staking detail
NTS



Turf detail
NTS



Shrub planting detail
NTS

NOTES:

1. Do not scale from drawings
2. Verify all measurements on site
3. Notify S&S of any inconsistencies
4. Copyright © Sticks & Stones Landscape Design. All rights reserved
5. Drawing remains the property of Sticks & Stones Landscape Design
6. All works to comply with relevant Australian Standards and Building Code of Australia
7. All work to be performed by suitably qualified tradesperson
8. For application purposes only - NOT FOR CONSTRUCTION

DRAWING NAME

DETAIL DRAWINGS

CLIENT

Colin & Emily Panagakis

ADDRESS

15 Tutus Street, Balgowlah Heights

REF#

A

SCALE

NTS

PROJECT NO.

0683

DRAWING NO.

F103

REV #

DATE DRAWN 01.03.2019

DRAWN BY KR

CHECKED BY JL

WINDOWS SCHEDULE

ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	Comments
W01	awning	600 mm	3000 mm	1.8 m2		2600	
W02	awning	600 mm	3000 mm	1.8 m2		2600	
W03	awning	2700 mm	1880 mm	5.076 m2		2700	
W04	louvre	2700 mm	900 mm	2.43 m2		2700	
W05	fixed	2700 mm	1790 mm	4.833 m2		2700	
W06	awning	2700 mm	2650 mm	7.155 m2		2700	
W07	louvre	2700 mm	1000 mm	2.7 m2		2700	
W08	fixed	2700 mm	1020 mm	2.754 m2		2700	
W08	fixed	2700 mm	1020 mm	2.754 m2		2700	
W09	awning	2400 mm	900 mm	2.16 m2		2400	
W10	awning	1950 mm	900 mm	1.755 m2		2400	
W11	louvre	1950 mm	900 mm	1.755 m2		2400	
W12	louvre	2100 mm	2770 mm	5.817 m2		2700	
W13	awning	1950 mm	900 mm	1.755 m2		2400	
W14	louvre	1950 mm	900 mm	1.755 m2		2400	
W15	awning	1950 mm	2000 mm	3.9 m2		2400	

DOORS SCHEDULE

ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	No. Doors	Comments
D01	garage	2400 mm	6530 mm	15.672 m2	Solid	2400	1	Solid garage door as selected
D02	entry door	3000 mm	2320 mm	6.96 m2		3000		Solid entry pivot door as selected with 600mm side light
D03	sliding	2700 mm	8300 mm	22.41 m2		2700		Stacking sliding
D04	solid door	2400 mm	1540 mm	3.696 m2		2400		Solid door with side light
D05	sliding	2700 mm	8380 mm	22.626 m2		2700		Stacking sliding
D06	sliding	2700 mm	2670 mm	7.209 m2		2700		Stacking sliding
D07	sliding	2700 mm	4600 mm	12.42 m2		2700		Stacking sliding
D08	sliding	2700 mm	4040 mm	10.908 m2		2700		Stacking sliding
D09	sliding	2700 mm	3850 mm	10.395 m2		2700		Stacking sliding

Glazing Doors/Windows
 Aluminium framed performance glazing:
 U-value: 5.20 (equal to or lower than) SHGC: 0.49 (±10%)
 Given values are AFRC total window system values (glass and frame)
Note: Openability modelled as per BASIX Thermal Protocol – 4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regards to restricted openings

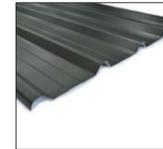
Skylights
 Double glazed with timber or aluminium frame
 R1.5 insulation to skylight shaft

NOTES

1. All external glazing units to have powder coated aluminium frames as selected. Owner to give final approval to external glazing units before ordering.
2. All glazing to comply with U-Value and SHGC as specified in the Thermal report, and Part 3.6 of the current BCA.
3. Dimensions given are nominal and to suit scheduled opening sizes - Contractor to check all dimensions on site before ordering glazing units. Contact Cadence & Co Design if dimensions conflict.
4. Refer to Elevations for fixed/openable sashes.
5. Provide approved matching insect screens to opening window and door sashes.
6. Internal door sixes generally as noted on plan, to be painted flush solid core doors unless noted otherwise.
7. Provide Brio (or similar) retractable screens to all glazed external sliding doors. Owner to confirm
8. The highest Bushfire Attack Level to the proposed dwelling was determined from Table 2.4.2 of AS3959 – 2009 to be 'BAL 12.5'. The proposed dwelling is required to comply with section 3 and BAL 12.5 section 5 under AS 3959 – 2009 and Addendum Appendix 3 under PBP 2006.

EXTERNAL FINISHES SCHEDULE

		
TIMBER WEATHERBOARD CLADDING	PAINTED RENDER	SANDSTONE FACING
HARDWOOD CLADDING	PAINTED WARM GREY	SANDSTONE FACING
		
ALUMINIUM WINDOW AND EXTERNAL DOOR FRAMES	EXTERNAL WOODWORK / FASCIA'S & GUTTERS	DECKING
DARK GREY / CHARCOAL	DARK GREY / CHARCOAL	HARDWOOD AS SELECTED



STEEL ROOF SHEETING - 'KLIPIK' or similar
 eg. MONUMENT


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2019/0314

NOTE:
 All colour selections shall be sampled and swatch tested on subject surface prior to final application.
 Colours represented on this schedule do NOT necessarily reflect true colours.


 Certificate no.: 0003691854-01
 Assessor Name: Tracey Coops
 Accreditation no.: VIC/DAV/12/1473
 Certificate date: 15 Mar 2019
 Dwelling Address:
 Tutus Street
 Balgowlah Heights, NSW
 2093
www.nathers.gov.au


CADENCE & CO DESIGN
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 E info@cadenceandco.com.au
 ABN: 12 168 714 752
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REVISION DATE REVISION NOTE

CLIENT:
 Colin & Emily Panagakis

PROJECT:
 15 Tutus St, Balgowlah Heights
 Being LOT 16 in D.P. 9561

DRAWING:
 External Window & Door Schedule

PROJECT NO: PAN 0518
 ISSUE TYPE: DA1

DRAWN: DV	SHEET NO: A17
CHKD:	SCALE @ A2: 1:100
ISSUE DATE: 11/3/19	REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL. BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.