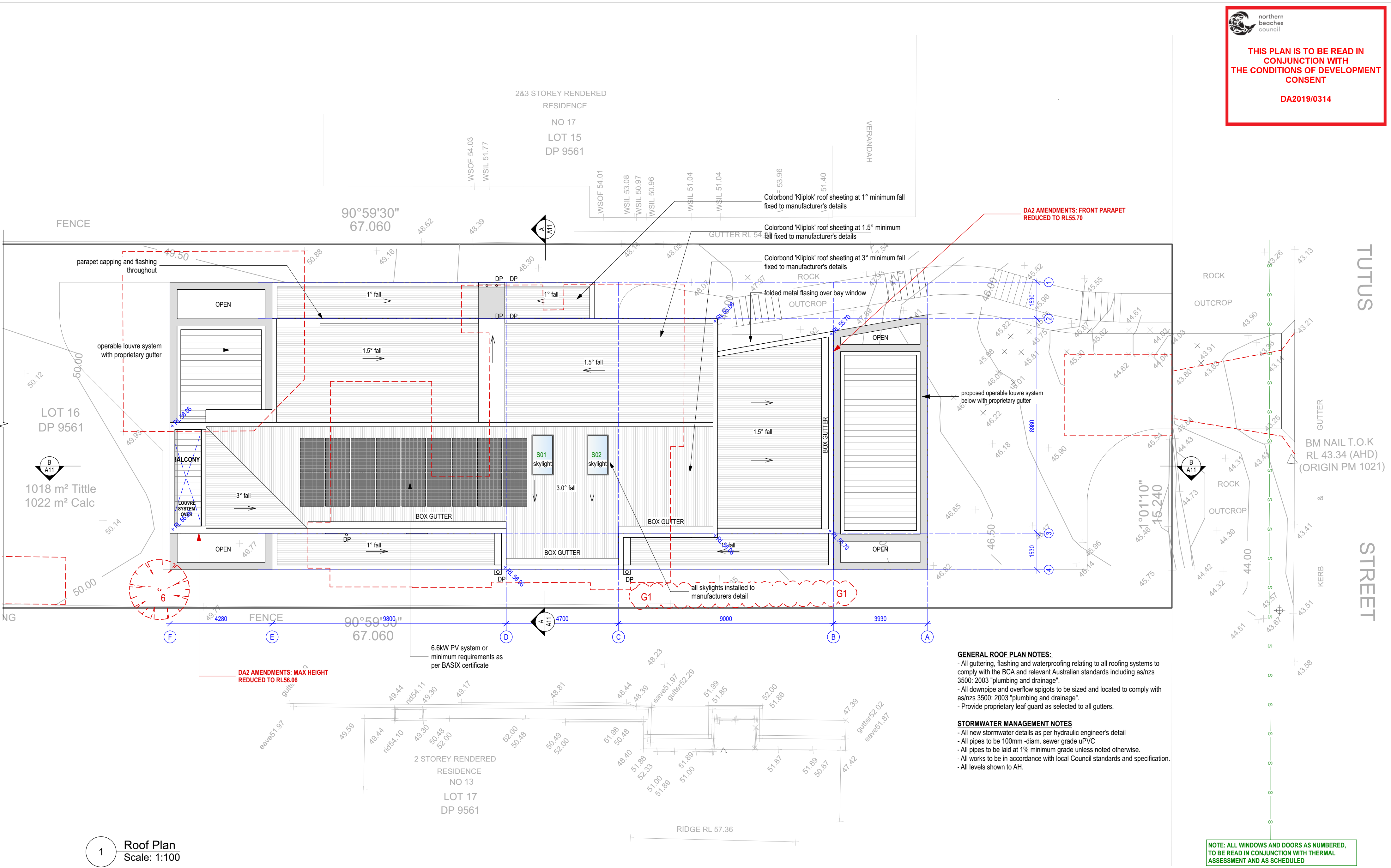


DA SUBMISSION ONLY - NOT FOR CONSTRUCTION

CLIENT:	Colin & Emily Panagakis
PROJECT:	15 Tutus St, Balgowlah Heights Being LOT 16 in D.P. 9561

DRAWING:		DRAWN:	SHEET NO:
Erosion & Sediment Ctrl. / Excav. & Fill / Demolition Plan		PV	A02
PROJECT NO:		CHKD:	SCALE @ A2:
ISSUE TYPE:			1:200
PAN 0518	DA1	ISSUE DATE:	REVISION:
		11/3/19	



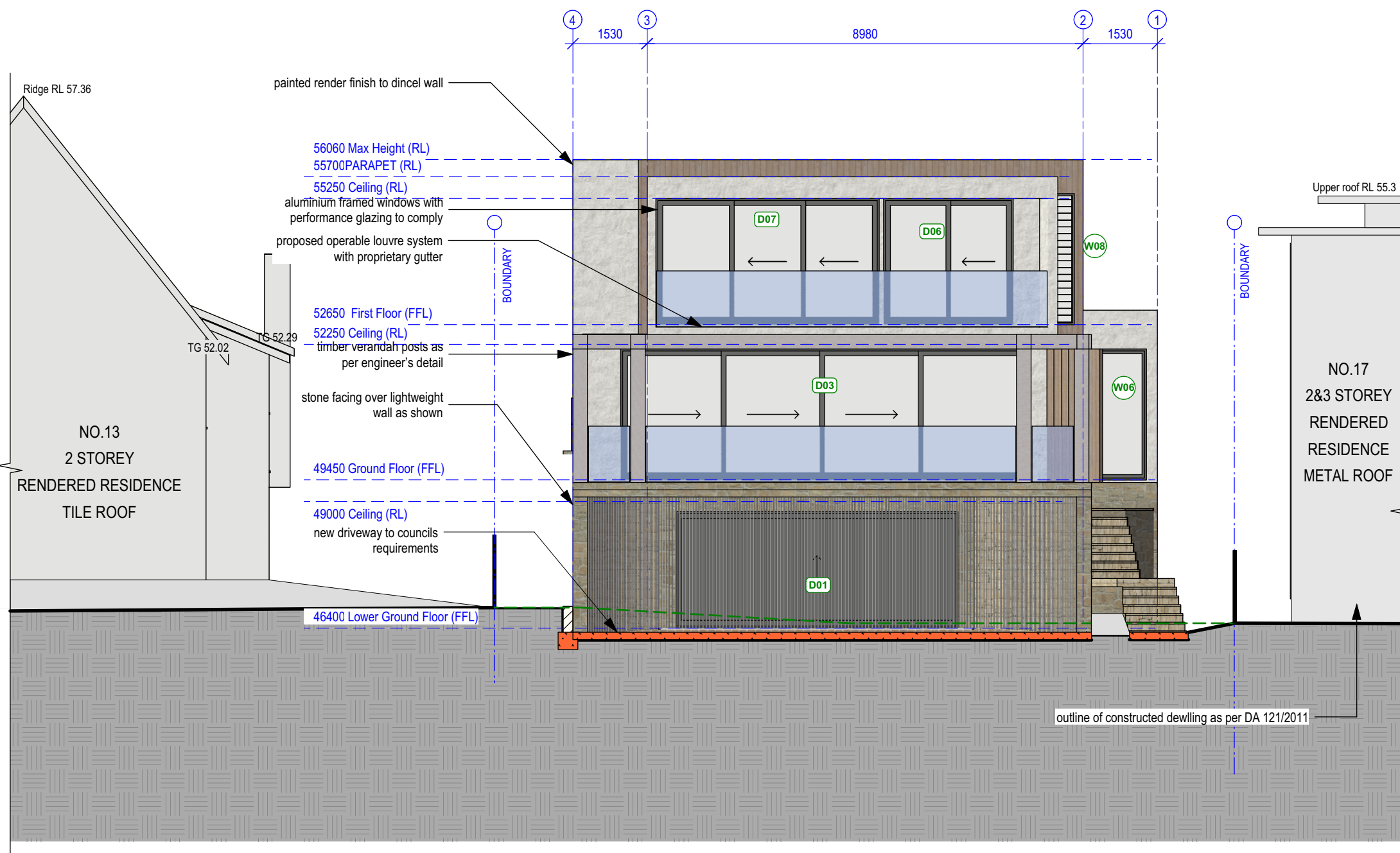
GENERAL ROOF PLAN NOTES:

- All guttering, flashing and waterproofing relating to all roofing systems to comply with the BCA and relevant Australian standards including as/nzs 3500: 2003 "plumbing and drainage".
- All downpipe and overflow spigots to be sized and located to comply with as/nzs 3500: 2003 "plumbing and drainage".
- Provide proprietary leaf guard as selected to all gutters.

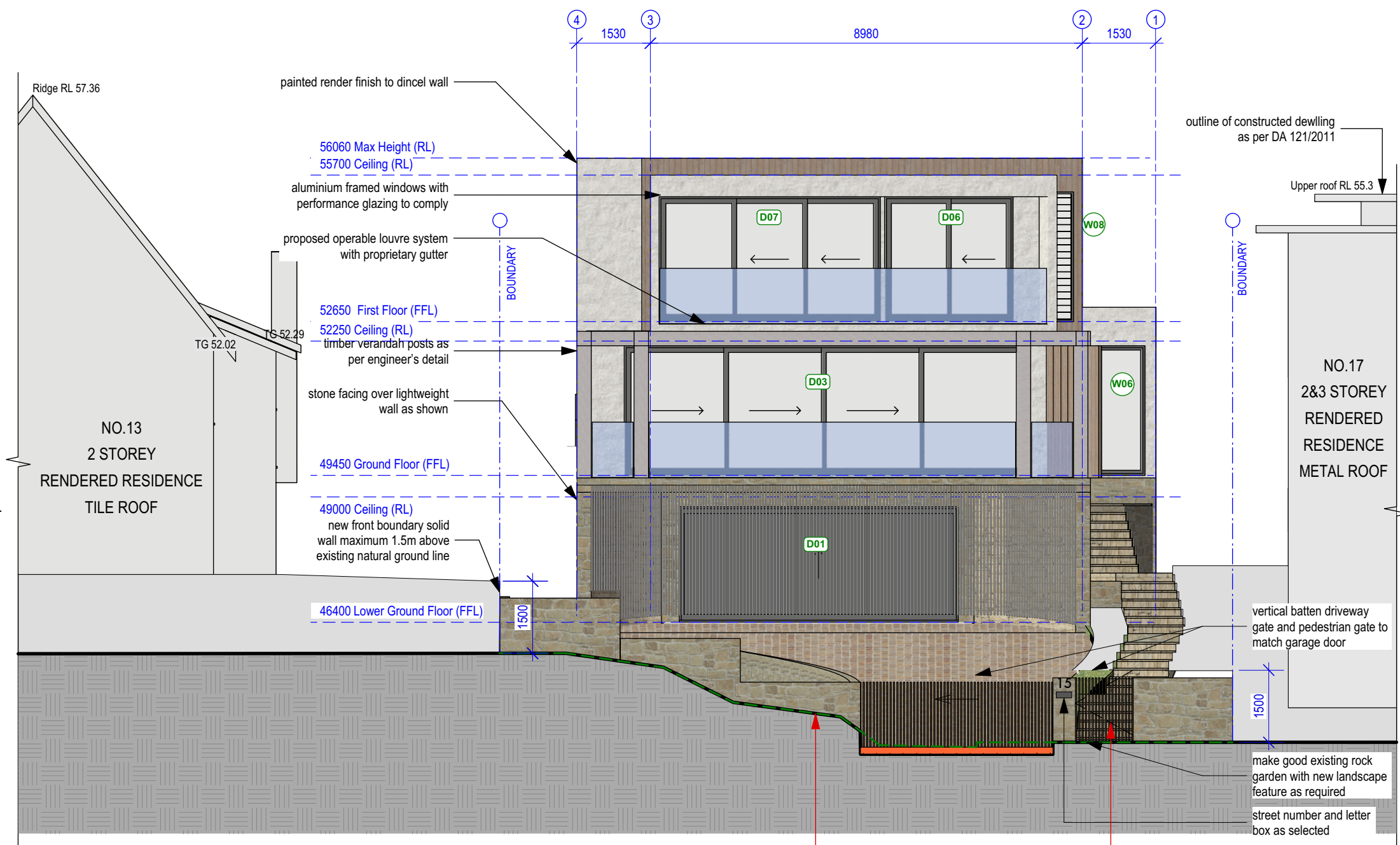
STORMWATER MANAGEMENT NOTES

- All new stormwater details as per hydraulic engineer's detail
- All pipes to be 100mm -diam. sewer grade uPVC
- All pipes to be laid at 1% minimum grade unless noted otherwise.
- All works to be in accordance with local Council standards and specification.
- All levels shown to AH.

NOTE: ALL WINDOWS AND DOORS AS NUMBERED, TO BE READ IN CONJUNCTION WITH THERMAL ASSESSMENT AND AS SCHEDULED



1 East Elevation
Scale: 1:100

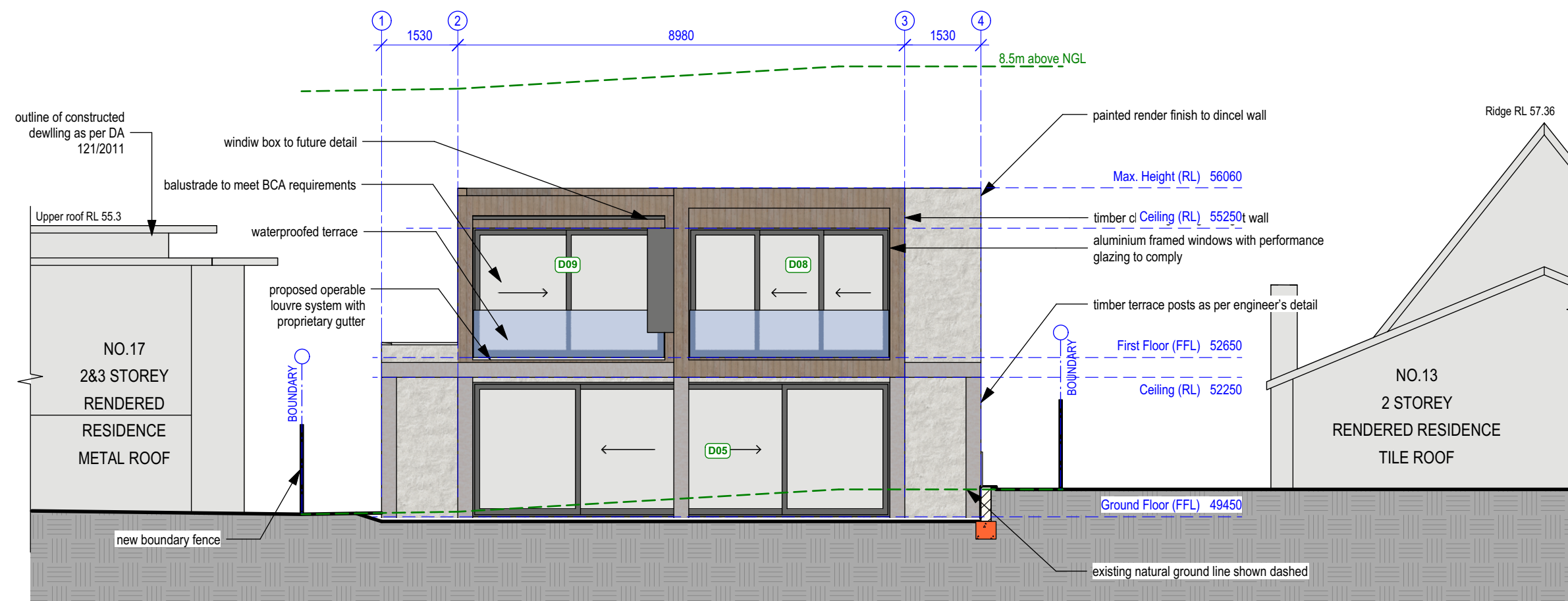


3 Front Fence Elevation
Scale: 1:100

DA2 AMENDMENTS: EXISTING ROCK
OUTCROP TO REMAIN

DA2 AMENDMENTS: NEW PEDESTRIAN
GATE TO MAKE GOOD WITH EXISTING
ROCK OUTCROP

DA2 AMENDMENTS:
- MAX HEIGHT REDUCED TO RL 56.06
- PARAPET HEIGHT FACING STREET REDUCED TO RL 55.70
- FIRST FLOOR REDUCED TO FFL 52.65
- FIRST FLOOR CEILING HEIGHT REDUCED TO 2600mm
- GROUND FLOOR REDUCED TO FFL 49.45
- GROUND FLOOR CEILING REDUCED TO 2800mm
- GARAGE / BASEMENT REDUCED TO FFL 46.40



2 West Elevation
Scale: 1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0314



CADENCE & CO DESIGN
PTY LTD
Suite 7, 287 Mona Vale Rd,
Terrey Hills, NSW, 2084,
P 9450 1950
E info@cadenceandco.com.au
ABN: 12 168 714 752
Copyright © CADENCE & CO DESIGN PTY LTD

REVISED DA - 14/6/19

REVISION	DATE	REVISION NOTE
A	14/6/19	ALL DA AMENDMENTS AS NOTED RED ON THE DRAWINGS

CLIENT:
Colin & Emily Panagakis

PROJECT:
**15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561**

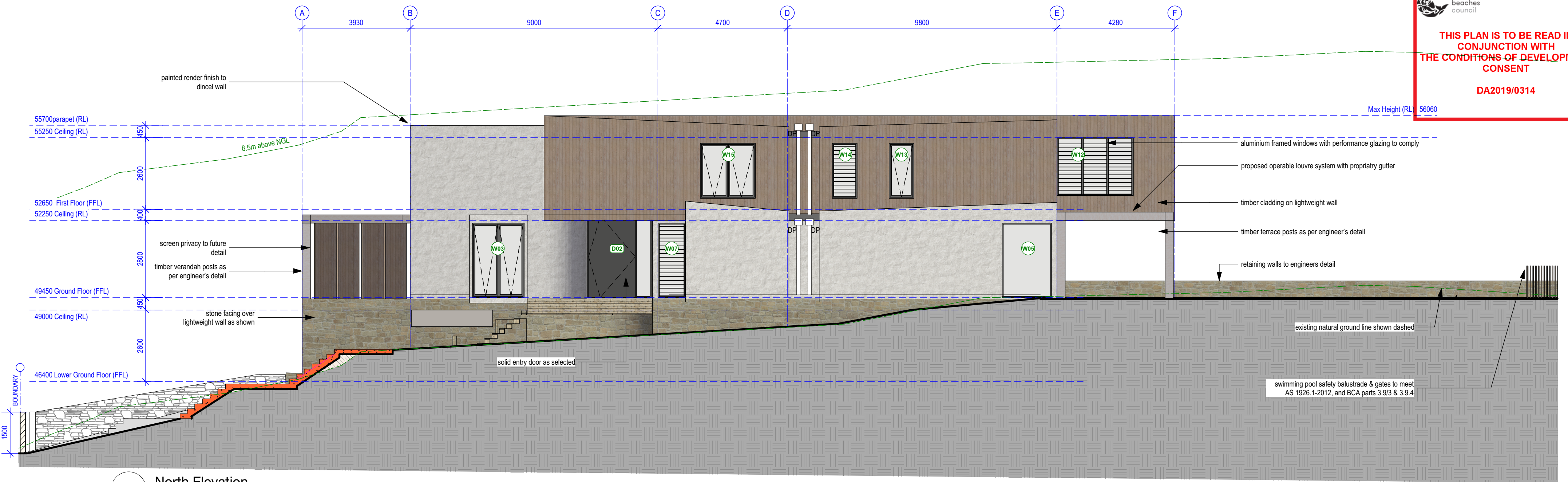
DRAWING:
East & West Elevations

PROJECT NO:
PAN 0518

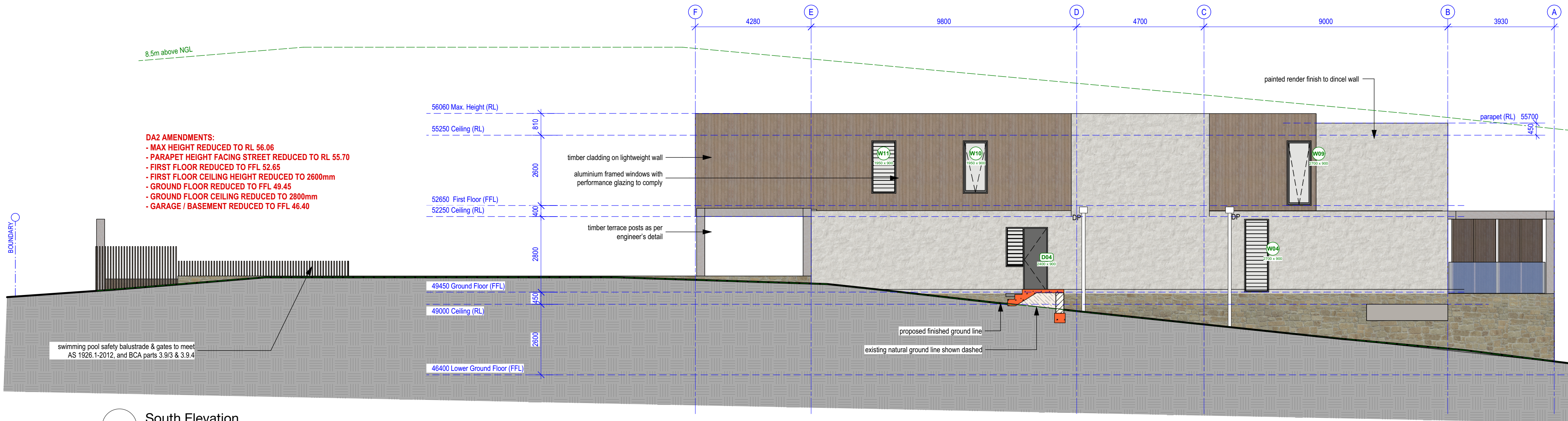
ISSUE TYPE:
DA2

DRAWN:	SHEET NO:
PV	A09
CHKD:	SCALE @ A2:
	1:100
ISSUE DATE:	REVISION:
14/6/19	A

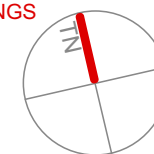
GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 North Elevation
Scale: 1:100



2 South Elevation
Scale: 1:100



SITE NOTES:

SITE PREPERATION

Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution or landscape works. In particular, root systems of existing plants must not be disturbed. Any nearby site works should be carried out carefully using hand tools. Trees shall not be removed or lopped unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refuelling, site office and sheds shall not occur within three (3) metres of any existing or new trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials within the drip line of existing or new trees.

SERVICE

Services and utilities shown have been located by physical evidence and/or by reference to surveys provided. Pits may not have been opened to verify the type of utility. Excavation has not been carried out to confirm underground location. Service details should be confirmed with the relevant service authority during design and prior to commencement of construction.

SOIL PREPERATION

All proposed planting areas to be deep ripped to 300mm. Clay soils to be combined with 50-100mm of A.N.L 'Organic Clay Breaker'. 75mm depth of A.N.L 'Organic Garden Mix' to be imported and combined with 25mm depth of A.N.L 'Greenlife' compost or approved equivalent. Care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees.

NEW PLANTINGS

Newly planted advanced trees are to be secured with 3 @ 1.8mm x 22mm x 22mm hardwood stakes with hessian ties to prevent excessive movement. Planting holes for plants are to be large enough to take the root ball with additional space for back fill with soil prepared as

MULCHING

All planting areas, unless otherwise specified to me mulched with A.N.L 'Droughtmaster' to 50mm deep with catchment dish to be left around base of plants.

FERTILISER

On completion of work all planting areas are to be fertilised with 'Osmocote Pro (8-9mo) Controlled Release Fertiliser' which is to be sufficiently watered in.

GARDEN EDGING

All planter beds adjacent to lawn areas to have flush 3mm corten steel.

IRRIGATION

By others

Plants require hand watering until established, in addition to irrigation

PAVING

All paving to be selected by client.

All paving to be laid to maufacturers recommendations. All paving adjacent to house to have a minimum fall of 1:100 directed away from residence. Sealing of all paving should be a consideration with the supplier. This is to be sought by client.

DRAINAGE

To intercept rainwater at the bottom of the fall, install a grated surface drain at the edge of the paving. If draining a large area or you are likely to get a lot of silt in the runoff captured by the drain, install a sump or clean-out section between the drain and the stormwater pipe to collect soil and sand. Clean it out periodically.

POOL ENCLOSURE

Pool fencing material to comply Australian Standards for Pool enclosure requirements regarding height and gate fixtures. AS1926

TURF

Turf to be as specified. Turf to be laid on 50mm topsoil over 200mm deep rotary hoed prepared area. Turf areas to be evenly graded. Adequate drainage to be provided under lawn area.

Weed Control

Identify weed species and eradicate as per best horticultural practice. On going maintenance plan to be discussed with client.

RETAINING WALLS

All retaining walls over 600mm to be to constructed to Engineers specifications.

HARD CONSTRUCTION

All civil, structural and hydraulic work associated with this project shall be to consulting Engineers details. All external stairs to be constructed in accordance with Clause D2.13 of the Building Code of Australia.

PLANTING

Unless supplied, installed and maintained by **Sticks & Stones Landscape Design** takes no responsibility taken for the vigour, condition or life span of any plant material.

EXTRAS

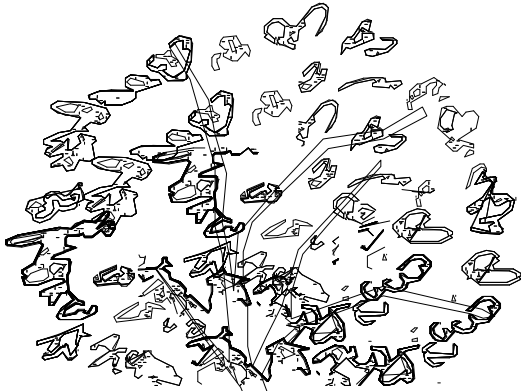
80mm DIA conduit required under all paving and paths for cable access.

TREE REMOVAL

Where trees are recommended for removal, client should seek council approval to do so.

1

DETAIL DRAWINGS



Stake all trees with 3x hardwood stakes. Tie trees immediately after planting with hessian ties, secured with staples to hardwood stakes

75mm Specified mulch. Form saucer with a continuous rim for water collection. Keep mulch away from base of trunk

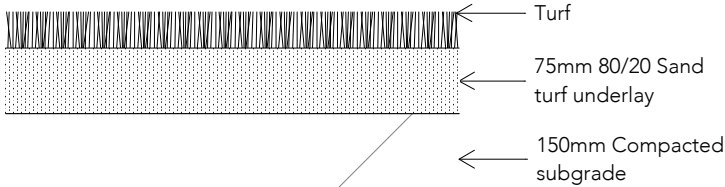
Backfill hole with 50% existing site soil & 50% premium garden mix

Extend stakes into undisturbed soil

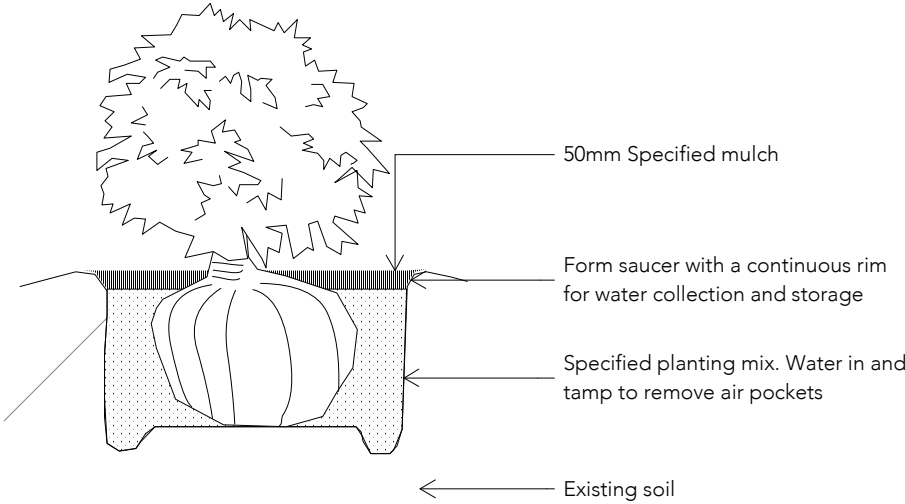
Existing soil

NOTE: Planting hole must be minimum 2.5 times rootball size. Apply 'Osmocote' or equivalent to manufacturers specifications

Tree planting/staking detail
NTS



Turf detail
NTS



Shrub planting detail
NTS



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0314



sticks & stones
DESIGNING LANDSCAPES

NOTES:

1. Do not scale from drawings
2. Verify all measurements on site
3. Notify S&S of any inconsistencies
4. Copyright © Sticks & Stones Landscape Design. All rights reserved
5. Drawing remains the property of Sticks & Stones Landscape Design
6. All works to comply with relevant Australian Standards and Building Code of Australia
7. All work to be performed by suitably qualified tradesperson
8. For application purposes only - NOT FOR CONSTRUCTION

DRAWING NAME

DETAIL DRAWINGS

CLIENT

Colin & Emily Panagakis

ADDRESS

15 Tutus Street, Balgowlah Heights

REF#

A

SCALE

NTS

PROJECT NO.

0683

DRAWING NO.

F103

REV #

DATE DRAWN

01.03.2019

DRAWN BY

KR

CHECKED BY

JL

WINDOWS SCHEDULE

ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	Comments
W01	awning	600 mm	3000 mm	1.8 m2		2600	
W02	awning	600 mm	3000 mm	1.8 m2		2600	
W03	awning	2700 mm	1880 mm	5.076 m2		2700	
W04	louvre	2700 mm	900 mm	2.43 m2		2700	
W05	fixed	2700 mm	1790 mm	4.833 m2		2700	
W06	awning	2700 mm	2650 mm	7.155 m2		2700	
W07	louvre	2700 mm	1000 mm	2.7 m2		2700	
W08	fixed	2700 mm	1020 mm	2.754 m2		2700	
W08	fixed	2700 mm	1020 mm	2.754 m2		2700	
W09	awning	2400 mm	900 mm	2.16 m2		2400	
W10	awning	1950 mm	900 mm	1.755 m2		2400	
W11	louvre	1950 mm	900 mm	1.755 m2		2400	
W12	louvre	2100 mm	2770 mm	5.817 m2		2700	
W13	awning	1950 mm	900 mm	1.755 m2		2400	
W14	louvre	1950 mm	900 mm	1.755 m2		2400	
W15	awning	1950 mm	2000 mm	3.9 m2		2400	

DOORS SCHEDULE

ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	No. Doors	Comments
D01	garage	2400 mm	6530 mm	15.672 m2	Solid	2400	1	Solid garage door as selected
D02	entry door	3000 mm	2320 mm	6.96 m2		3000		Solid entry pivot door as selected with 600mm side light
D03	sliding	2700 mm	8300 mm	22.41 m2		2700		Stacking sliding
D04	solid door	2400 mm	1540 mm	3.696 m2		2400		Solid door with side light
D05	sliding	2700 mm	8380 mm	22.626 m2		2700		Stacking sliding
D06	sliding	2700 mm	2670 mm	7.209 m2		2700		Stacking sliding
D07	sliding	2700 mm	4600 mm	12.42 m2		2700		Stacking sliding
D08	sliding	2700 mm	4040 mm	10.908 m2		2700		Stacking sliding
D09	sliding	2700 mm	3850 mm	10.395 m2		2700		Stacking sliding

Glazing Doors/Windows

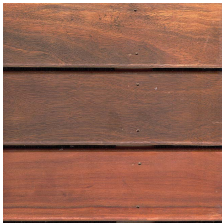
Aluminium framed performance glazing:
U-value: 5.20 (equal to or lower than) SHGC: 0.49 (±10%)
Given values are AFRC total window system values (glass and frame)
Note: Openability modelled as per BASIX Thermal Protocol – 4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regards to restricted openings

Skylights
Double glazed with timber or aluminium frame
R1.5 insulation to skylight shaft

NOTES


1. All external glazing units to have powder coated aluminium frames as selected. Owner to give final approval to external glazing units before ordering.
2. All glazing to comply with U-Value and SHGC as specified in the Thermal report, and Part 3.6 of the current BCA.
3. Dimensions given are nominal and to suit scheduled opening sizes - Contractor to check all dimensions on site before ordering glazing units. Contact Cadence & Co Design if dimensions conflict.
4. Refer to Elevations for fixed/openable sashes.
5. Provide approved matching insect screens to opening window and door sashes.
6. Internal door sixes generally as noted on plan, to be painted flush solid core doors unless noted otherwise.
7. Provide Brio (or similar) retractable screens to all glazed external sliding doors. Owner to confirm
8. The highest Bushfire Attack Level to the proposed dwelling was determined from Table 2.4.2 of AS3959 – 2009 to be 'BAL 12.5'. The proposed dwelling is required to comply with section 3 and BAL 12.5 section 5 under AS 3959 – 2009 and Addendum Appendix 3 under PBP 2006.

EXTERNAL FINISHES SCHEDULE



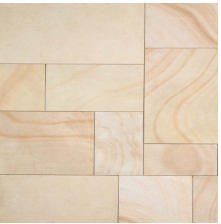
TIMBER WEATHERBOARD CLADDING

HARDWOOD CLADDING




PAINTED RENDER

PAINTED WARM GREY




SANDSTONE FACING

SANDSTONE FACING




ALUMINIUM WINDOW AND EXTERNAL DOOR FRAMES

DARK GREY / CHARCOAL



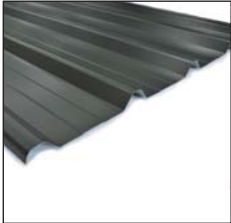
EXTERNAL WOODWORK / FASCIA'S & GUTTERS

DARK GREY / CHARCOAL




DECKING

HARDWOOD AS SELECTED



STEEL ROOF SHEETING - 'KLIPILOK' or similar

eg. MONUMENT




northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0314


NOTE:
All colour selections shall be sampled and swatch tested on subject surface prior to final application.


Colours represented on this schedule do NOT necessarily reflect true colours.



Certificate no.: 0003691864-01
Assessor Name: Tracey Cools
Accreditation no.: VIC/BDV/12/1473
Certificate date: 15 Mar 2019
Dwelling Address: Tutus Street
Balgowlah Heights, NSW 2093
www.nathers.gov.au

4.9
NATIONWIDE HOUSE
Energy Rating Scheme
69.1 MJ/m²
www.nathers.gov.au





CADENCE & CO DESIGN
PTY LTD
Suite 7, 287 Mona Vale Rd,
Terrey Hills, NSW, 2084,
P 9450 1950
E info@cadenceandco.com.au
ABN: 12 168 714 752
Copyright © CADENCE & CO DESIGN PTY LTD

DA SUBMISSION ONLY - NOT FOR CONSTRUCTION

REVISION DATE REVISION NOTE

CLIENT:
Colin & Emily Panagakis

PROJECT:
15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561

DRAWING:
External Window & Door Schedule

PROJECT NO:
PAN 0518

ISSUE TYPE:
DA1

DRAWN:
DV

CHKD:

ISSUE DATE:
11/3/19

SHEET NO:
A17

SCALE @ A2:
1:100

REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.