

SITE PLAN LEGEND & NOTES

- Existing Relative Level
- Proposed Relative Level
- Contour Interval = 0.5m
- NB: Contours are only shown on areas not cut or filled by the proposal. For cut and fill detail and further excavation information see A5.3 Excavation & Fill Plan
- Landscaped area calculations and further landscape details shown on A5.1 landscape plan
- For further Driveway details see A5.4 Driveway Plan & Section

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2020/0663

4.9
NATIONAL HOME
69.5
0004643268-03 27 Nov 2020
Assessor Tracy Cooks
Accreditation No. HERA10033
Address 128 Elanora Road, Elanora Heights, NSW, 2101
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Project Partners
Refer to consultant documentation when directed
 - EPCC Consultant - NIA
 - Energy Efficiency Consultants - Efficient Living Pty Ltd
 - Hydraulic Engineer - NY Civil Engineering
 - Landscape Designer - NIA
 - Mechanical Engineer - NIA
 - Planning Consultant - NIA
 - Services - NIA
 - Structural Engineer - TPA
 - Surveyor - Hammond Smeath & Co. Pty Ltd



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Rev/ID	CHD	Change Name	Date

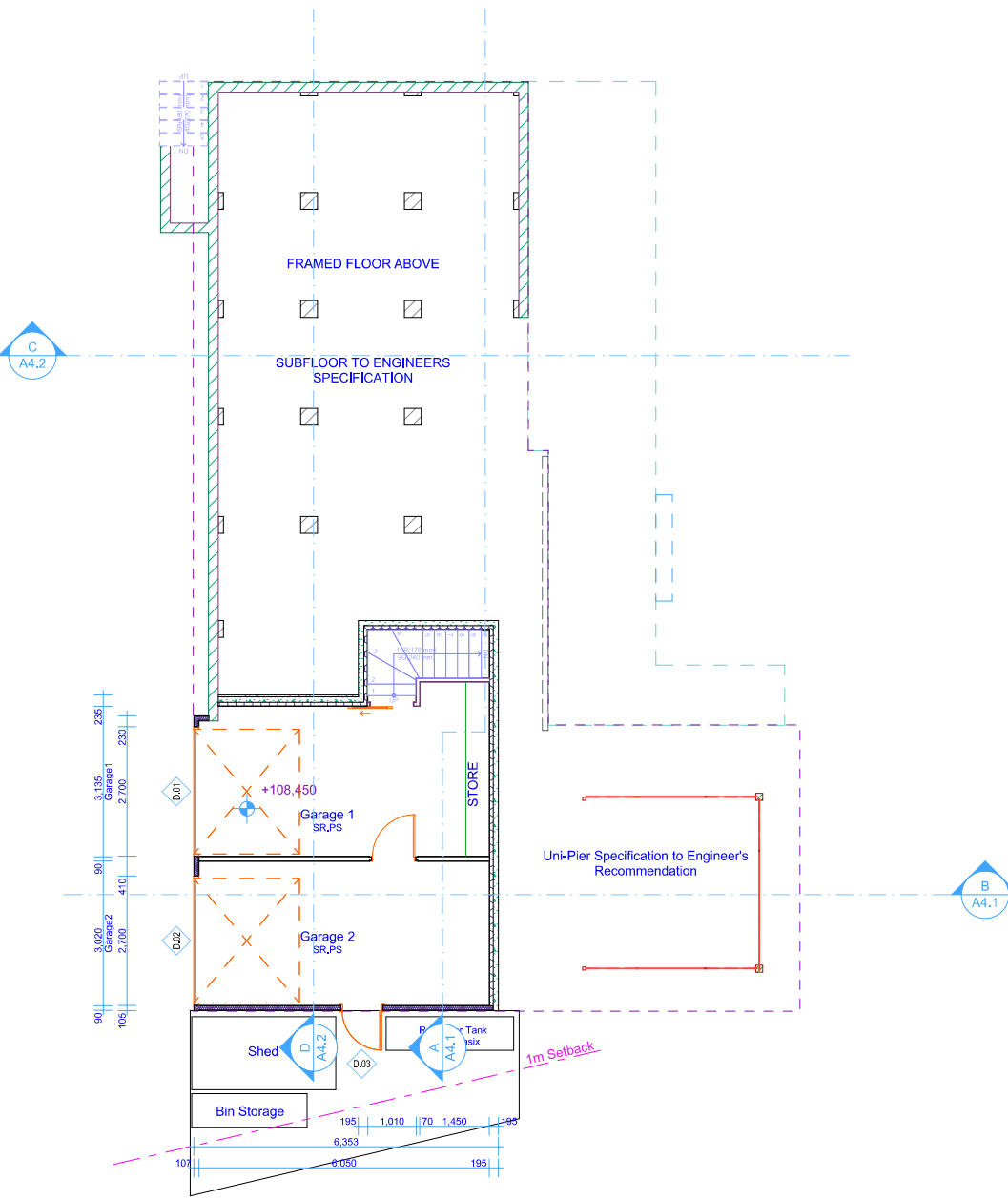
Drawn | Checked
 Plot Date:
 Sheet Size:
 Project NO:
 Project Status:
 Client:
 Site:

FLJ/KS
 28/11/2020
 A3
 2019BELA
 \$4,55(2) APPLICATION
 Clear & Peter Shilling
 Lot 1, 128 Elanora Rd Elanora
 Heights NSW 2101 Australia

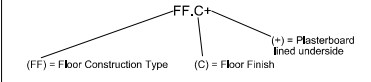
DRAWING TITLE :
 SITE DRAWINGS
SITE PLAN

PROJECT NAME :
 Elanora Passive

ISSUE NO.
05
 DRAWING NO.
A1.1



FLOOR PLAN LEGEND & NOTES



FLOOR CONSTRUCTION TYPE QUICK REF.

FF	Framed Floor
SR	Stiffened Raft Slab
SS	Suspended Slab
SP	Structurally Insulated Panel
CL	Cross Laminated Timber

FLOOR FINISH REFERENCE

CT	Ceramic Floor Tile - Dry Area
CW	Ceramic Floor Tile - Wet Area
PT	Porcelain Floor Tile - Dry Area
PW	Porcelain Floor Tile - Wet Area
HT	Hardwood Floorboards
EF	Engineered Floating Floorboards
FL	Laminate Floating Floorboards
PS	Polished Slab
SC	Sealed Concrete Slab
C	Carpet w/ Underlay

DP Downpipe
 - In case of conflict, all structural details on this plan are superseded by the Structural Engineer's Drawings.

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MOD2020/0663

0004643268-03 27 Nov 2020
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Project Partners
 Refer to consultant documentation when directed
 e2CA Consultant - N/A
 - Energy Efficiency Consultants - Efficient Living Pty Ltd
 - Hydraulic Engineer - NY Civil Engineering
 - Landscape Designer - N/A
 - Mechanical Engineer - N/A
 - Planning Consultant - N/A
 - Structural Engineer - TPA
 - Surveyor - Hammond Smeeth & Co. Pty Ltd



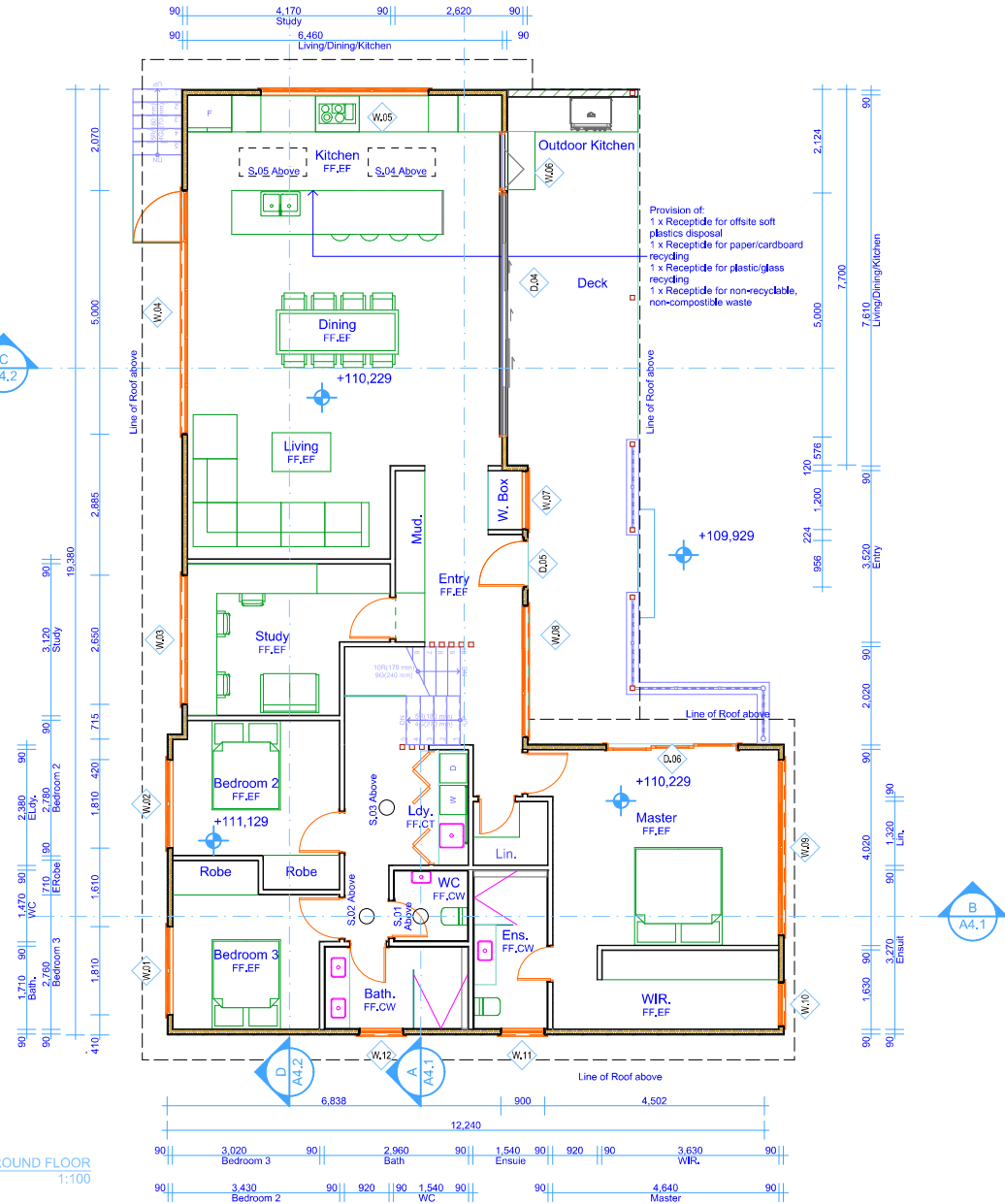
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Rev/ID	CHD	Change Name	Date

Drawn | Checked | P.L.J.K.S.
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project NO: 2019BELA
 Project Status: \$4,55(2) APPLICATION
 Client: Clear & Peter Shilling
 Site: Lot 1, 128 Ejanora Rd Ejanora Heights NSW 2101 Australia

DRAWING TITLE : FLOOR PLANS LOWER GROUND FLOOR
PROJECT NAME : Ejanora Passive

ISSUE NO. **05**
 DRAWING NO. **A2.1**



FLOOR PLAN LEGEND & NOTES

FF.C+
 (FF) = Floor Construction Type (C) = Floor Finish (+) = Plasterboard fixed underside

FLOOR CONSTRUCTION TYPE QUICK REF.

FF	Framed Floor
SR	Stiffened Raft Slab
SS	Suspended Slab
SP	Structurally Insulated Panel
CL	Cross Laminated Timber

FLOOR FINISH REFERENCE

CT	Ceramic Floor Tile - Dry Area
CW	Ceramic Floor Tile - Wet Area
PT	Porcelain Floor Tile - Dry Area
PW	Porcelain Floor Tile - Wet Area
HT	Hardwood Floorboards
EF	Engineered Floating Floorboards
FL	Laminate Floating Floorboards
PS	Polished Slab
SC	Sealed Concrete Slab
C	Carpet w/ Underlay

DP Downpipe

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MOD2020/0663



1. GROUND FLOOR 1:100

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 Refer to consultant documentation when directed
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 -Energy Efficiency Consultants - Efficient Living Pty Ltd
 -Hydraulic Engineer - NY Civil Engineering
 -Landscape Designer - NIA
 -Mechanical Engineer - NIA
 -Planning Consultant - NIA
 -Structural Engineer - TPA
 -Surveyor - Hammond Smeed & Co. Pty Ltd



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RevID	CHD	Change Name	Date

Drawn | Checked | P.L.J. | K.S.
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project No: 2019BELA
 Project Status: S4,S5(2) APPLICATION

Client: Clear & Peter Shilling
 Site: Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia

DRAWING TITLE :
 FLOOR PLANS
GROUND FLOOR

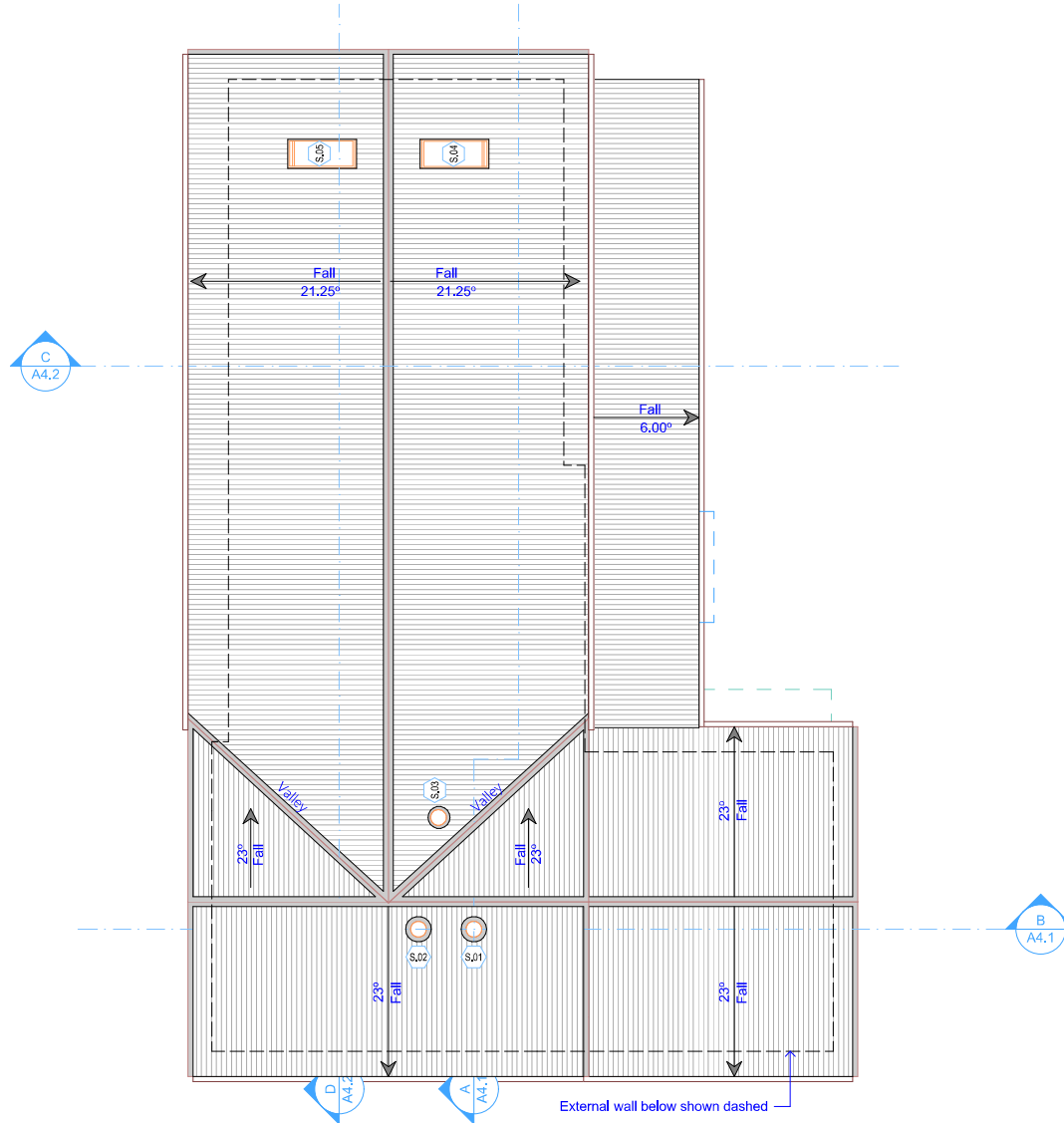
PROJECT NAME :
Elanora Passive

ISSUE NO.
05

DRAWING NO.
A2.2

GENERAL ROOF PLAN LEGEND & NOTES

- Downpipes must not serve more than 12m of gutter length for each downpipe.
- Roof cladding to comply with AS 1562.1.
- Roof drainage must comply with:
 - Plumbing Code of Australia Part D1
 - AS/NZS 3500.3
 - BCA Volume 2 parts 3.1,2 and 3.5,2 (Deemed to Satisfy provisions)
- In case of conflict, all roof drainage and stormwater details on this plan are superseded by the Hydraulic Engineers Stormwater Plan.




 northern beaches council

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MOD2020/0663


 0004643268-03 27 Nov 2020
 Assessor Tracy Cox
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 69.5 km²
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3. ROOF PLAN
1:100

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- Landscape Designer - NIA
- Mechanical Engineer - NIA
- Planning Consultant - NIA
- Services - NIA
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Rev#	CHD	Change Name	Date

Drawn / Checked: FLJ/KS
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project No: 2019BELA
 Project Status: S4,55(2) APPLICATION

Client: Clear & Peter Shilling
 Site: Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia

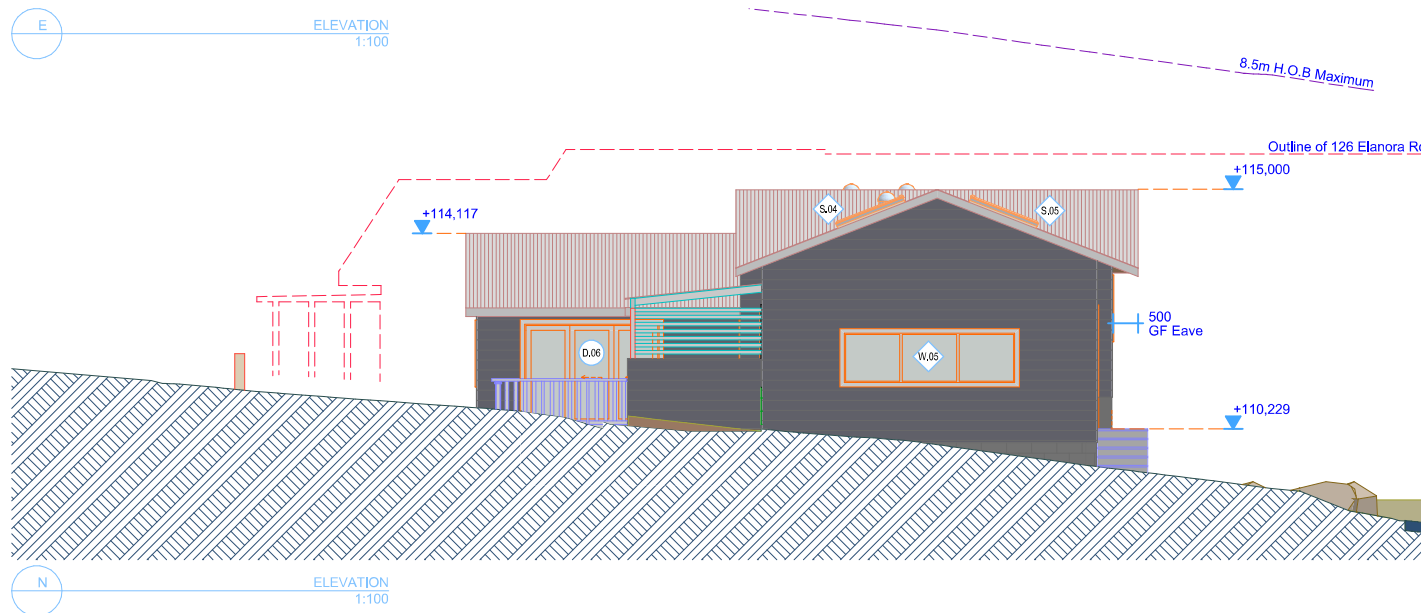
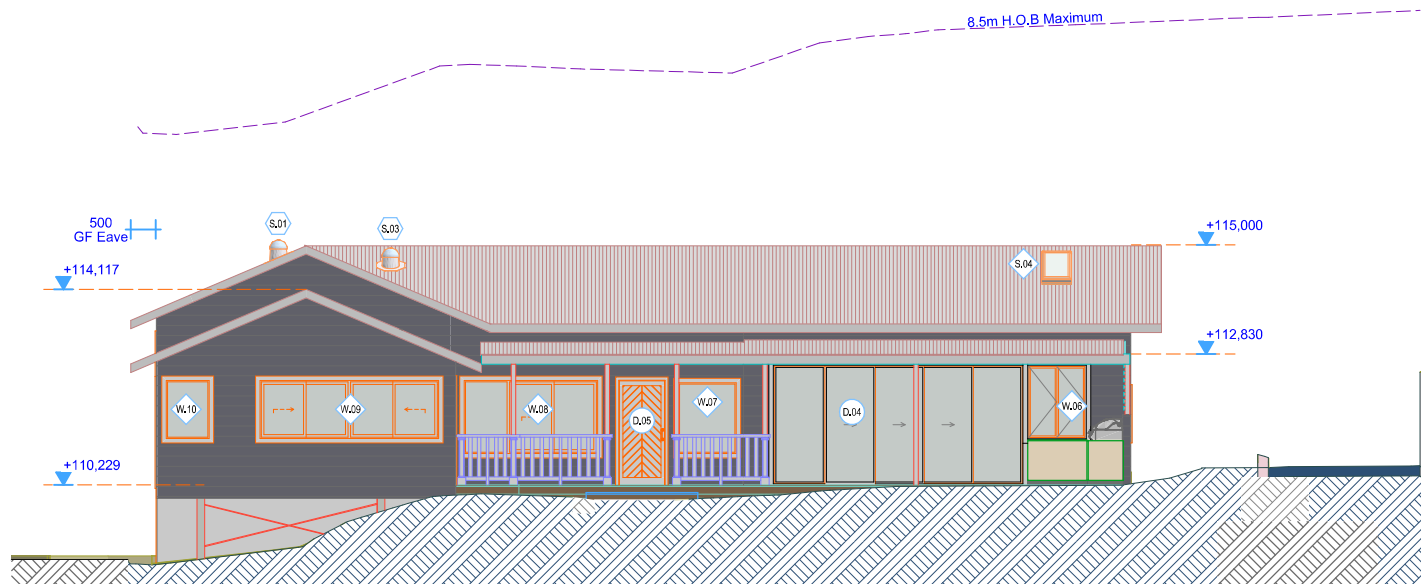


DRAWING TITLE :
 FLOOR PLANS
ROOF PLAN

PROJECT NAME :
Elanora Passive

ISSUE NO.
05

DRAWING NO.
A2.3



ELEVATION LEGEND & NOTES

CJ Control Joint
 DP Downpipe
 - For window details and opening types see Opening Schedule

FINISHES SCHEDULE (INDICATIVE ONLY)

	200mm Weatherex Smooth Classic - Painted Dark Grey
	Windspray Colorbond Roofing
	Render Paint - Dark Grey

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MOD2020/0663

4.9
 NATIONAL HOME ENERGY RATING
 69.5
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 -Energy Efficiency Consultants - Efficient Living Pty Ltd
 -Hydraulic Engineer - M V Civil Engineering
 -Landscape Designer - NIA
 -Structural Engineer - NIA
 -Planning Consultant - NIA
 -Services - NIA
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 Sheet Size: A3
 Project NO: 2019BELA
 Project Status: \$4,55(2) APPLICATION

Client Site:
 Clear & Peter Shilling
 Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia

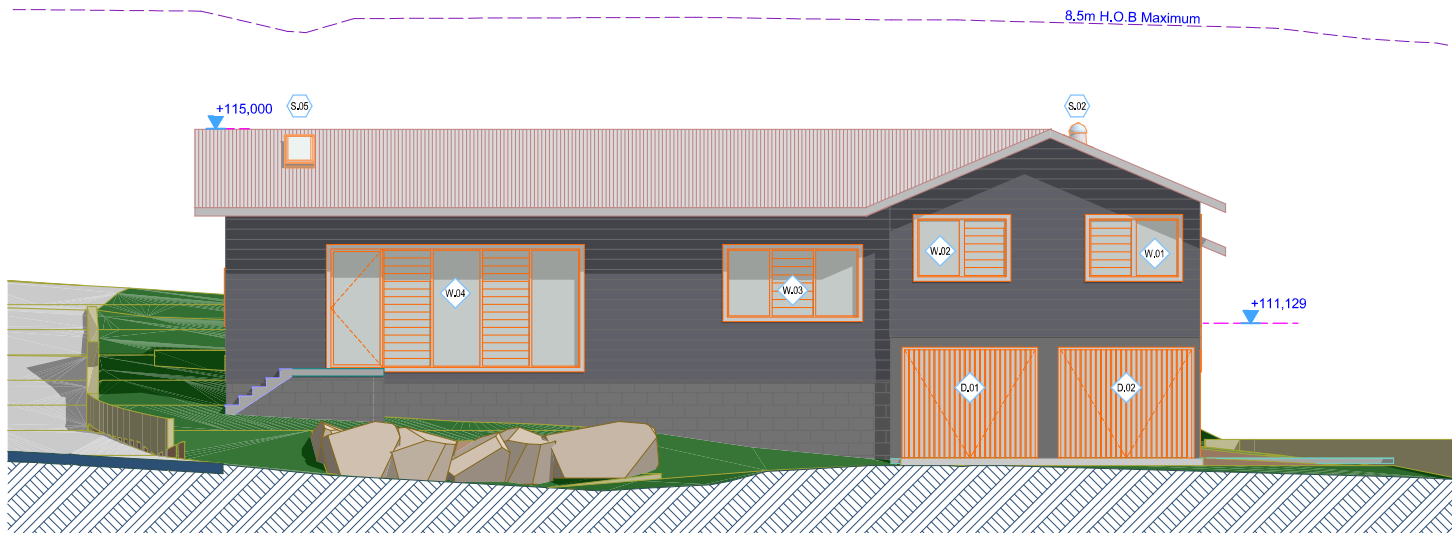


DRAWING TITLE :
 ELEVATIONS
 NORTH/EAST

PROJECT NAME :
 Elanora Passive

ISSUE NO.
05

DRAWING NO.
A3.1



ELEVATION LEGEND & NOTES

CJ Control Joint
 DP Downpipe
 - For window details and opening types see Opening Schedule

FINISHES SCHEDULE (INDICATIVE ONLY)

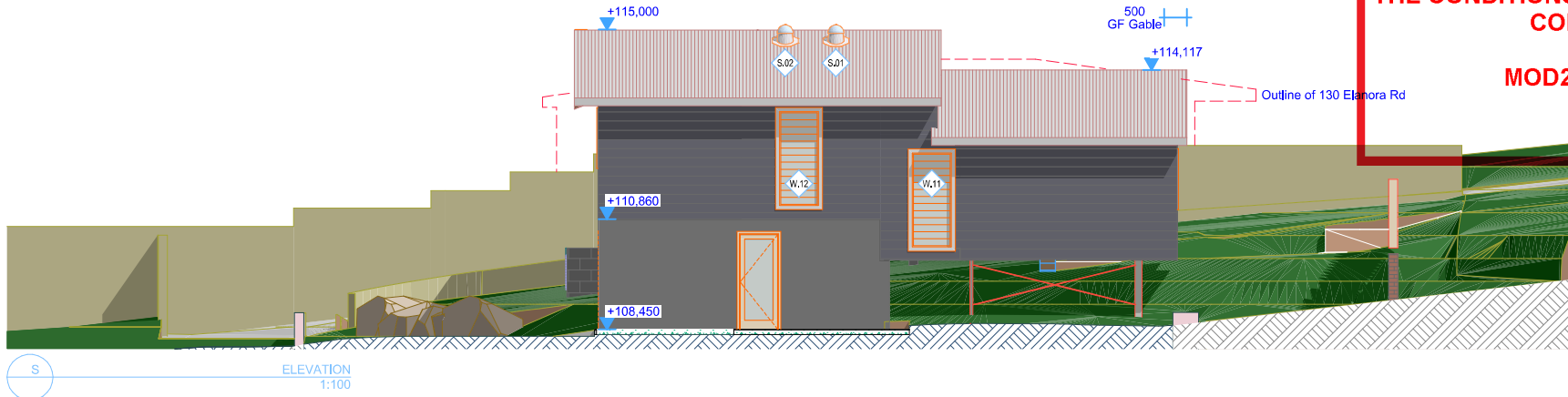
	200mm Weatherex Smooth Classic - Painted Dark Grey
	Windspray Colorbond Roofing
	Render Paint - Dark Grey



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 -Energy Efficiency Consultants - Efficient Living Pty Ltd
 -Hydraulic Engineer - MFC Engineering
 -Landscape Designer - NIA
 -Structural Engineer - NIA
 -Planning Consultant - NIA
 -Surveyor - TPA
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Rev#	CHD	Change Name	Date

Drawn / Checked: P/L JKS
 Plot Date: 28/11/2020
 Sheet Size: A3
 Project NO: 2019BELA
 Project Status: \$4,55(2) APPLICATION

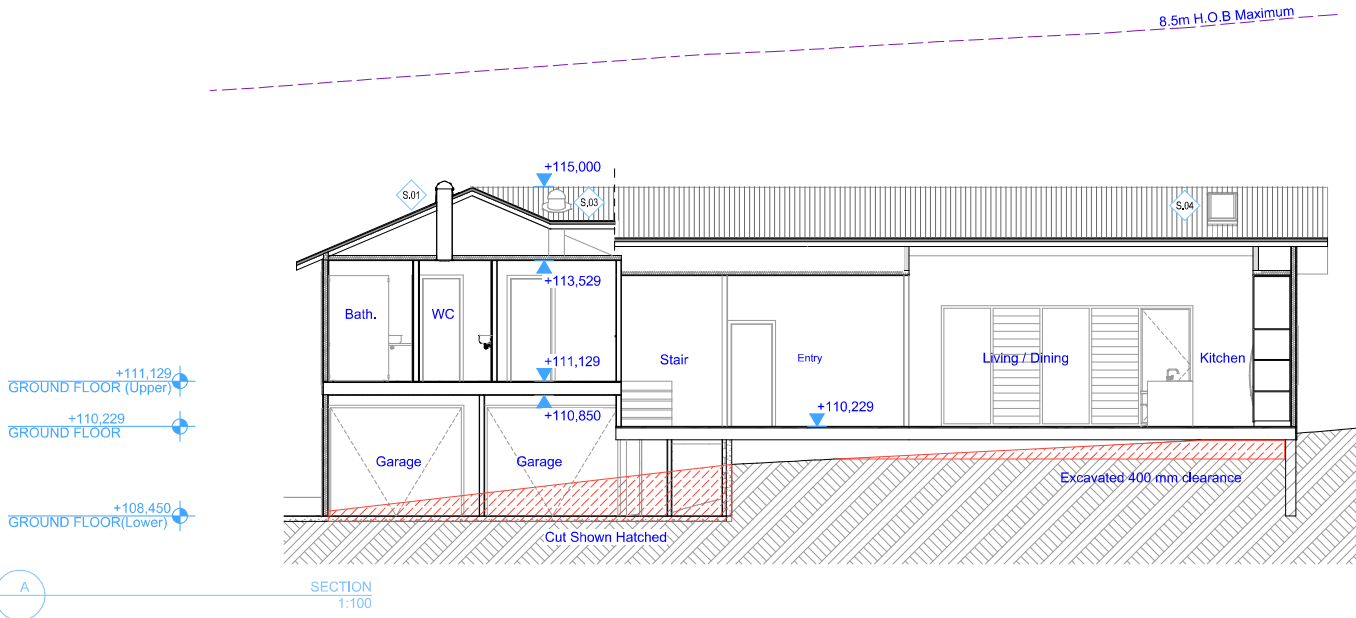
Client Site: Clear & Peter Shilling
 Lot 1, 128 Elanora Rd Elanora Heights NSW 2101 Australia

DRAWING TITLE :
 ELEVATIONS
SOUTH/WEST

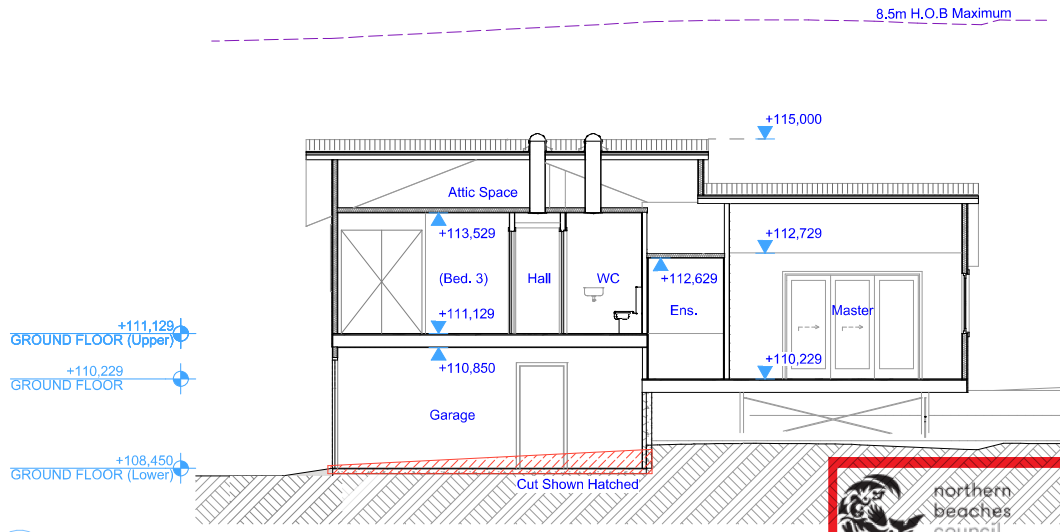
PROJECT NAME :
 Elanora Passive

ISSUE NO.
05

DRAWING NO.
A3.2



SECTION A
1:100



SECTION B
1:100


SECTION LEGEND & NOTES

▼ FFL Finished Floor Level
 ▲ FCL Finished Ceiling Level

- New Footings/Foundations: New footings and foundations are indicative only. The associated structural engineer's footing and foundation specifications and drawings will always take precedent over the architectural drawings.

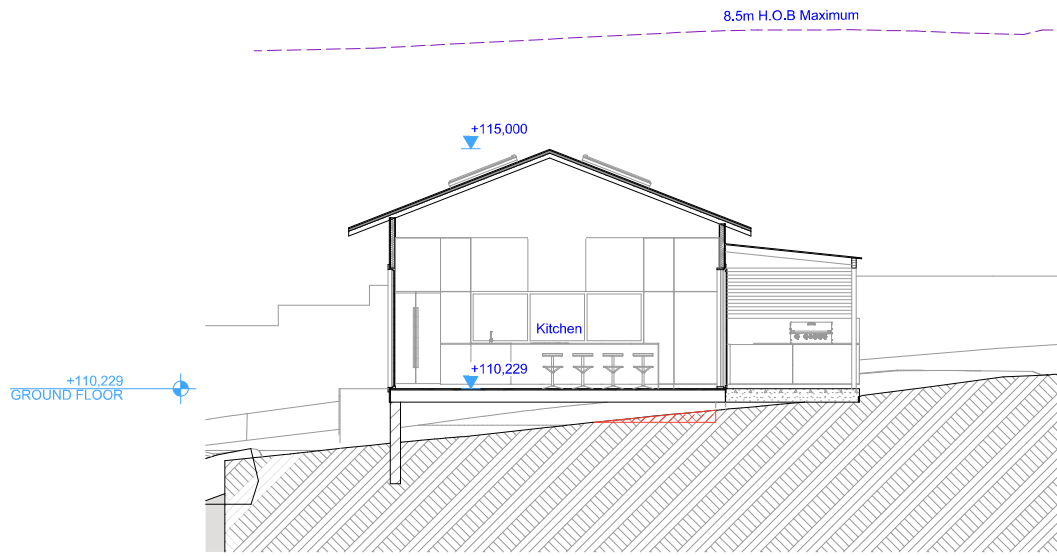


Thermal Comfort & BASIX inclusions	
Floors	Concrete slab on ground with R3 insulation or R1.4 insulation equivalent Suspended Timber with R5.0 insulation (insulation only value) Timber between levels, no insulation required where habitable rooms are above and below Timber between garage and habitable rooms above with R3.0 insulation (insulation only)
Walls	Concrete block walls with R2.7 bulk insulation (insulation value only) to stairs on lower ground Lightweight cladding on framed walls with Anti-glare foil and R2.7 bulk (insulation value only) Note: No insulation is required to external garage walls External Colour: Dark (SA>0.7) Walls within dwellings Plasterboard on studs, no insulation required Plasterboard on studs, R2.0 insulation between garage and stairs
Windows	Performance glazing to Living/dining/kitchen only U-value: 5.40 (equal to or lower than) SHGC: 0.49 (±5%) Remainder Aluminium framed single clear glazing: U-Value: 6.70 (equal to or lower than) SHGC: 0.70 (±5%) Given values are AFRC, total window system values (glass and frame)
Skylights	Skylights Double glazed Skytube systems (single clear)
Ceilings	Plasterboard ceiling with R5.0 insulation (insulation only value) Ceiling Penetrations Sealed LED downlights as per NatHERS certificate
Roof	Metal roof with foil backed blanket R1.3 insulation value only External colour: Medium (SA 0.58)
Floor Coverings	Tiles to bathrooms and laundry, floorboards elsewhere.
External shade	As per drawings.
Hot water system	Electric Heat Pump 26 to 30 STCs or better
Rainwater Tank	Size: 2,000L – Collecting from 80m ² of roof. Connected to outdoor taps, all toilets and clothes washer
Fixtures	3 Star – Medium flow shower heads (>7.5 <=9L/min)
Cooling & Heating	1 phase air conditioning in living & bedrooms for cooling and heating mode. Heating 2.5-3.0 EER & Cooling 3.0-3.5 EER
Alternative Energy	Min. 1kw Photovoltaic system
Other	Gas cooktop & Electric oven Outdoor clothes drying line



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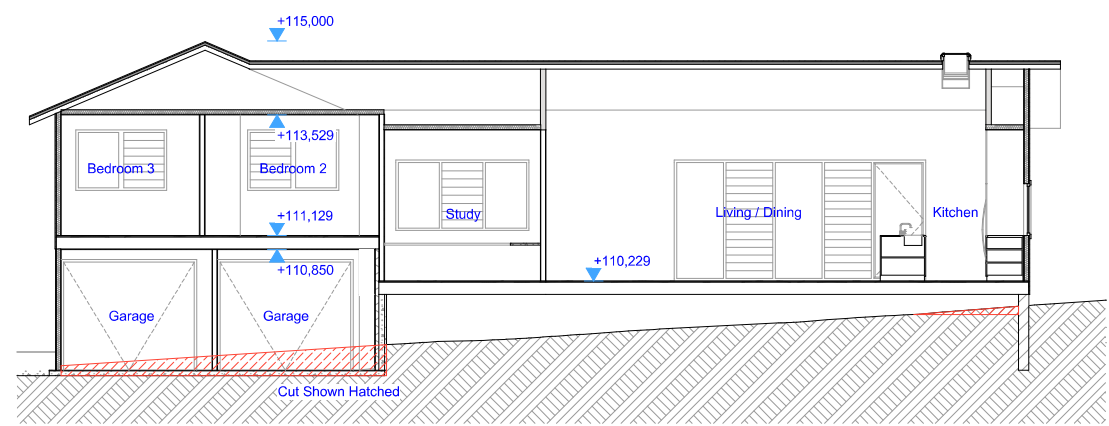
MOD2020/0663



C

SECTION
1:100

8.5m H.O.B Maximum



D

SECTION
1:100

SECTION LEGEND & NOTES

▼ FFL Finished Floor Level
 ▲ FCL Finished Ceiling Level

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