

TRANSMITTAL

ADDRESS: 147 MCcarrs Creek Rd Church Point 2105

DRAWING TRANSMITTAL

P - PRELIMINARY/APPROVAL

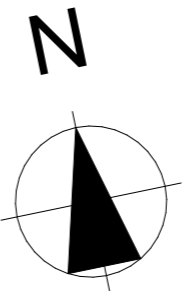
T - FOR TENDER

C - FOR CONSTRUCTION

[illegible]

SITE PLAN

147 McCarrs Creek Rd, Church Point



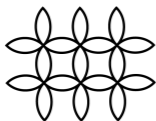
CONSTRUCTION MATERIALS STORAGE AREA

145A RESERVE FOR DRAINAGE

STORAGE AREA FOR WASTE MATERIALS

149A RESIDENCE

37 MINKARA RD, BAYVIEW



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CLIENT:

PROJECT ADDRESS:
147 MCCARRS CREEK RD, CHURCH
POINT 2105 NSW

SCALE: 1:300 @ A3

NOT FOR CONSTRUCTION		
Site Plan		
ISSUE DATE 05 July 2023	DRAWING NO. ID001	
APPROVAL	REVISION: P3	

SITE SURVEY PLAN
SURVEY CONDUCTED BY : SURVCORP
ON: 04-FEB-2022

LEGEND

BK	- BOTTOM OF KERB
BW	- BOTTOM OF WALL
BRW	- BOTTOM OF RETAINING WALL
CL	- CENTRE LINE
CH	- CHIMNEY
CONC	- CONCRETE
D	- DOOR
FLG	- FLOOR LEVEL OF GROUND
FH	- FIRE HYDRANT
GD	- GRATED DRAIN
GM	- GAS METER
GAR	- GARDEN
IP	- INVERT PIT
LP	- LIGHT POLE
MLID	- METAL LID
MP	- METAL POST
PARA	- PARAPET
PP	- POWER POLE
RET.	- RETAINING
RR	- ROOF RIDGE
RRL	- ROOF RL
SIC	- SEWER INSPECTION CAP
SMH	- SEWER MANHOLE
SRW	- STONE RETAINING WALL
SV	- SEWER VENT
SWG	- STORM WATER GRATED PIT
TEL	- TELSTRA
TA	- TOP OF AWNING
TFCE	- TOP OF FENCE
TG	- TOP OF GUTTER
TK	- TOP OF KERB
TP	- TOP OF PARAPET
TR	- TOP OF ROOF
TT	- TOP OF TREE
TW	- TOP OF WALL
TRW	- TOP OF RET. WALL
US	- UNDERSIDE
VC	- VEHICLE CROSSING
W	- WINDOW
WM	- WATER METER
WV	- WATER VALVE
FL	- FLOOR LEVEL
DFL	- DECK FLOOR LEVEL
GFL	- GARAGE FLOOR LEVEL

(A) RIGHT OF CARRIAGEWAY (DP243387)

- NOTES:
- ORIGIN OF LEVELS: DATUM ASSUMED.
 - BEARINGS ARE ON MM NORTH.
 - THIS PLAN IS PREPARED IN ACCORDANCE WITH COUNCIL'S DA GUIDE.
 - BOUNDARIES HAS BEEN IDENTIFIED BY FIELD SURVEY.
 - NO SERVICES OR UNDERGROUND SERVICES SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY & ARE CHARTED AS A GUIDE TO THE POSITION & NATURE OF THE SERVICE. ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
 - RIDGE, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
 - ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
 - THE SPREAD & HEIGHT OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.

DATE	BY	REVISION	ISSUE
CLIENT: FRAN GOYO			

PLAN SHOWING PHYSICAL FEATURES AND LEVELS AT
No.147 McCARRS CREEK ROAD, CHURCH POINT
LOT 1 IN DP 243387



EMAIL: info@survcorp.com.au
Suite 28, 401 Pacific Highway, Artarmon NSW 2064
TEL: 02 9439 6677

RATIO: 1:150

DATUM: AHD

DRAWN: AC/KP

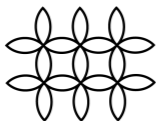
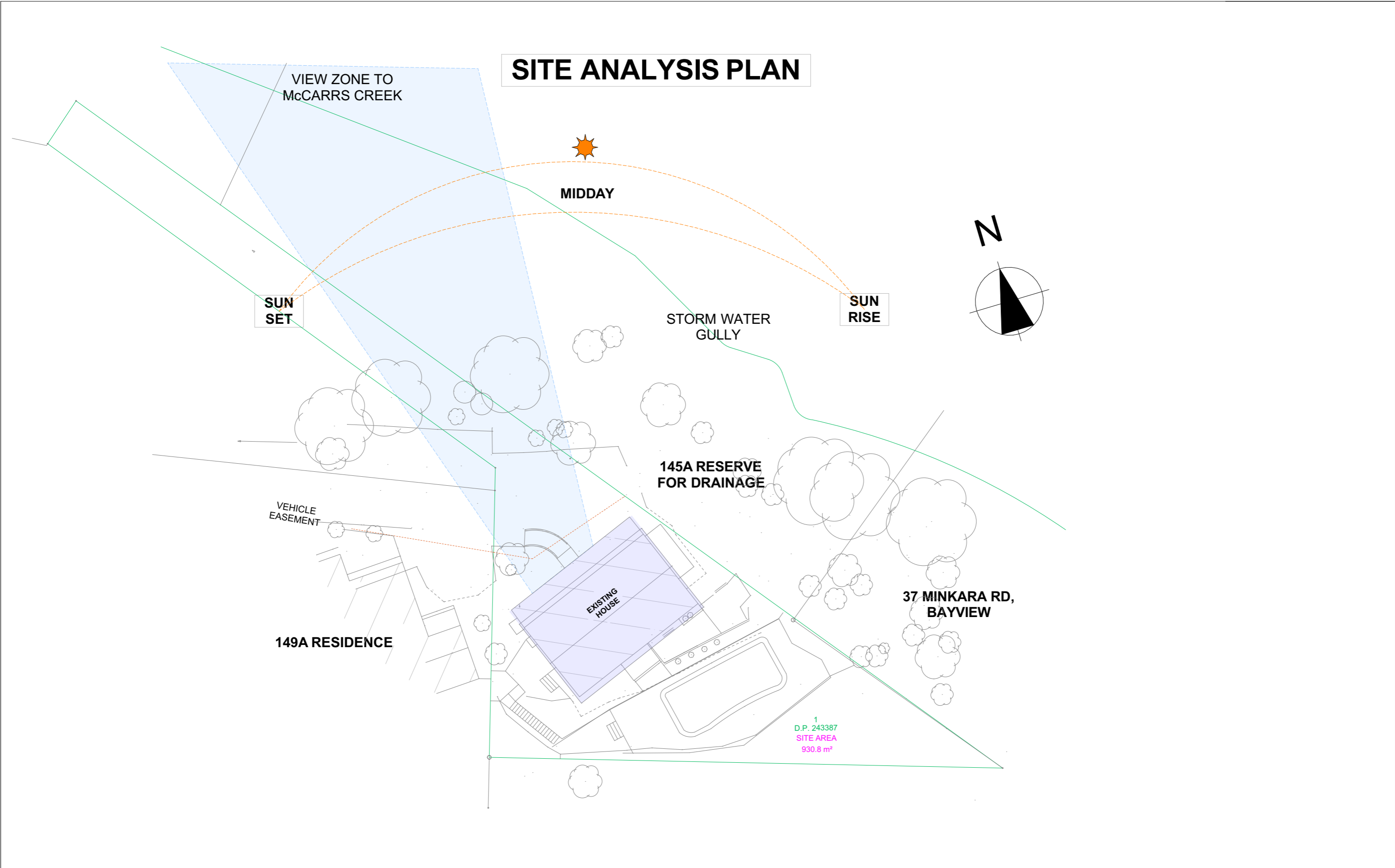
REF. No: 4528

DATE:
09-FEB-2022

ISSUE: 0
SHEET: A1
1 OF 1

DATE OF SURVEY:
04-FEB-2022

SIMON HO
REGISTERED SURVEYOR
8304



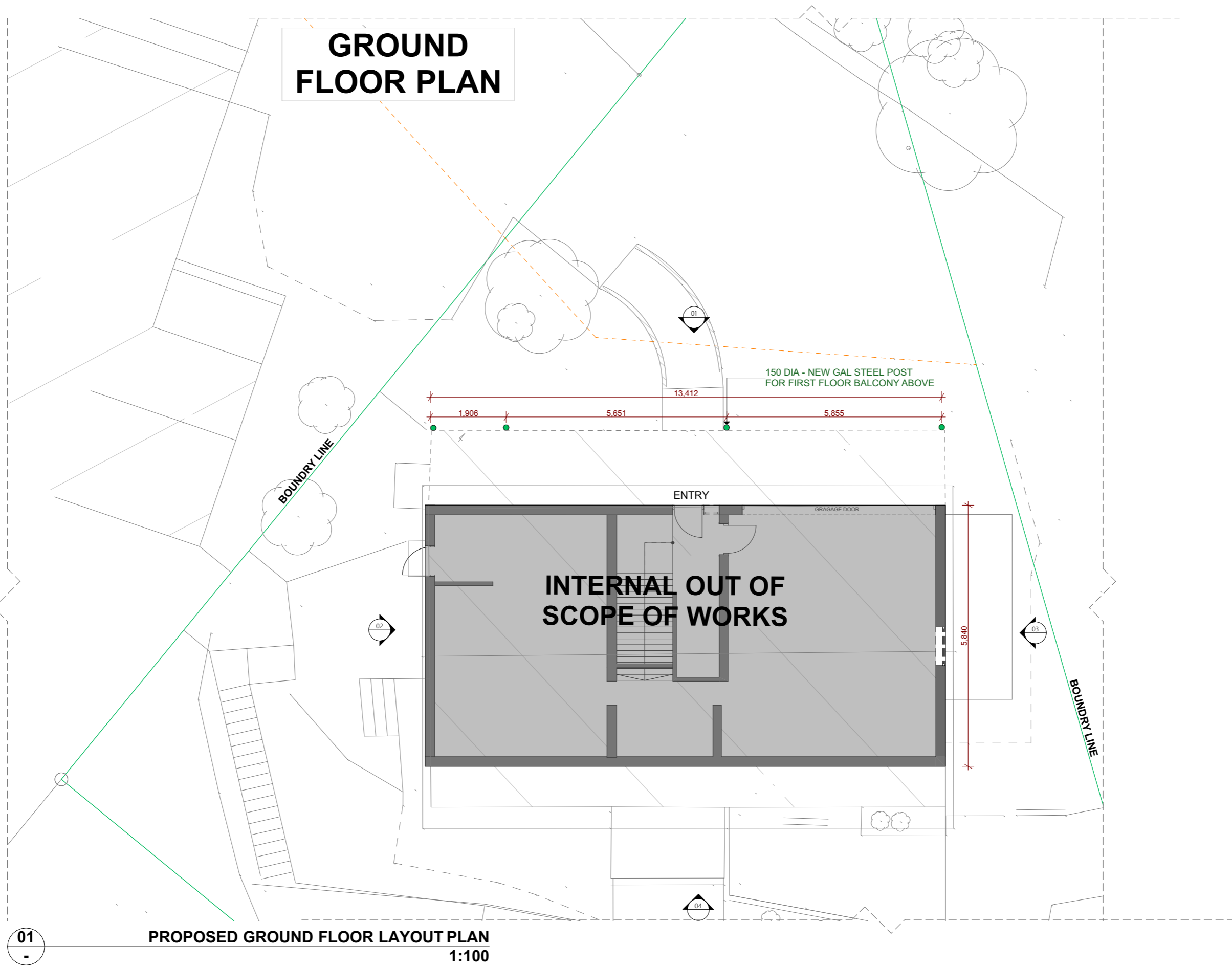
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the Architect for clarification. Space planning subject to formal approval by Private Certifier and building owner. Check all dimensions and site conditions prior to commencement of any works, the purchase or ordering of any materials, fittings, plant, services or equipment and the presentation of shop drawings and/or the fabrication of any components. These drawings are subject to copyright and may not be copied, used or reproduced. All images used are for illustrative purposes only. Individual features such as windows, brick and other materials' colours may vary. Images are indicative only and may not represent wholly the actual fittings &/or furnishings at a development and are not intended to form part of any contract or warranty unless specifically incorporated in writing into the contract.

CLIENT:

PROJECT ADDRESS:
147 MCCARRS CREEK RD, CHURCH
POINT 2105 NSW

SCALE: 1:300 @ A3

NOT FOR CONSTRUCTION		
SITE ANALYSIS PLAN		
ISSUE DATE 05 July 2023	DRAWING NO. ID003	
APPROVAL	REVISION: P3	



01
-

PROPOSED GROUND FLOOR LAYOUT PLAN
1:100



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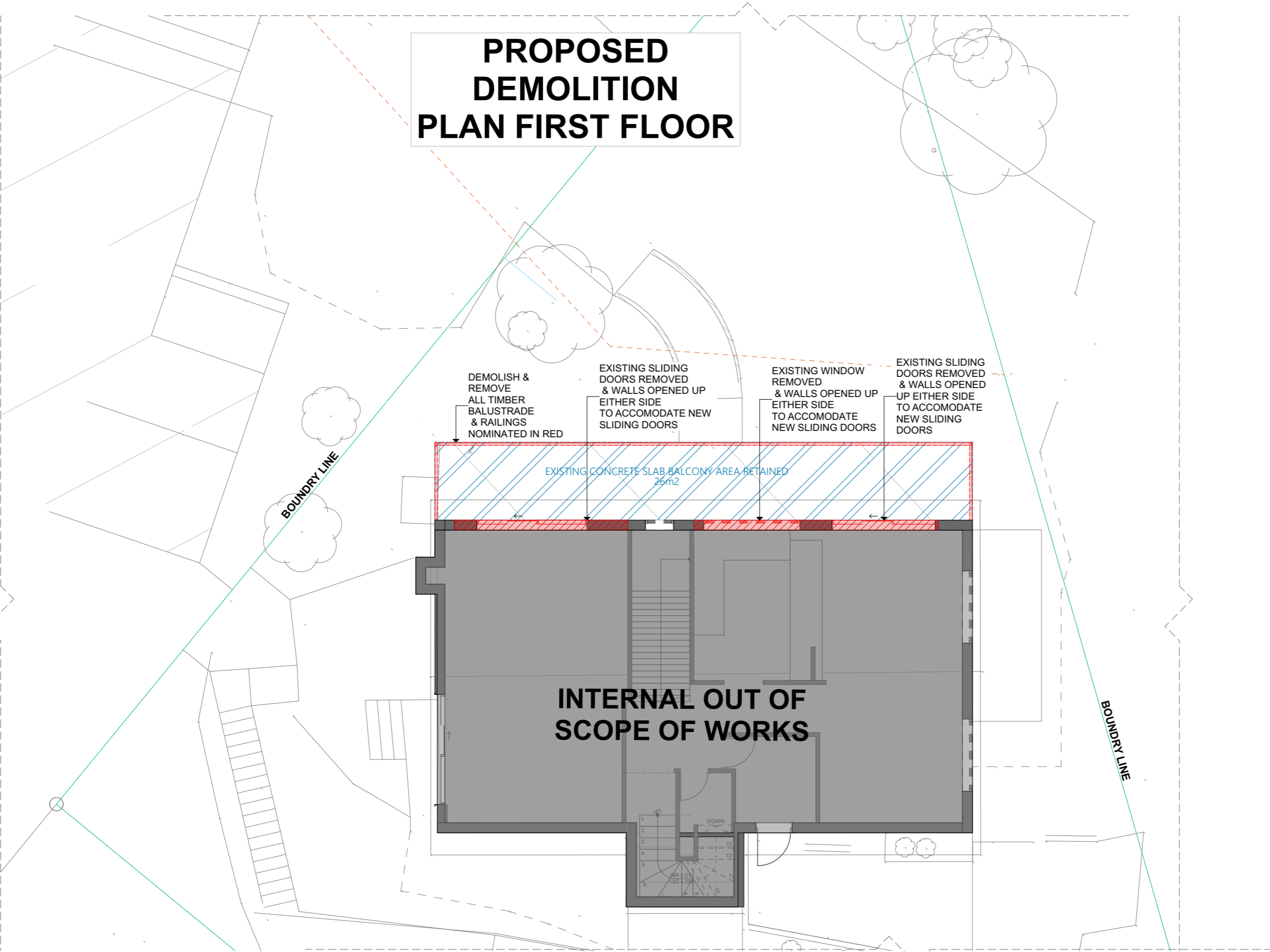
SCALE: 1:100 @ A3

NOT FOR CONSTRUCTION		
PROPOSED PLAN GF		
ISSUE DATE 05 July 2023	DRAWING NO. ID004	
APPROVAL	REVISION: P3	

PROPOSED
DEMOLITION
PLAN FIRST FLOOR

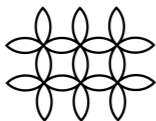
ITMES NOTED IN DASHED
RED TO BE DEMOLISHED
& REMOVED FROM SITE

ITMES NOTED DASHED IN
BLUE TO BE RETAINED OR
RELOCATED



01
-
PROPOSED FIRST FLOOR DEMOLITION PLAN
1:100

NOT FOR CONSTRUCTION		
DEMO PLAN FIRST FLOOR		
ISSUE DATE 05 July 2023	DRAWING NO. ID005	
APPROVAL	REVISION: P3	



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SCALE: 1:100 @ A3

PROPOSED
PLAN FIRST FLOOR

NEW NON
COMBUSTABLE
DECKING WITH
STEEL POSTS &
JOISTS INSTALLED
TO ENGINEERS
DRAWINGS

NEW 150 DIA -GAL STEEL POST
NEW 150 DIA -GAL STEEL POST

150 DIA -GAL STEEL POST

PROPOSED DECKING EXTENSION
21m²

EXISTING CONCRETE SLAB BALCONY AREA RETAINED
26m²

150 DIA -GAL STEEL POST

HATCHED AREA EXISTING
CONCRETE BALCONY

NEW FULL
HEIGHT 5X
LEAF GLASS
SLIDING
DOORS

NEW 4X
LEAF GLASS
SLIDING
DOORS

INTERNAL OUT OF
SCOPE OF WORKS

PROPOSED FIRST FLOOR PLAN
1:100

NOT FOR CONSTRUCTION

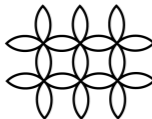
PROPOSED PLAN FIRST FLOOR

ISSUE DATE
05 July 2023

APPROVAL

DRAWING NO.
ID006

REVISION:
P3



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147 MCCARRS CREEK RD, CHURCH
POINT 2105 NSW

SCALE: 1:100 @ A3

PROPOSED DEMOLITION PLAN SECOND FLOOR BALCONY

DEMOLISH & REMOVE
ALL TIMBER BALUSTRADE
& RAILINGS NOMINATED IN RED

DEMOLISH & REMOVE ALL TIMBER DECKING

INTERNAL OUT OF
SCOPE OF WORKS

01
-

PROPOSED SECOND FLOOR DEMOLITION PLAN
1:100



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SCALE: 1:100 @ A3

NOT FOR CONSTRUCTION

PROPOSED DEMO PLAN SECOND F

ISSUE DATE
05 July 2023

APPROVAL

DRAWING NO.
ID007

REVISION:
P3

PROPOSED
WORKS PLAN
SECOND FLOOR
BALCONY

ALL NEW
GUTTERS
CONNECTED TO
EXISTING DOWN
PIPE

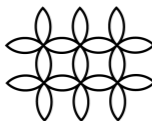
NEW
ROOFING
OVER FIRST
FLOOR
BALCONY

NEW NON
COMBUSTABLE
DECKING WITH
STEEL POSTS &
JOISTS INSTALLED
TO ENGINEERS
DRAWINGS

INTERNAL OUT OF
SCOPE OF WORKS

01
-

PROPOSED SECOND FLOOR LAYOUT PLAN
1:100



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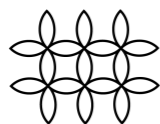
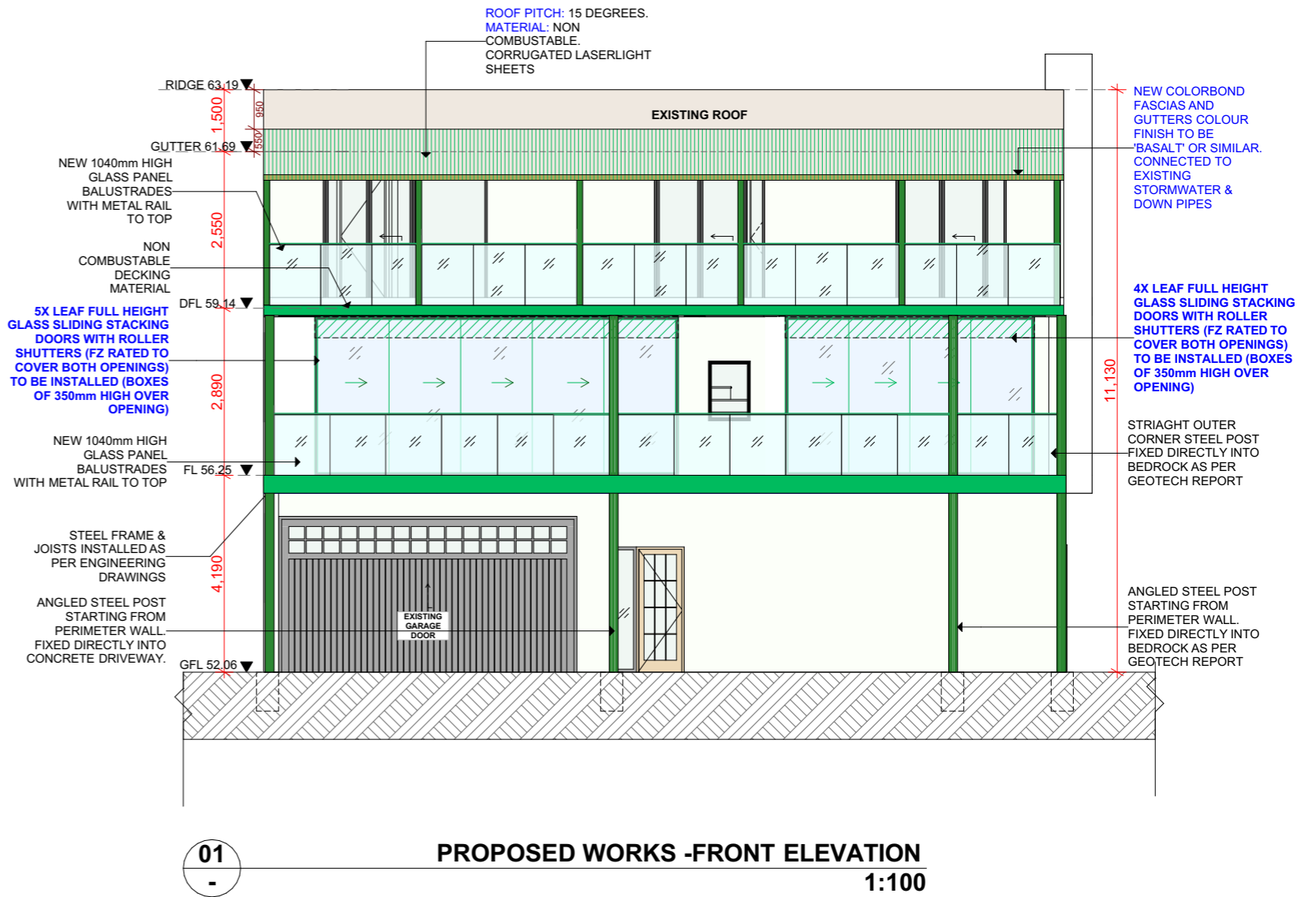
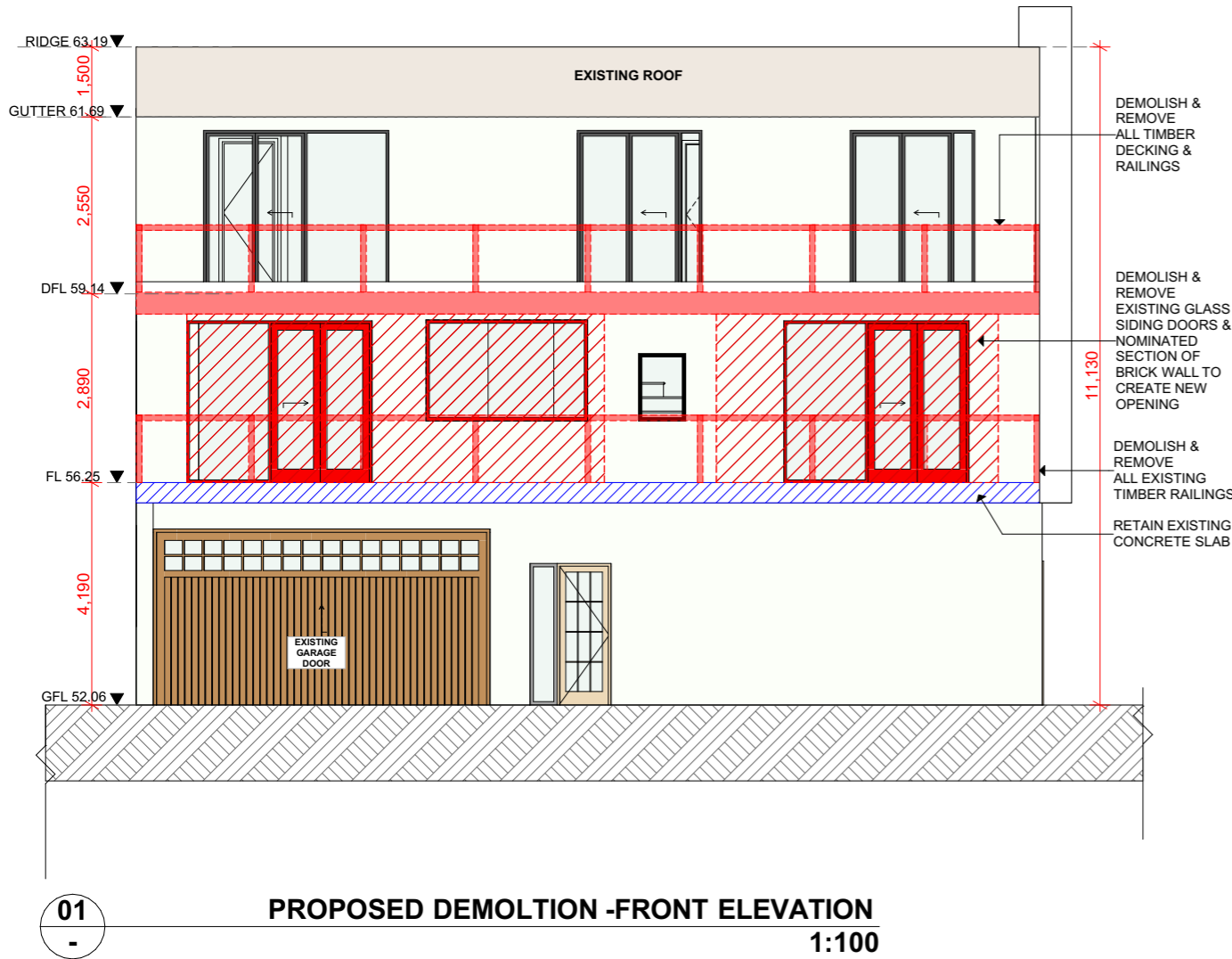
PROPOSED LAYOUT PLAN SECOND F

ISSUE DATE
05 July 2023

DRAWING NO.
ID008

APPROVAL

REVISION:
P3



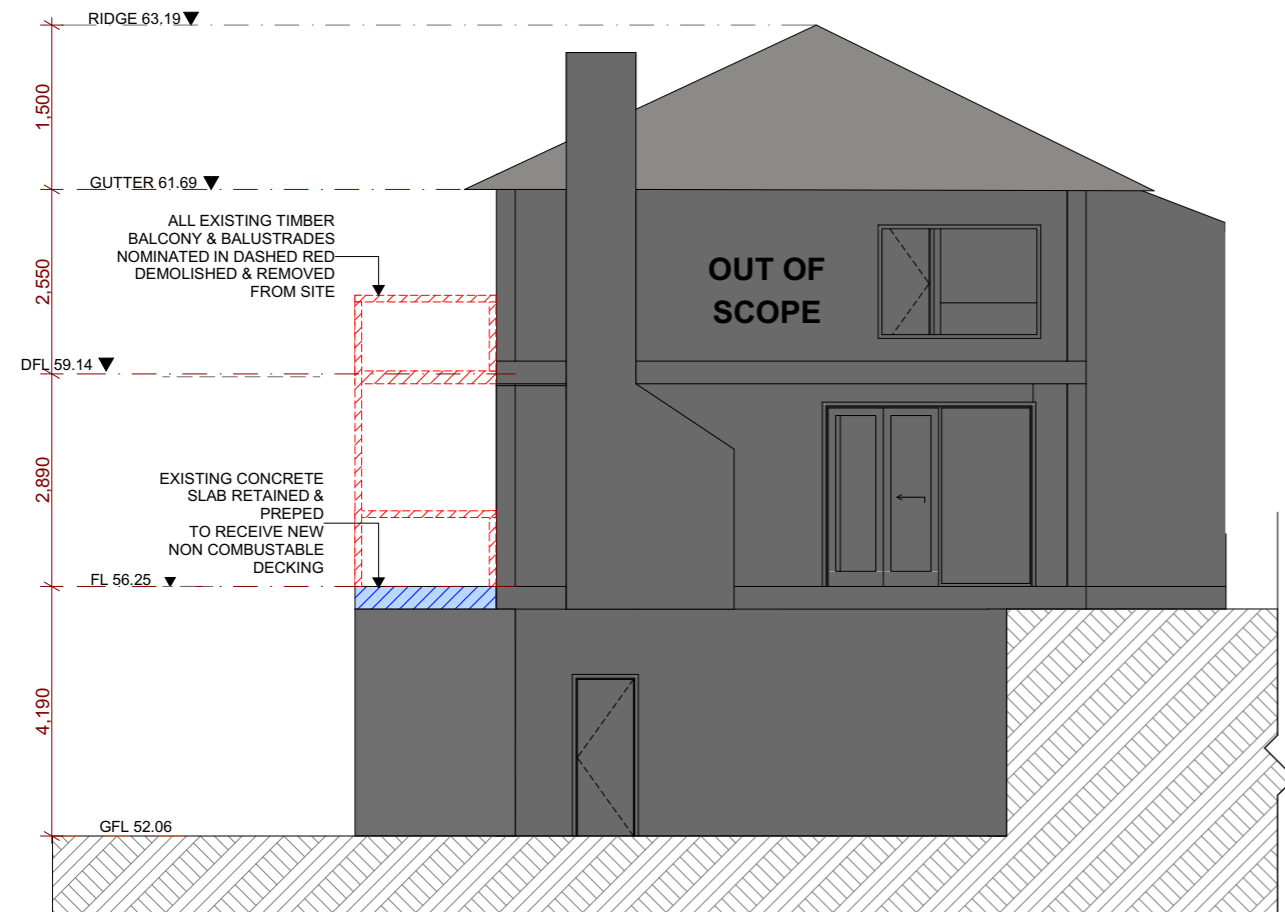
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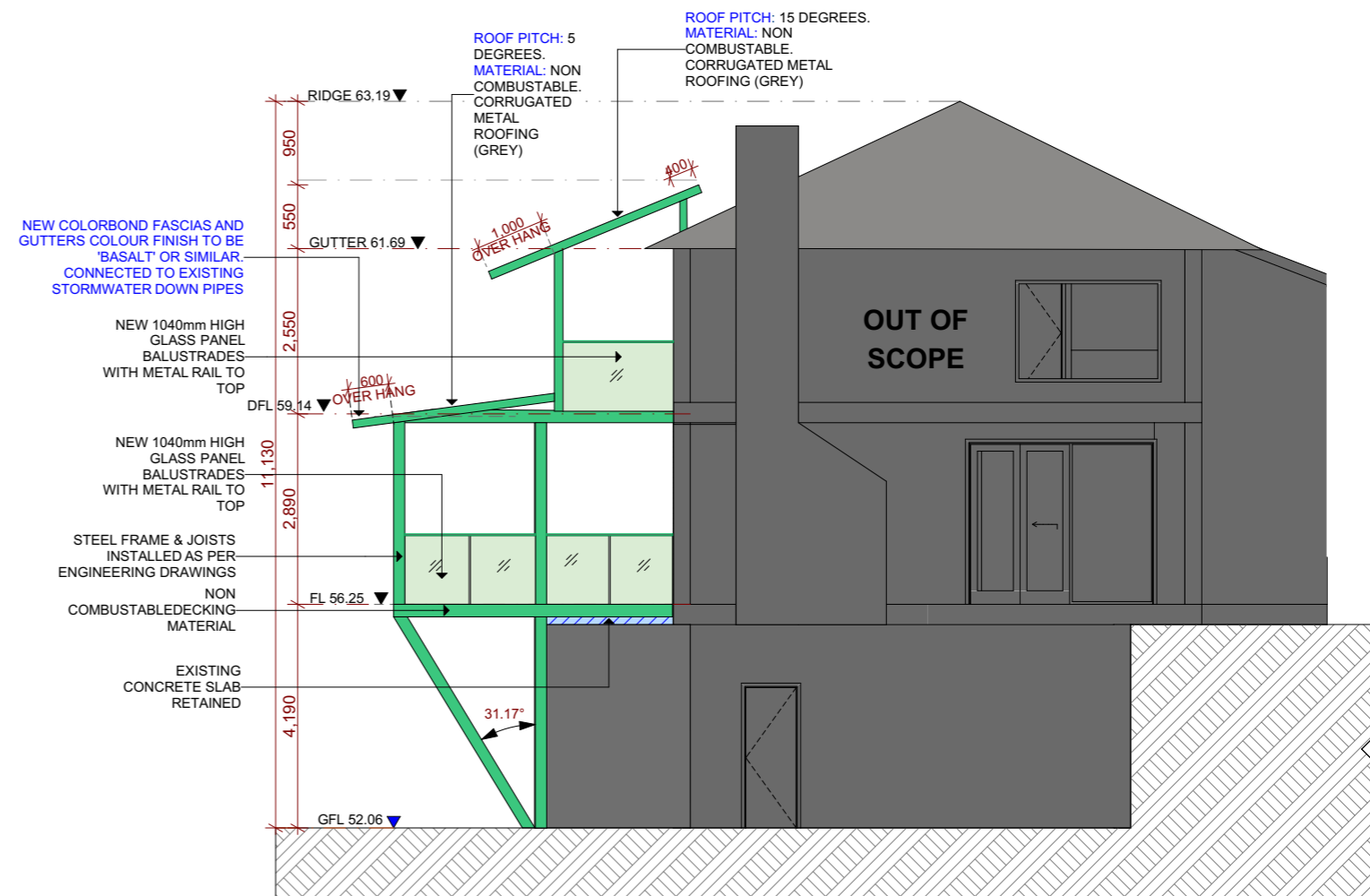
SCALE: 1:100 @ A3

NOT FOR CONSTRUCTION		
PROPOSED ELEVATION		
ISSUE DATE 05 July 2023	DRAWING NO. ID009	
APPROVAL	REVISION: P3	



02

PROPOSED DEMOLITION -SIDE ELEVATION
1:100



02

PROPOSED WORKS -SIDE ELEVATION
1:100



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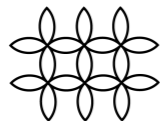
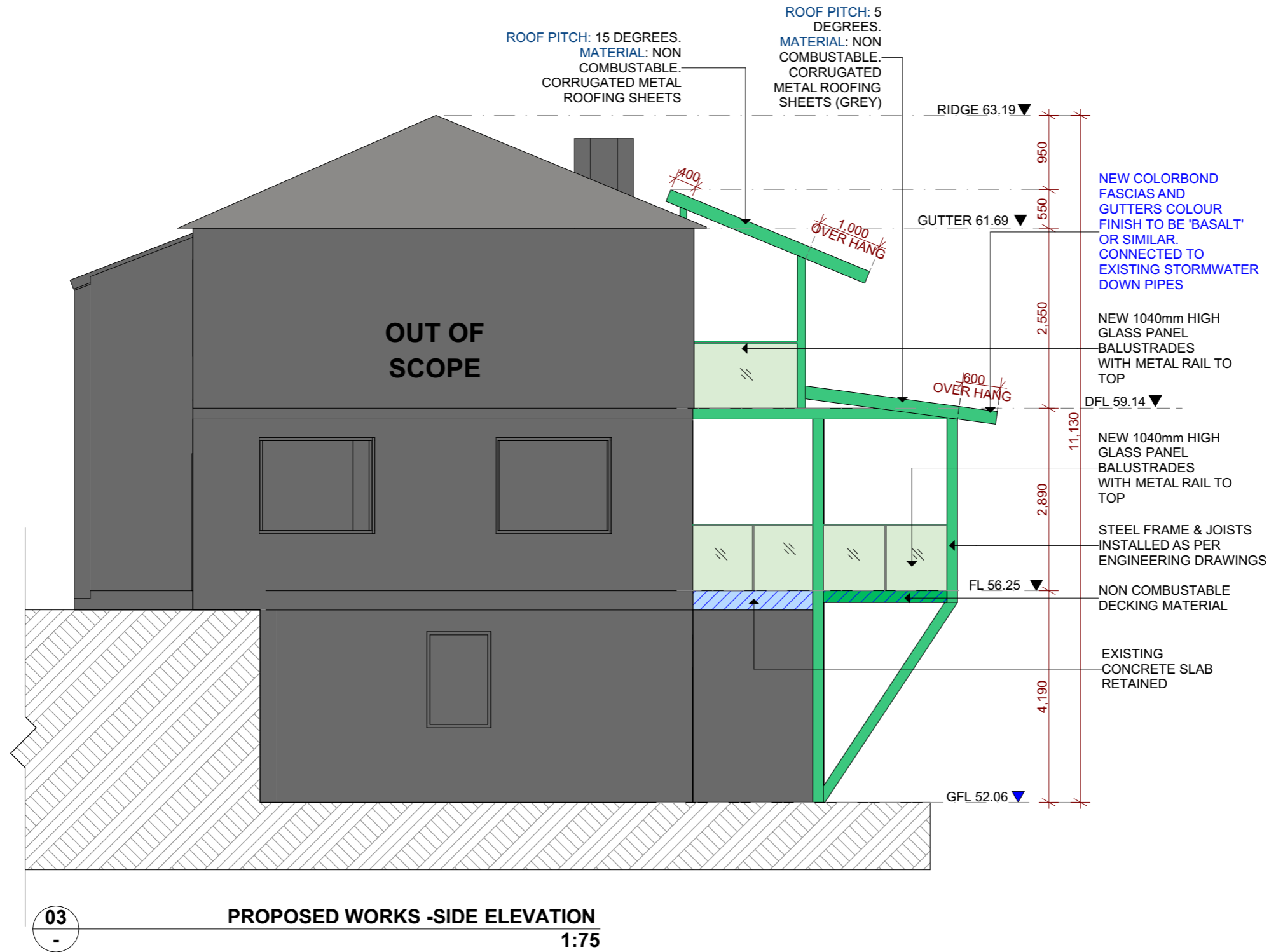
PROPOSED ELEVATION

ISSUE DATE
05 July 2023

APPROVAL

DRAWING NO.
ID010

REVISION:
P3



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SCALE: 1:75 @ A3

NOT FOR CONSTRUCTION

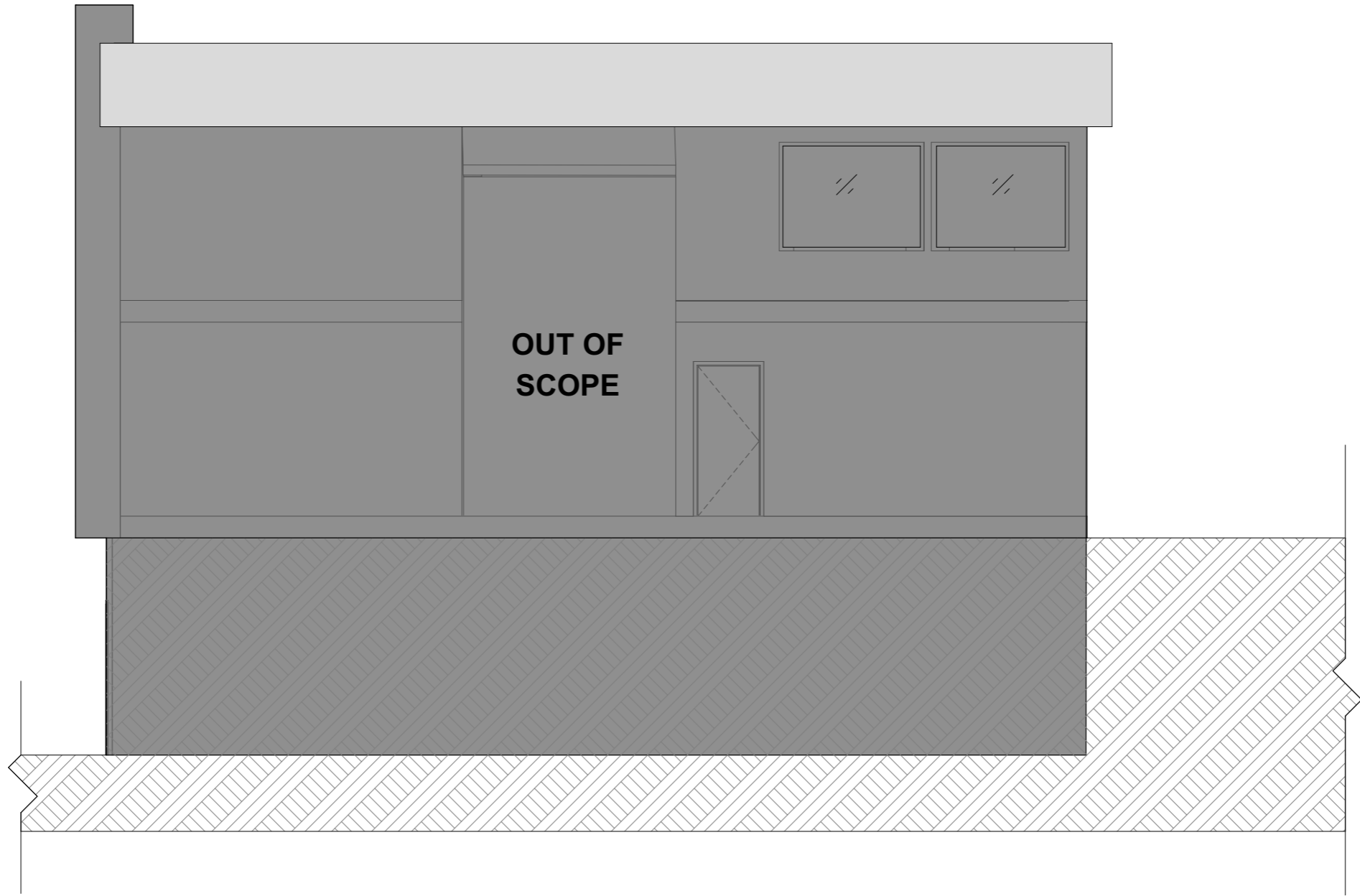
PROPOSED ELEVATION

ISSUE DATE
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APPROVAL

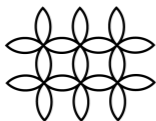
DRAWING NO.
ID011

REVISION:
P3



04
-

PROPOSED ELEVATION -BACK
1:75



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SCALE: 1:75 @ A3

NOT FOR CONSTRUCTION	
PROPOSED ELEVATION	
ISSUE DATE 05 July 2023	DRAWING NO. ID012
APPROVAL	REVISION: P3