

DRAWING REGISTER	
DRAWING NO.	DRAWING TITLE
1 INTRODUCTORY DOCUMENTS	
DA-A00	COVER SHEET
DA-A01	SITE PLAN
DA-A02	SITE ANALYSIS PLAN
DA-A03	LOWER GROUND DEMOLITION PLAN
DA-A04	GROUND FLOOR DEMOLITION PLAN
DA-A05	EXCAVATION AND FILL PLAN
DA-A06	COMPLIANCE DIAGRAM
DA-A07	COMPLIANCE DIAGRAMS
DA-A08	BASIX SUMMARY
2 GENERAL ARRANGEMENT	
DA-D01	LOWER GROUND FLOOR PLAN
DA-D02	GROUND FLOOR PLAN
DA-D03	FIRST FLOOR PLAN
DA-D04	GARAGE FLOOR PLAN
DA-D05	ROOF PLAN
DA-E01	ELEVATION SOUTH
DA-E02	ELEVATION NORTH
DA-E03	ELEVATIONS EAST + WEST
DA-F01	SECTIONS A+B+C
DA-F02	SECTIONS D
DA-F03	SECTIONS E
3 APPENDICES	
DA-M01	SCHEDULE OF MATERIALS + FINISHES
DA-P01	3D PERSPECTIVES
DA-S01	SHADOW DIAGRAM EXISTING - WINTER - VIEW 1
DA-S02	SHADOW DIAGRAM EXISTING - WINTER - VIEW 2 (WITH PHOTOS)
DA-S03	SHADOW DIAGRAM EXISTING - WINTER - VIEW 2 (WITH PHOTOS) (1)
DA-S04	SHADOW DIAGRAM PROPOSED - WINTER - VIEW 1
DA-S05	SHADOW DIAGRAM PROPOSED - WINTER - VIEW 2
DA-W01	WASTE MANAGEMENT & CVMP SITE PLAN
DA-W02	DRIVEWAY PROFILE



1 SITE AERIAL PHOTO

KEY

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

SCALE
NTS

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

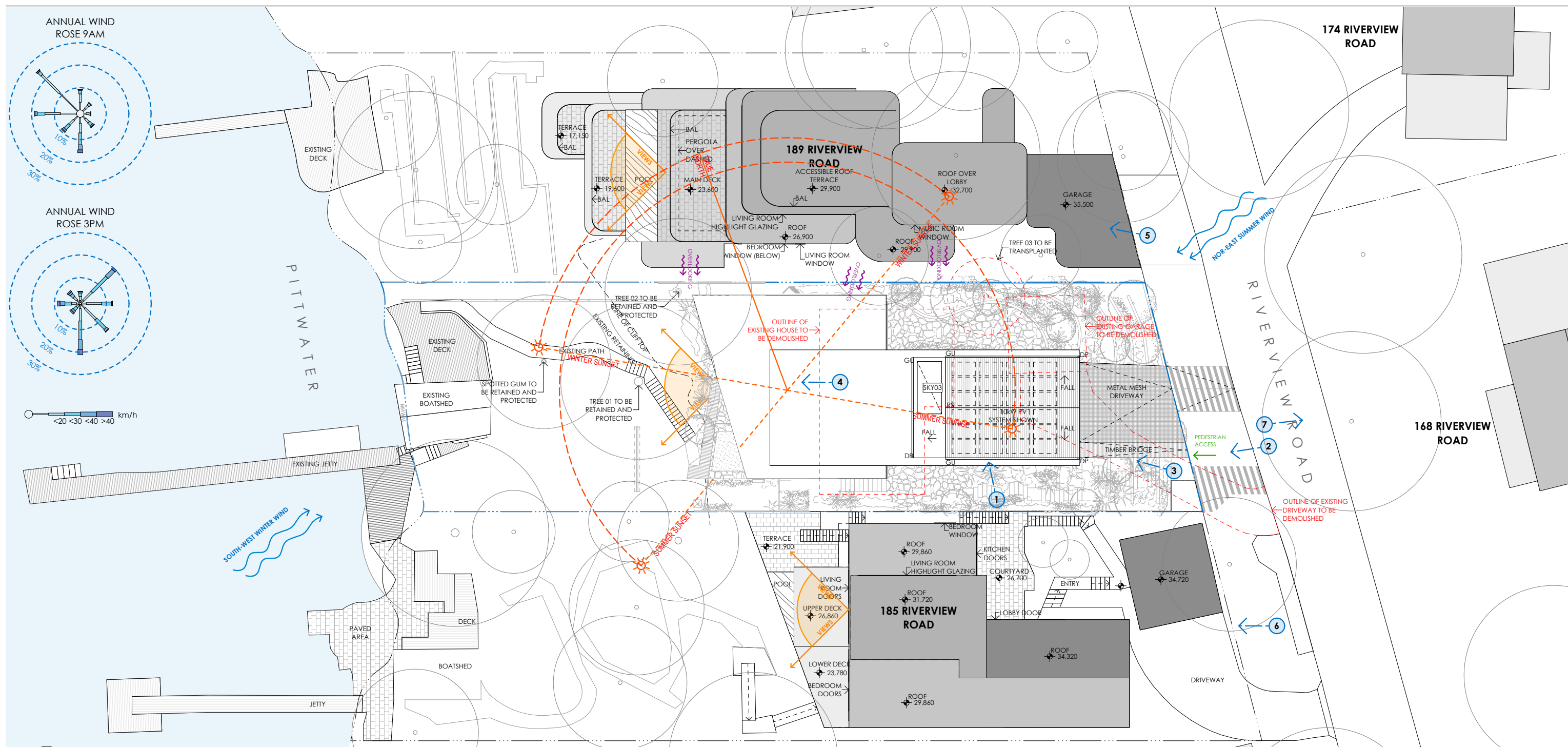
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

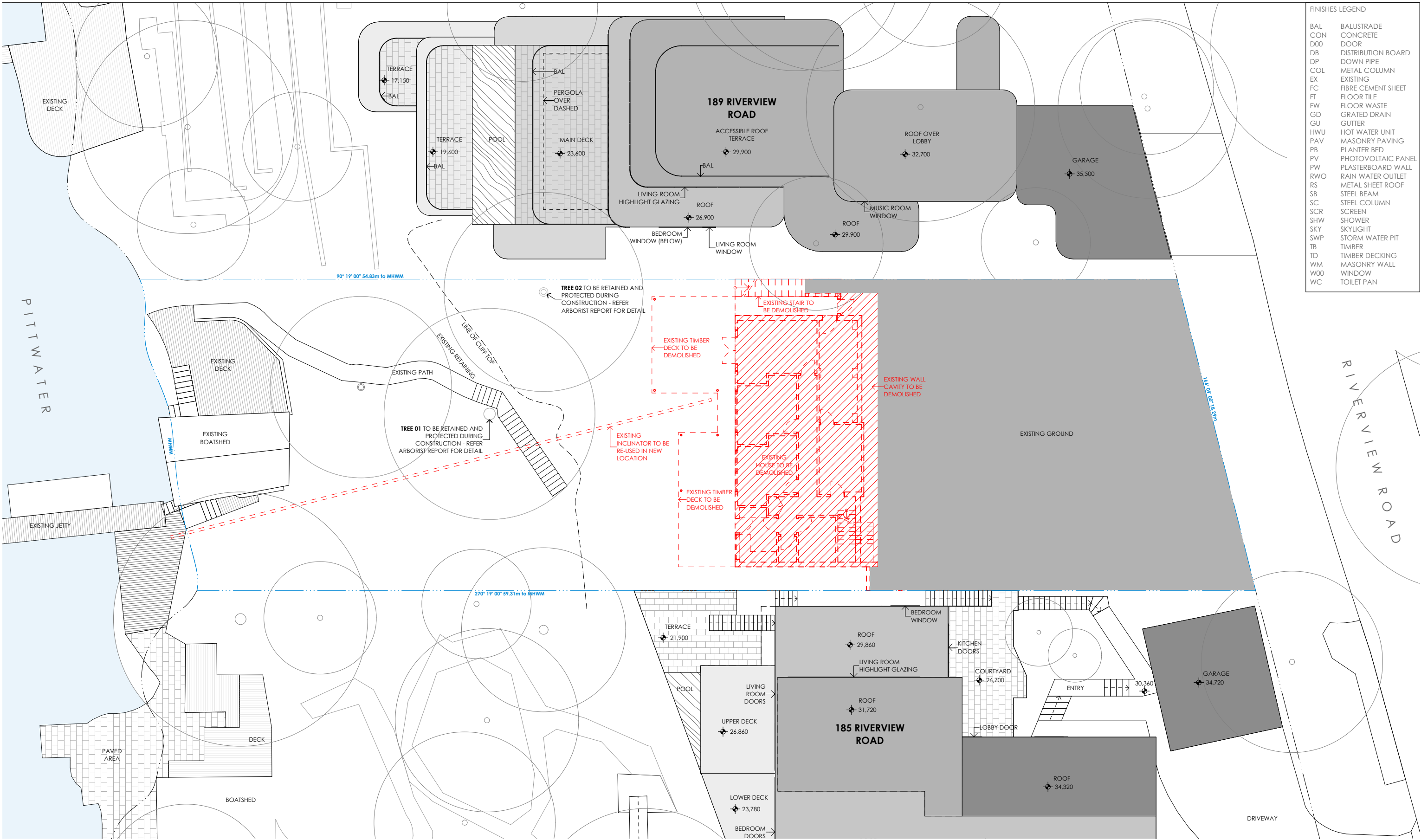
DRAWING
COVER SHEET

REV.
A

DA-A00








FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01
-
DEMOLITION PLAN
1:200



ANDREW BURGESS
ARCHITECTS


studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

KEY

- EXISTING STRUCTURES/HARD SURFACES TO BE DEMOLISHED
- EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
- EXISTING NEIGHBOURS
- EXISTING TREES TO BE DEMOLISHED
(REFER ARBORIST REPORT FOR MORE DETAIL)
- EXISTING TREES TO BE RETAINED
(REFER ARBORIST REPORT FOR MORE DETAIL)

SCALE
1:200 @ A3

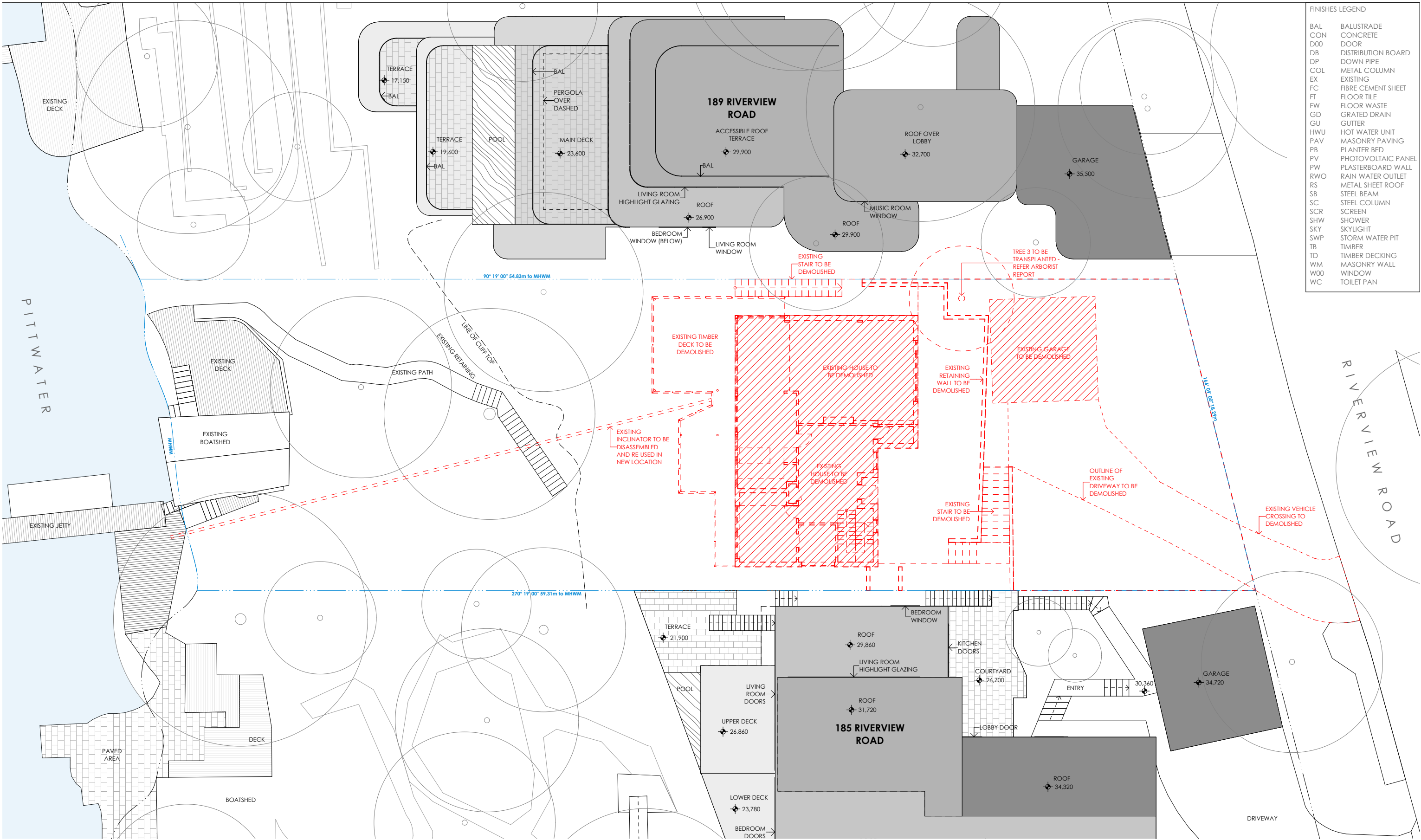


CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH


DRAWING
LOWER GROUND
DEMOLITION PLAN
REV.
A

DA-A03



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01
-
DEMOLITION PLAN
1:200




ANDREW BURGESS
ARCHITECTS

studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION






SCALE
1:200 @ A3



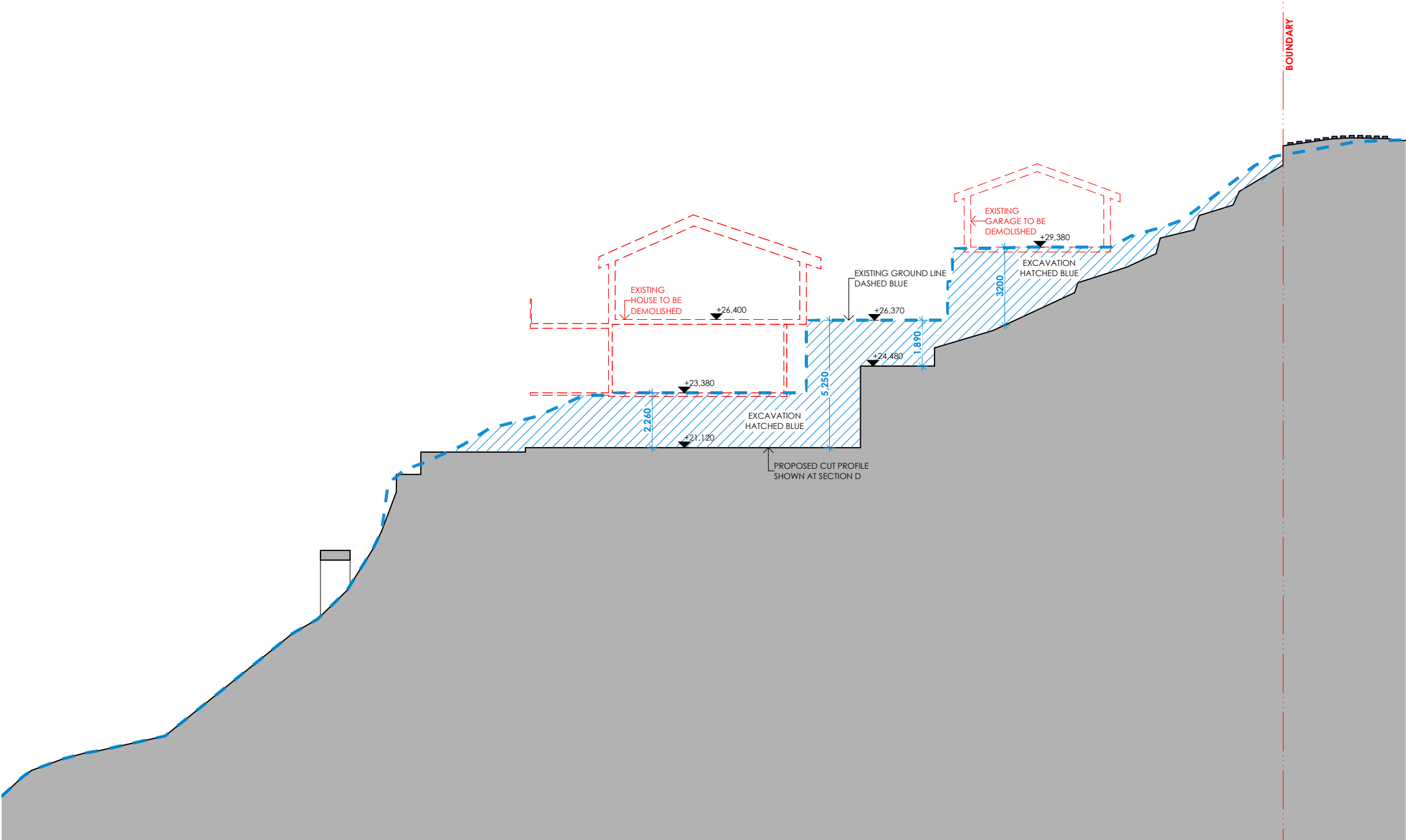
CLIENT ADAM & VANESSA RICHARDS FIRST ISSUE 28.09.2023	ADDRESS 187 RIVERVIEW ROAD AVALON BEACH
---	---

DRAWING
GROUND FLOOR
DEMOLITION PLAN
REV.
A

DA-A04

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE DEMOLISHED
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	EXISTING TREES TO BE DEMOLISHED (REFER ARBORIST REPORT FOR MORE DETAIL)
	EXISTING TREES TO BE RETAINED (REFER ARBORIST REPORT FOR MORE DETAIL)

FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN



01
- CUT & FILL DIAGRAM - SECTION C
1:200



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

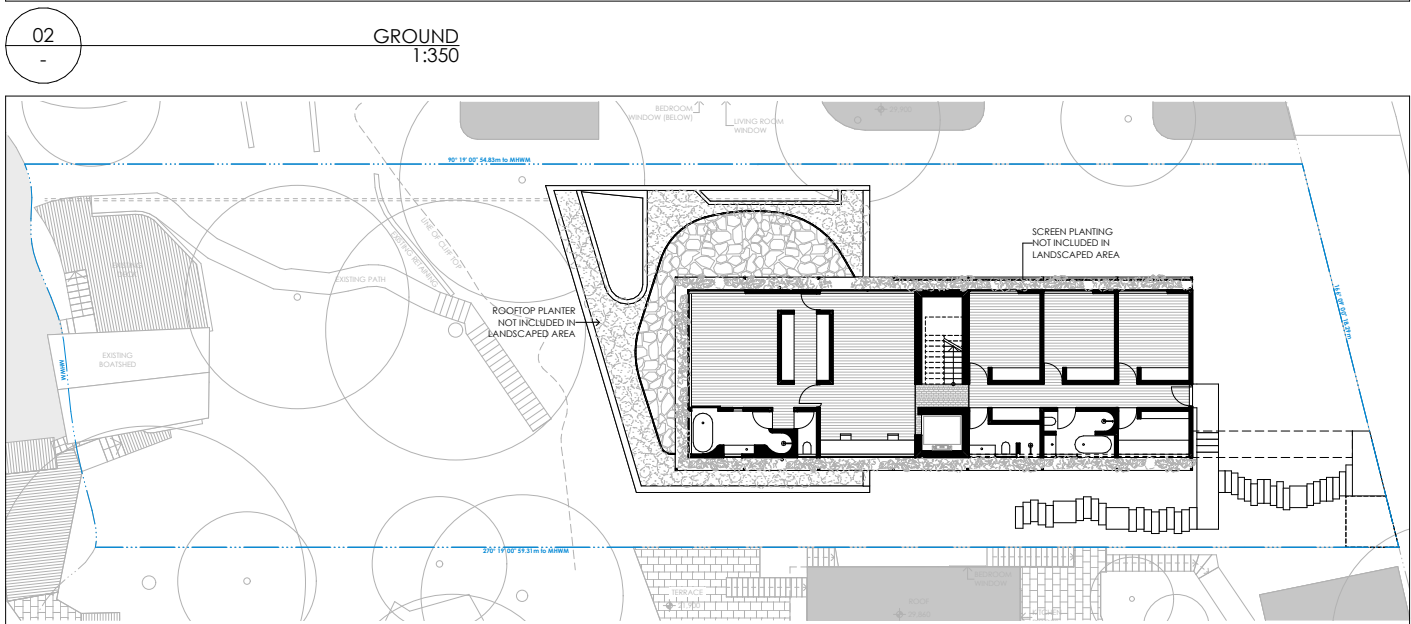
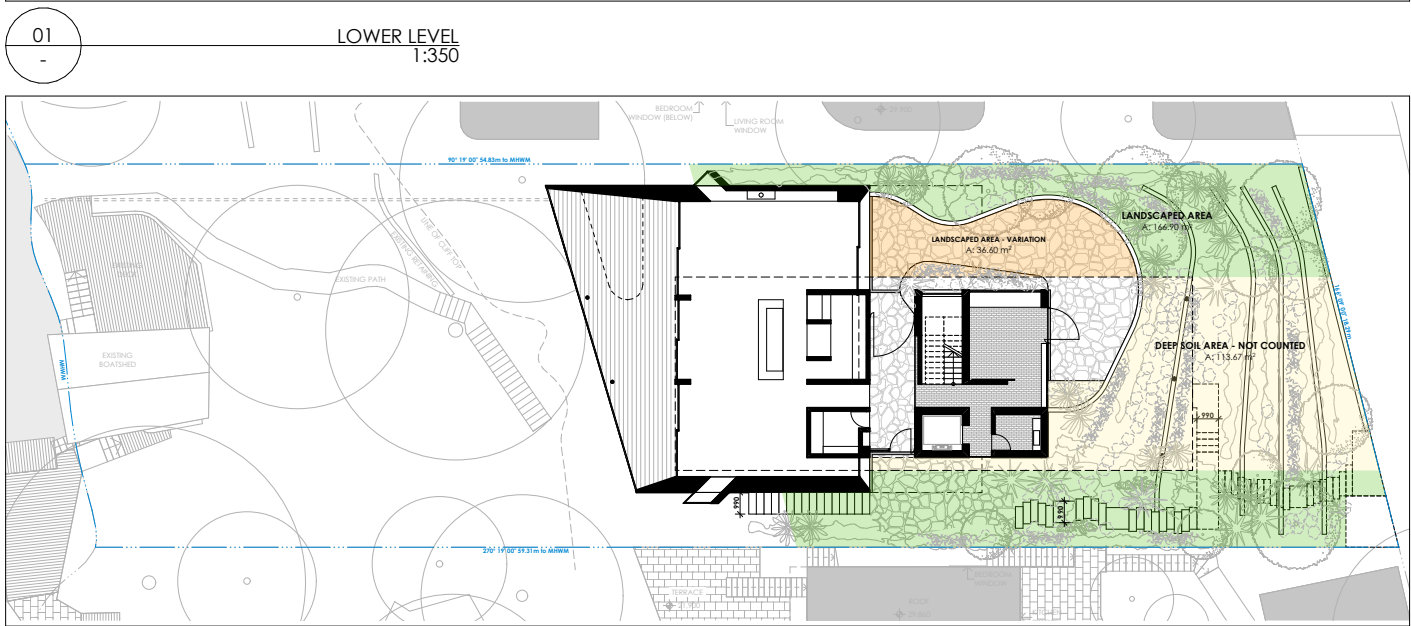
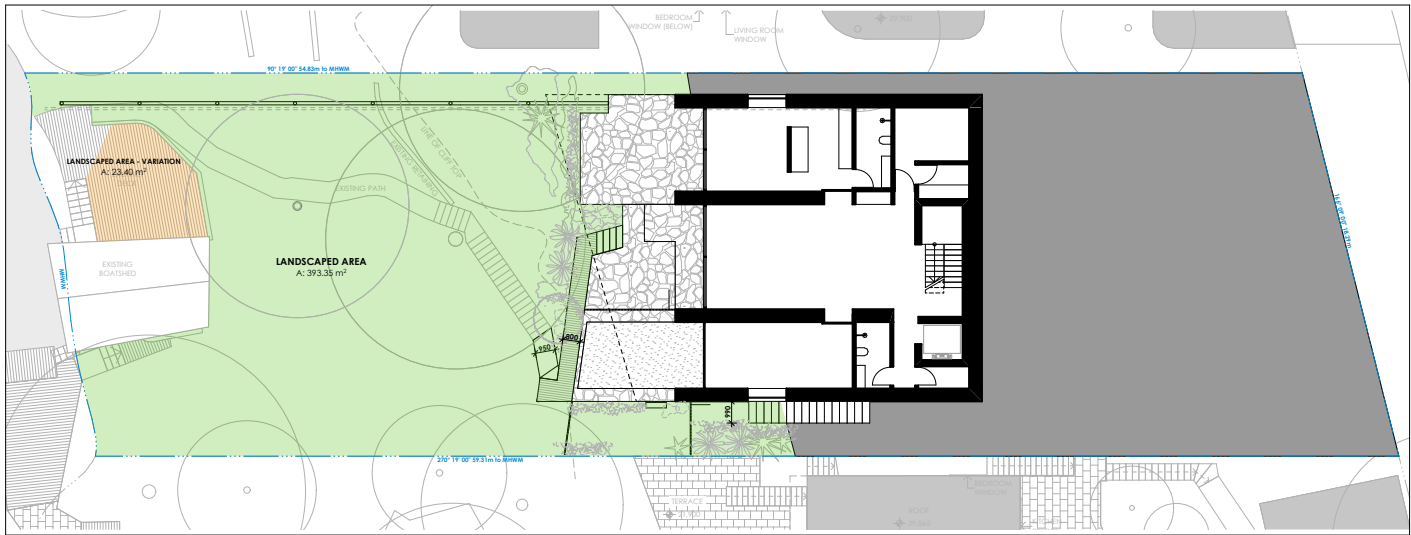
SCALE
1:200 @ A3

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

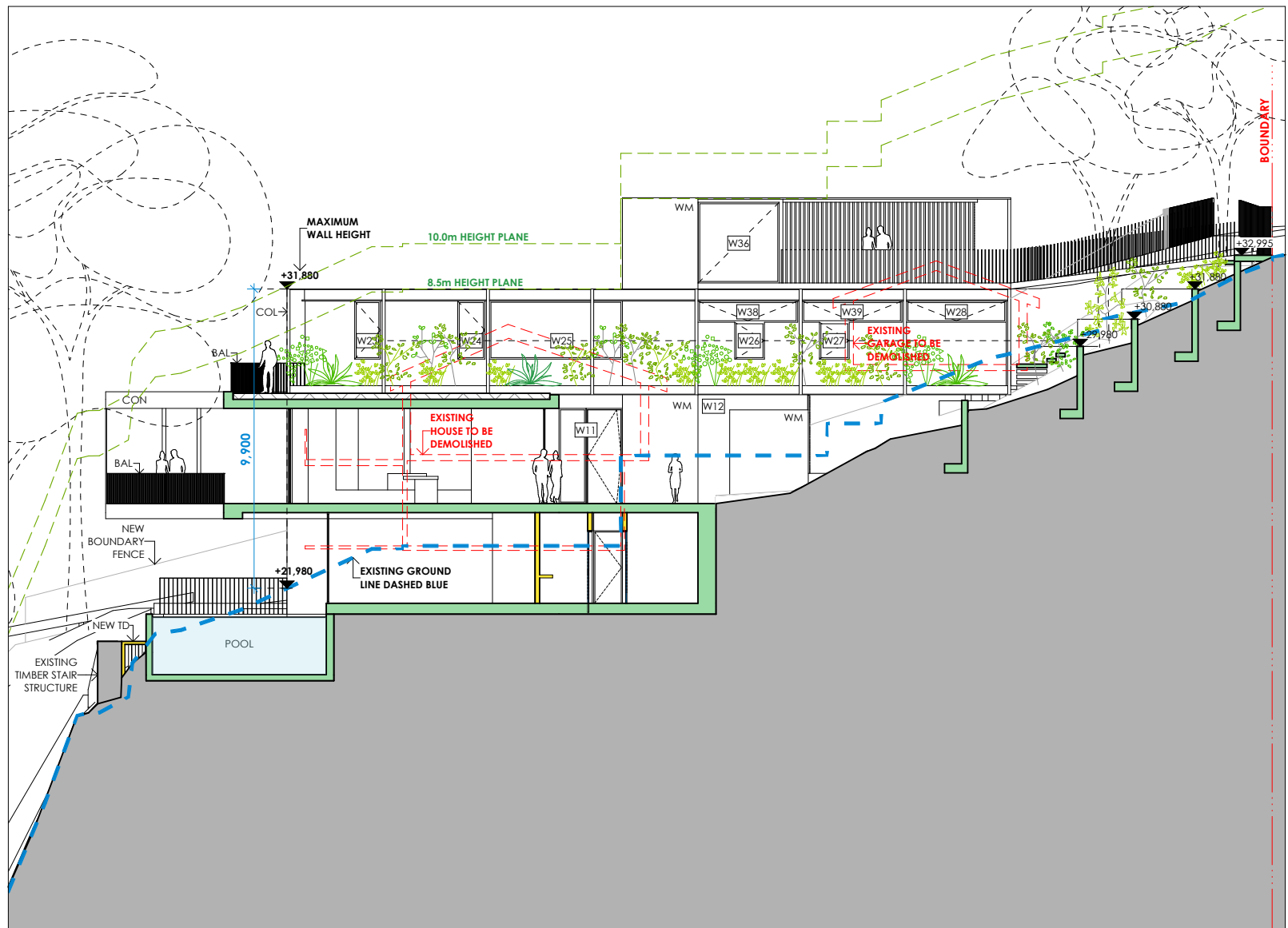
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
EXCAVATION AND FILL
PLAN
REV.
A

DA-A05



LANDSCAPED AREA:	
SITE AREA:	=1012m ²
PERMITTED 6% VARIATION:	=60m ²
LOWER GROUND:	=393.3m ²
GROUND:	=166.9m ²
UPPER:	=nil
6% VARIATION:	=23.4 + 36.6m ²
	=60m ²
TOTAL:	=620.2m²
MIN. REQUIRED:	=607m ²
ADDITIONAL DEEP SOIL (NOT INCLUDED IN TOTAL)	=113m ²



ANDREW BURGESS ARCHITECTS

studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY

- EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
- EXISTING NEIGHBOURS
- PROPOSED MASONRY STRUCTURE
- PROPOSED TIMBER FRAMED STRUCTURE
- PROPOSED CONCRETE STRUCTURE
- PROPOSED METAL STRUCTURE
- PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

SCALE
1:350 @ A3

CLIENT
ADAM & VANESSA RICHARDS
FIRST ISSUE
28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
COMPLIANCE DIAGRAM

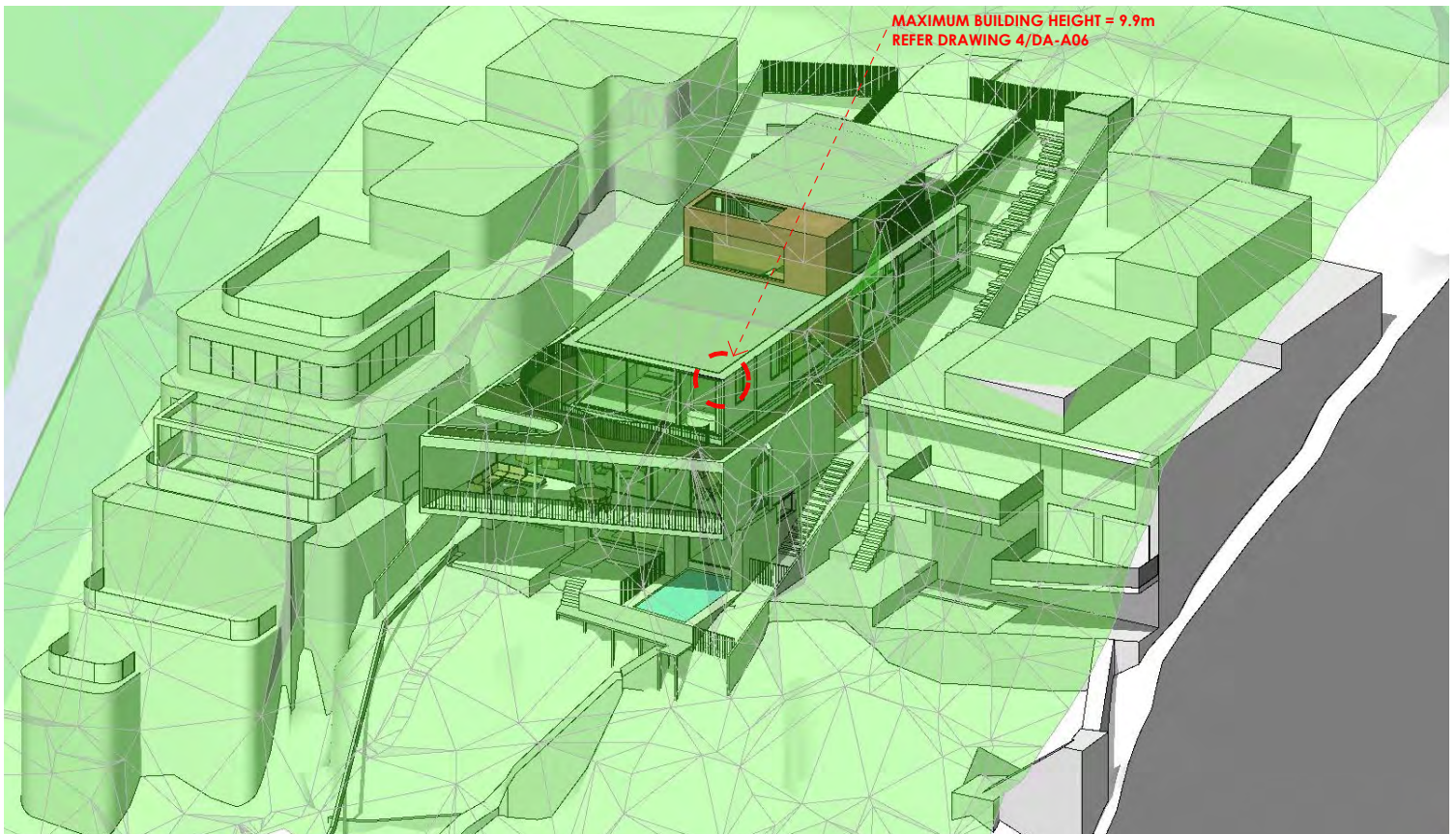
REV.
A

DA-A06



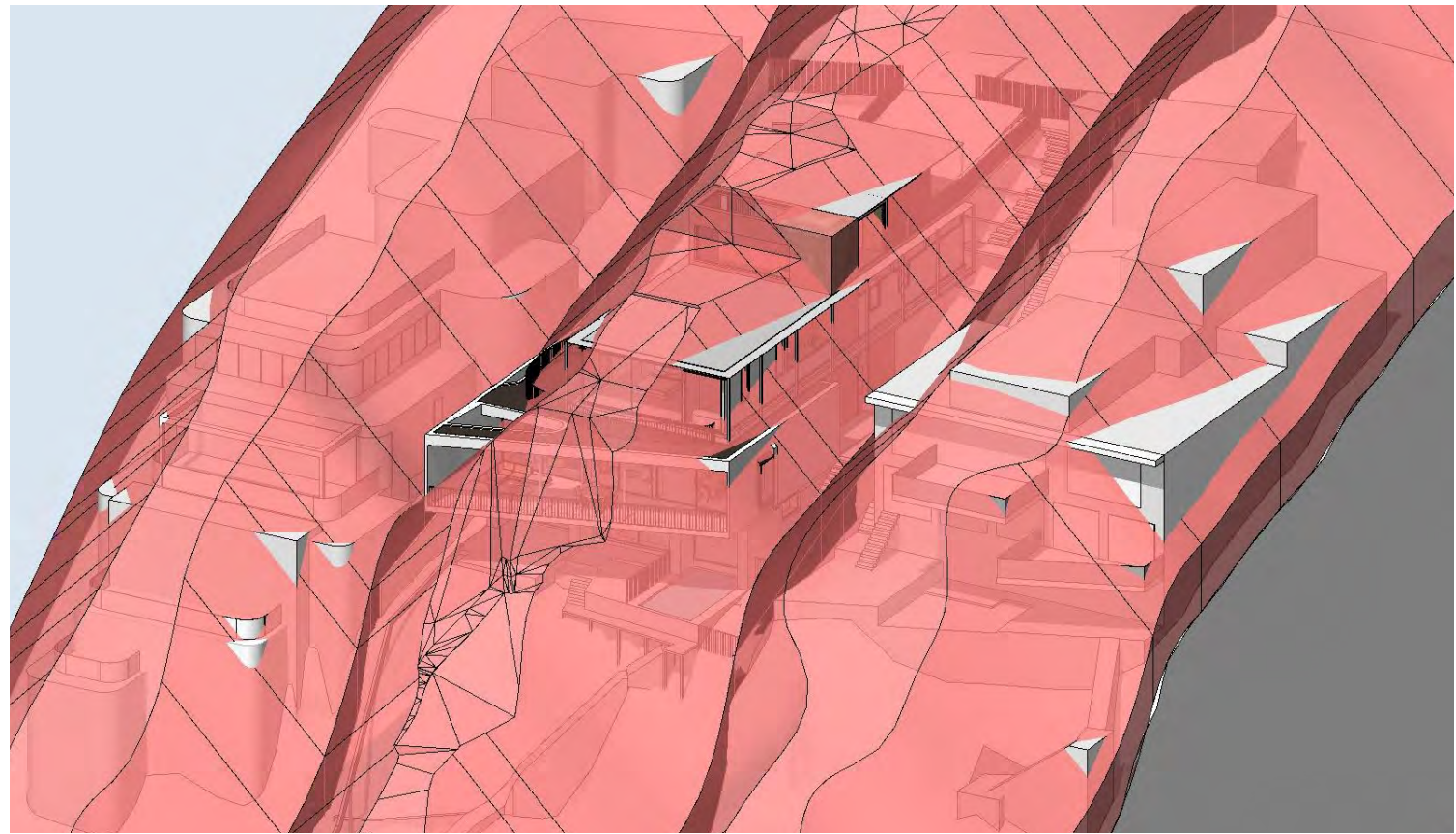
01
-

8.5m LEP PLANE



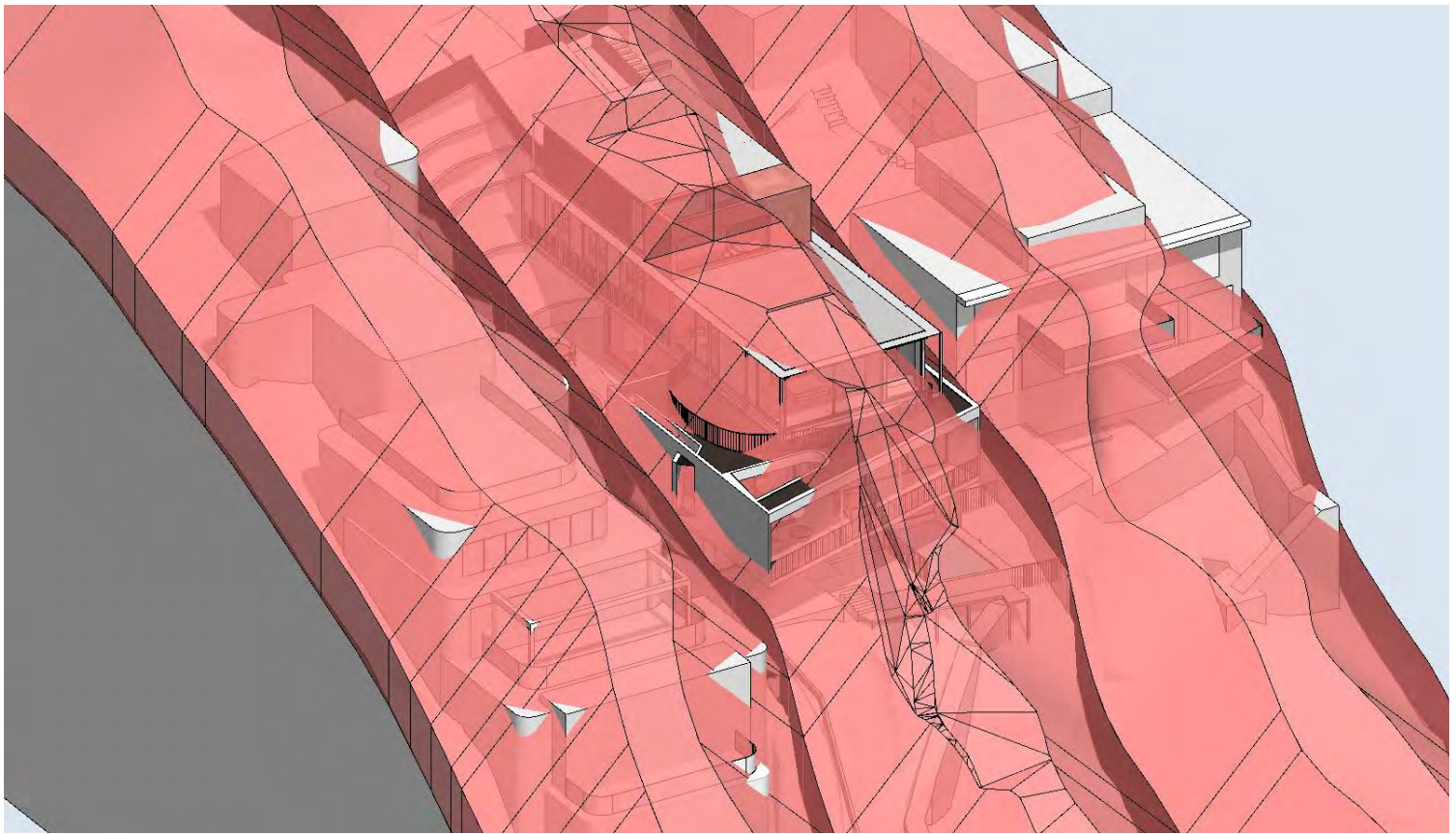
02
-

10.0m LEP PLANE



03
-

DCP BUILDING ENVELOPE - SOUTH



04
-

DCP BUILDING ENVELOPE - NORTH



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY		EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
		EXISTING NEIGHBOURS
		PROPOSED MASONRY STRUCTURE
		PROPOSED TIMBER FRAMED STRUCTURE
		PROPOSED CONCRETE STRUCTURE
		PROPOSED METAL STRUCTURE
		PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

SCALE
NTS

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
COMPLIANCE
DIAGRAMS
REV.
A

DA-A07

BASIX COMMITMENTS

WATER AND ENERGY
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 50 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (>4.5 but <=6 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet.
The applicant must install taps with a minimum rating of 6 star in the kitchen.
The applicant must instal basin taps with a minimum rating of 6 star in each bathroom.
Alternative water - Rainwater tank
The applicant must install a rainwater tank of at least 5000 liters on the site. This tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 236 square metres of roof area.
The applicant must connect the rainwater tank to the cold water tap supplying the clothes washer and to at least one outdoor tap.
The applicant must connect the tank to at least one outdoor tap in the development.
Swimming pool
The swimming pool must not have a volume greater than 24 kilolitres.
The swimming pool must be outdoors.
Hot water recirculation/divrsion system
The applicant must install an on demand hot water recirculation system which regulates all hot water throughout the development.
Hot water
The applicant must install the following hot water system in the development, of a system with a higher enrgy rating: gas instantaneous.
Cooling system
The applicant must install the followng cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 star
The applicant must install the followng cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 star
The cooling system must provide for day/night zoning between living areas and bedrooms.
Heating system
The applicant must install the followng heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 star
The applicant must install the followng heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 star
The heating system must provide for day/night zoning between living areas and bedrooms.
Ventilation
The applicant must install the following ventilaton systems: At least 1 bathroom: no mechanical ventilation (natural ventilation) Kitchen: individual fan, ducted to facade or roof, manually operated switch. Laundry: individual fan, not ducted, manually operated switch

Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms; <ul style="list-style-type: none">at least 6 of the bedrooms / study; dedicatedat least 3 of the living / dining rooms; dedicatedthe kitchen; dedicatedall bathrooms/toilets; dedicatedthe laundry; dedicatedall hallways; dedicated
Natural lighting
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s).
The applicant must install a timer for the swimming pool pump.
Swimming pool
The applicant must install the following heating system for the swimming pool in the declopmnt: gas
The applicant must install a timer for swimming pool pump.
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 6 peak kilowatts of electricity. The applicant must connect this system to the electrical system.
Other
The applicant must install a gas cooktop &electric oven in the kitchen.
The applicant must construct each refrigerator space in the development so that it is "well ventilated".

NATHERS THERMAL COMMITMENTS

THERMAL COMMITMENTS
Nather Certificate number: Assessor number: 20758 Climate zone: 56
Window ALM-004-03 Glass Air Fill High Solar Gain low-E -Clear Frame Aluminium U-VALUE = 4.30 SHGC = 0.53 External Wall Concrete Blobk Bulk Insulation R1.7 Weatherbourd Cavity Panel Direct Fix Bulk Insulation R2.50 Concrete Block to earth Bulk Insulation R1.7 Internal Wall Cavity wall, direct fix plasterboard, single gap Bulk Insulation in Contact with Floor R 1.5 Concrete Block Bulk Insulation, Air Gap R 1.5 External Floor Concrete Slab on Ground 100mm Bare Bul Insulation in Contact with Floor R 2.5 Suspended Concrete Slab 150mm Bare Bulk Insulation in Contact with Floor R 2.5 External Ceiling Concrete, Plasterboard Bulk Insulation R2.3 No roofspace cavity. Plasterboard Bulk Insulation R5 No roofspace cavity. Plasterboard No Insulation to Garage Internal Floor/Ceiling Concrete Above Plasterboard No Insulation Roof (Horizontal area) Concrete Bulk Insulation, No Air Gap Above R 3.4 2° slope Skillion roof. corrugated Iron Bulk Reflective Side Down No Air Gap Above, R0.7, 2° slope Skillion roof. Fans Ceilings Fans living room, dining room and kitchen.

DOOR AND WINDOW SCHEDULE

DOOR & WINDOW TYPES	
TYPE 1	ALM-004-03 Glass Air Fill High Solar Gain low-E -Clear Frame Aluminium U-VALUE = 4.30 SHGC = 0.53
SKY 1	Double-glazed clear Skylight

DOOR & WINDOW SCHEDULE					
CODE	LOCATION	WIDTH (m)	HEIGHT (m)		TYPE
W-01	GUEST BED	3.88	3.00	W	TYPE 1
W-02	RUMPUS	4.85	3.00	W	TYPE 1
W-03	GYM	3.00	3.00	W	TYPE 1
W-04	GYM	1.80	0.90	S	TYPE 1
W-05	GUEST BED	1.80	0.90	N	TYPE 1
W-06	LIVING	4.36	3.15	W	TYPE 1
W-07	KITCHEN	3.70	3.15	W	TYPE 1
W-08	DINING	4.30	3.15	W	TYPE 1
W-09	DINING	1.24	2.35	S	TYPE 1
W-10	DINING	0.90	3.15	E	TYPE 1
W-11	ENTRY	2.10	3.60	S	TYPE 1
W-12	LIFT LOBBY	1.05	3.10	S	TYPE 1
W-13	WC	3.63	0.50	S	TYPE 1
W-14	WC	1.98	0.50	E	TYPE 1
W-15	TV ROOM	4.65	3.06	E	TYPE 1
W-16	TV ROOM	3.35	3.15	N	TYPE 1
W-17	STAIRWELL	1.90	1.41	N	TYPE 1
W-18	ENTRY	2.10	3.60	N	TYPE 1
W-19	LIVING	4.11	3.15	E	TYPE 1
W-20	LIVING	0.87	2.70	NW	TYPE 1
W-21	MAIN BED	5.45	2.80	W	TYPE 1
W-22	ENSUITE	2.00	2.80	W	TYPE 1
W-23	ENSUITE	0.85	1.93	S	TYPE 1
W-24	ENSUITE	0.90	1.93	S	TYPE 1
W-25	STUDY	4.40	1.93	S	TYPE 1
W-26	BATH 1	0.99	1.20	S	TYPE 1
W-27	BATH 2	0.99	1.20	S	TYPE 1
W-28	LAUNDRY	3.30	0.70	S	TYPE 1
W-29	BED 4	2.30	2.35	N	TYPE 1
W-30	BED 3	2.30	2.35	N	TYPE 1
W-31	BED 2	2.30	2.35	N	TYPE 1
W-32	STUDY	4.40	2.80	N	TYPE 1
W-34	MAIN BED	2.65	2.80	N	TYPE 1
W-35	GARAGE	5.15	1.85	W	TYPE 1
W-36	GARAGE	2.68	2.67	S	TYPE 1
W-37	GARAGE	1.28	2.67	N	TYPE 1
W-38	BATH 1	3.30	0.70	S	TYPE 1
W-39	BATH 2	3.30	0.70	S	TYPE 1
SKY-01	DECK	2.70	4.00	SKY	UNGLAZED
SKY-02	LIVING	0.52	5.20	SKY	SKY 1
SKY-03	STAIRWELL	4.05	2.20	SKY	SKY 1



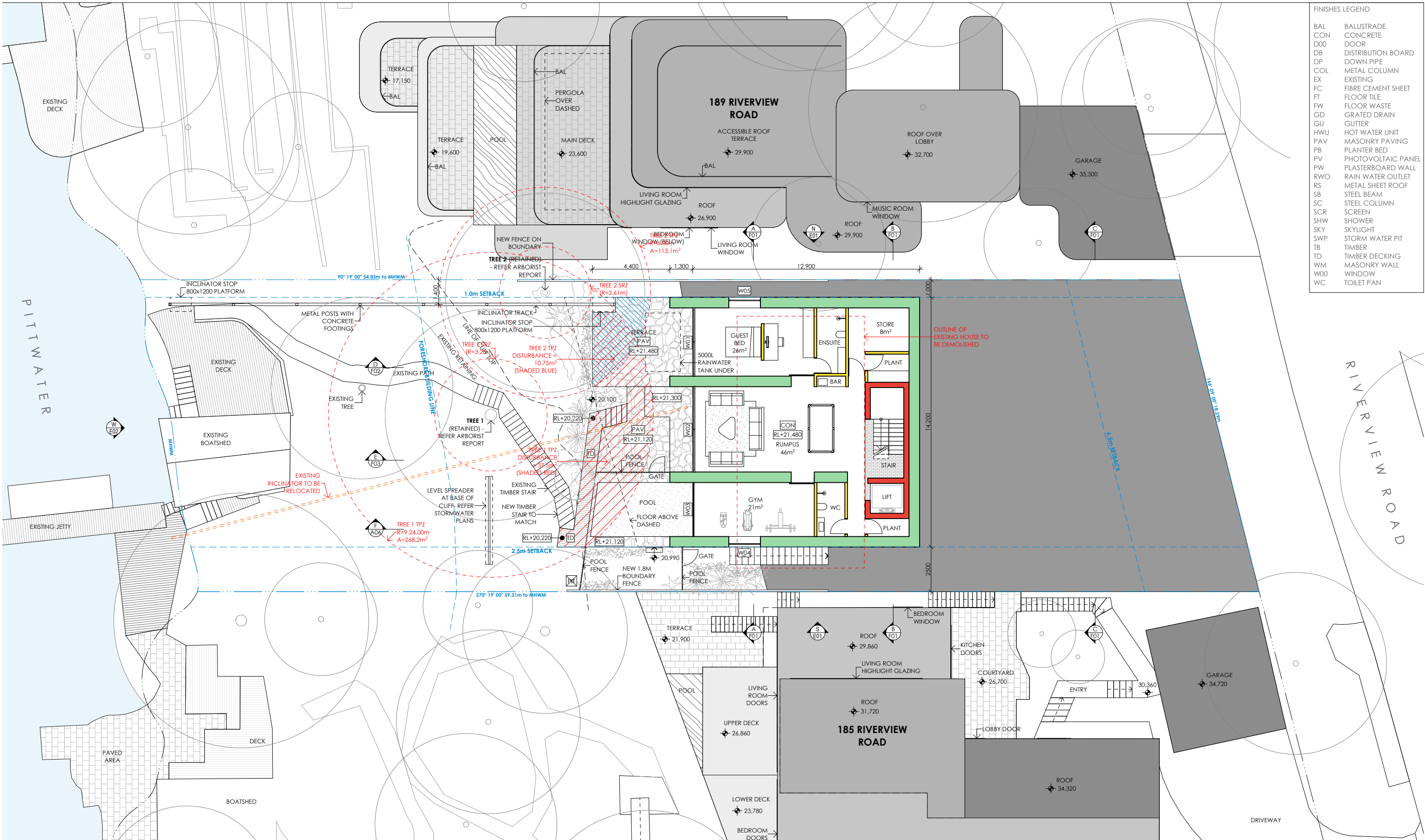
studio 32, 61 marlbrough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

SCALE

CLIENT ADAM & VANESSA RICHARDS FIRST ISSUE 28.09.2023	DRAWING BASIX SUMMARY REV. A
ADDRESS 187 RIVERVIEW ROAD AVALON BEACH	DA-A08



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01 LOWER GROUND FLOOR PLAN
1:200



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



SCALE
1:200 @ A3

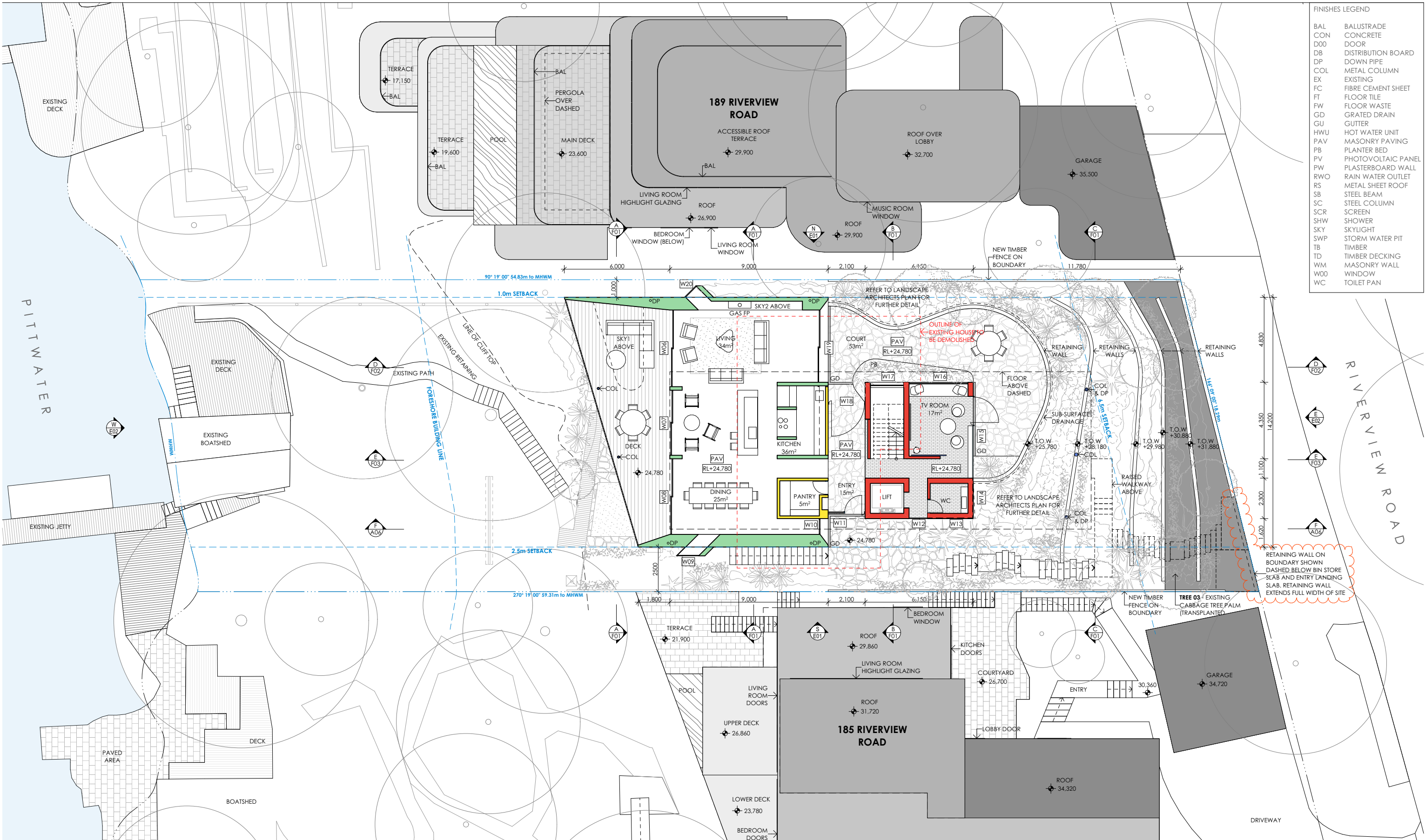


CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

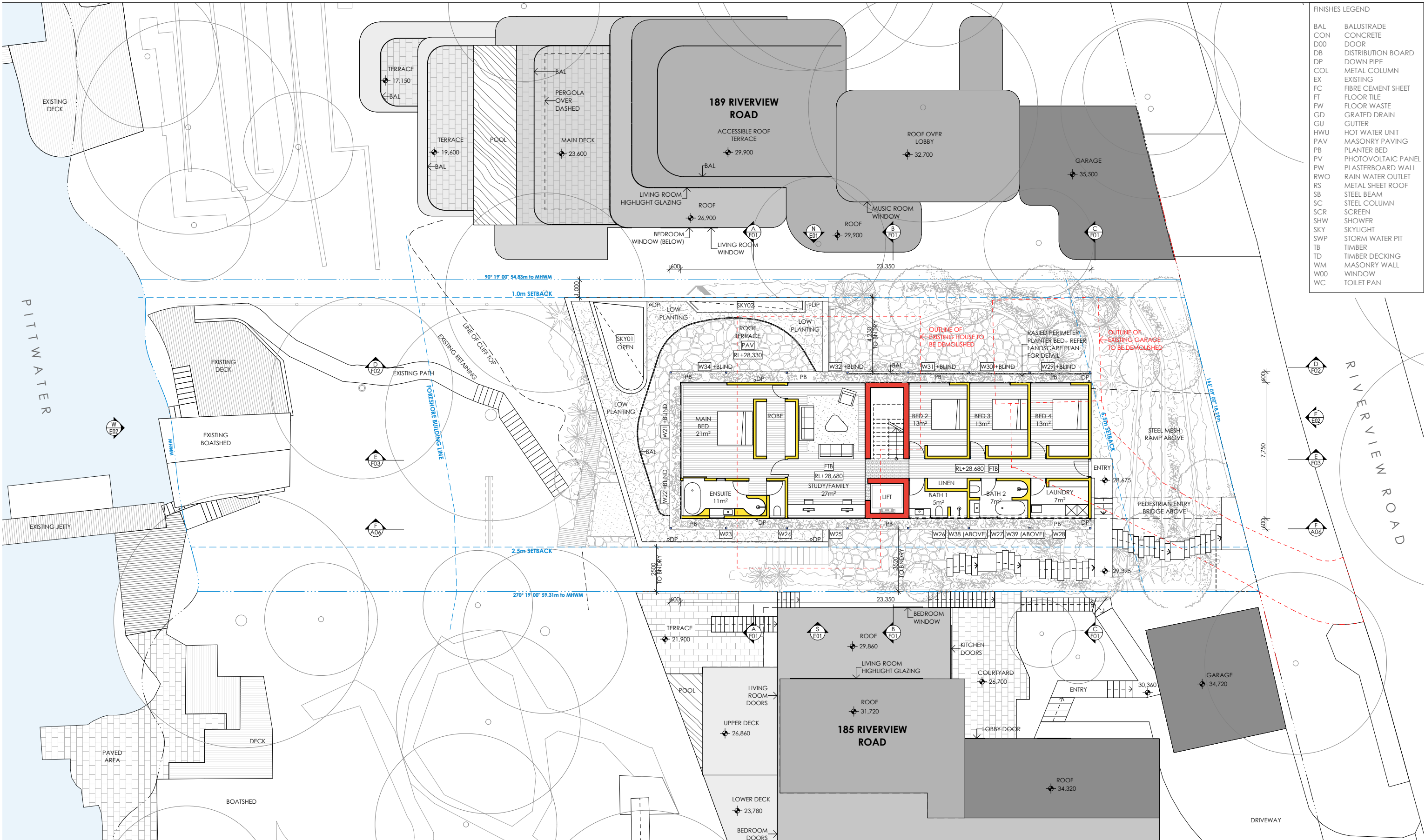
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
LOWER GROUND FLOOR
PLAN
REV.
A

DA-D01



01 GROUND FLOOR PLAN 1:200



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01 FIRST FLOOR PLAN
1:200



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

0008950776 27 Sep 2023
Assessor Cameron McFadzean
Accreditation No. 20758
Address 187 Riverview Rd, Avalon Beach, NSW, 2107
www.nathers.gov.au

hstar.com.au

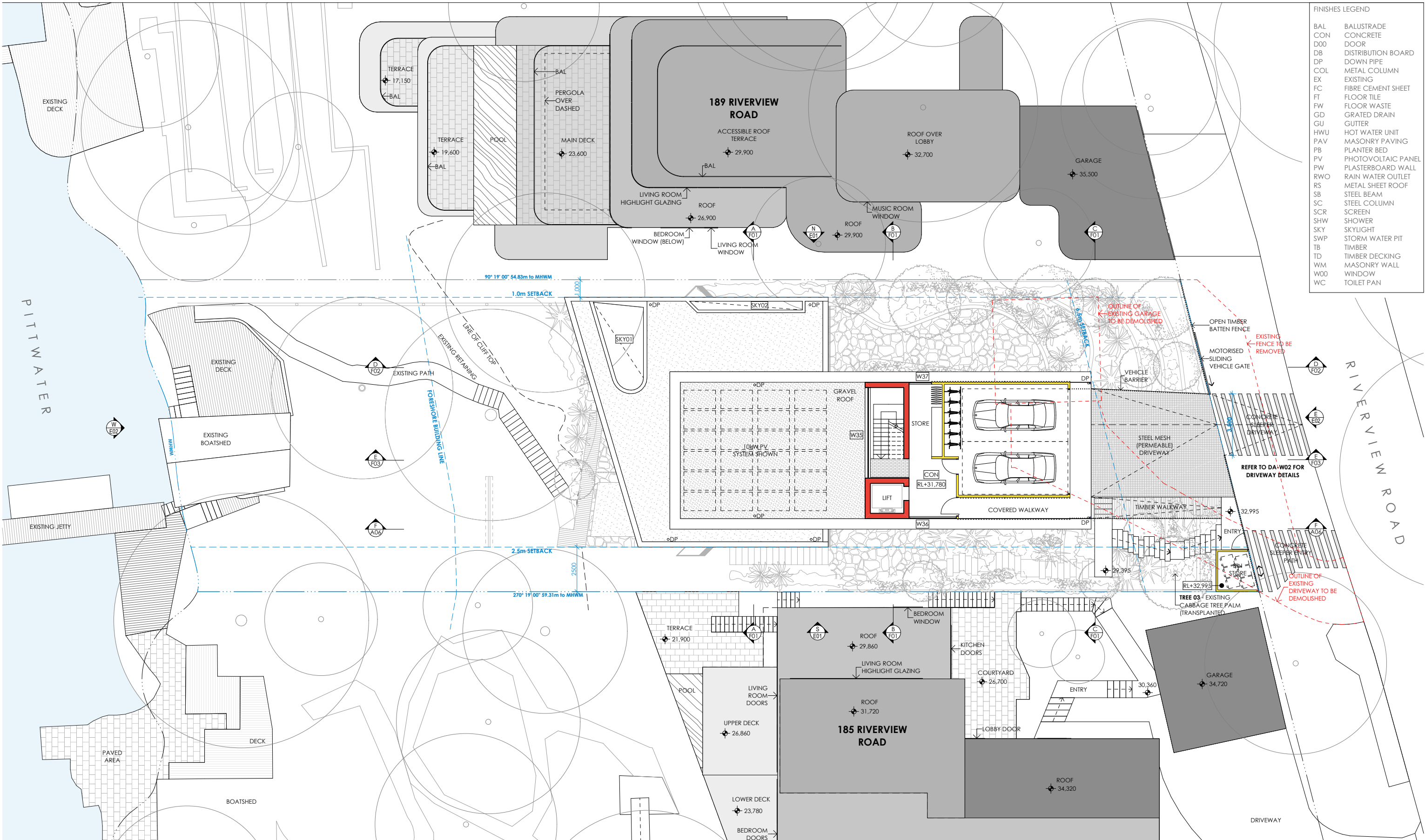
Accreditation Period: 31/03/2023-31/03/2024
Assessment Name: Cameron McFadzean
Assessment Number: 20758
Assessment Signature: [Signature]

SCALE
1:200 @ A3



CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
FIRST FLOOR PLAN
REV.
A
DA-D03



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01 GARAGE FLOOR PLAN
1:200



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



SCALE
1:200 @ A3



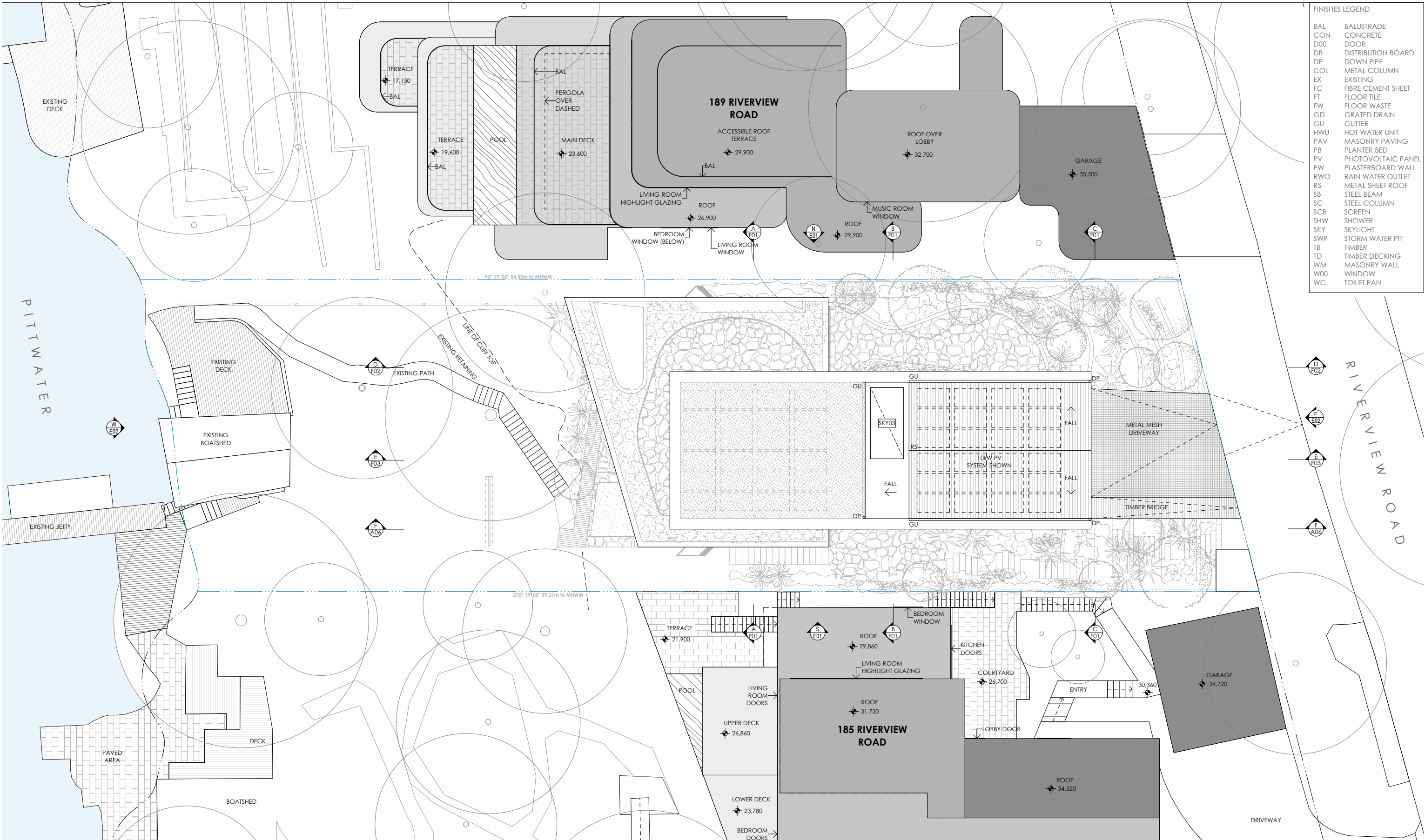
CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
GARAGE FLOOR PLAN

REV.
A

DA-D04



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01
-
ROOF PLAN
1:200



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

0008950776 27 Sep 2023
Assessor Cameron McFadzean
Accreditation No. 20758
Address 187 Riverview Rd, Avalon Beach, NSW, 2107
www.natrhars.gov.au

hstar.com.au

Accreditation Period: 31/03/2023-31/03/2024
Assessment Name: Cameron McFadzean
Assessment Number: 20758
Assessor Signature: [Signature]

Energy Star logo

SCALE
1:200 @ A3

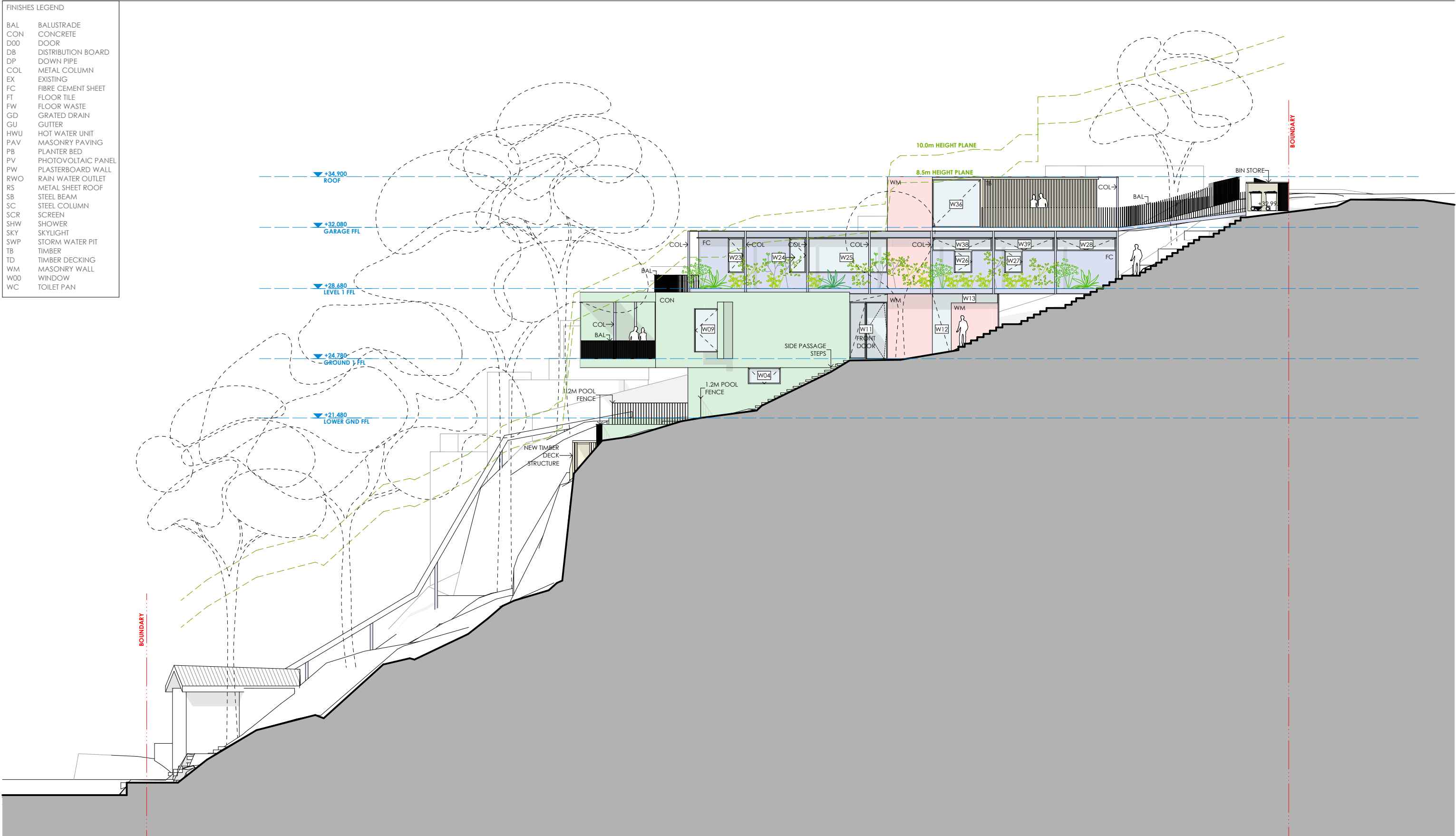


CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
ROOF PLAN

REV.
A

DA-D05



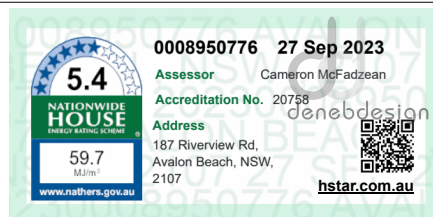
01 - SOUTH ELEVATION 1:200



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



SCALE
1:200 @ A3

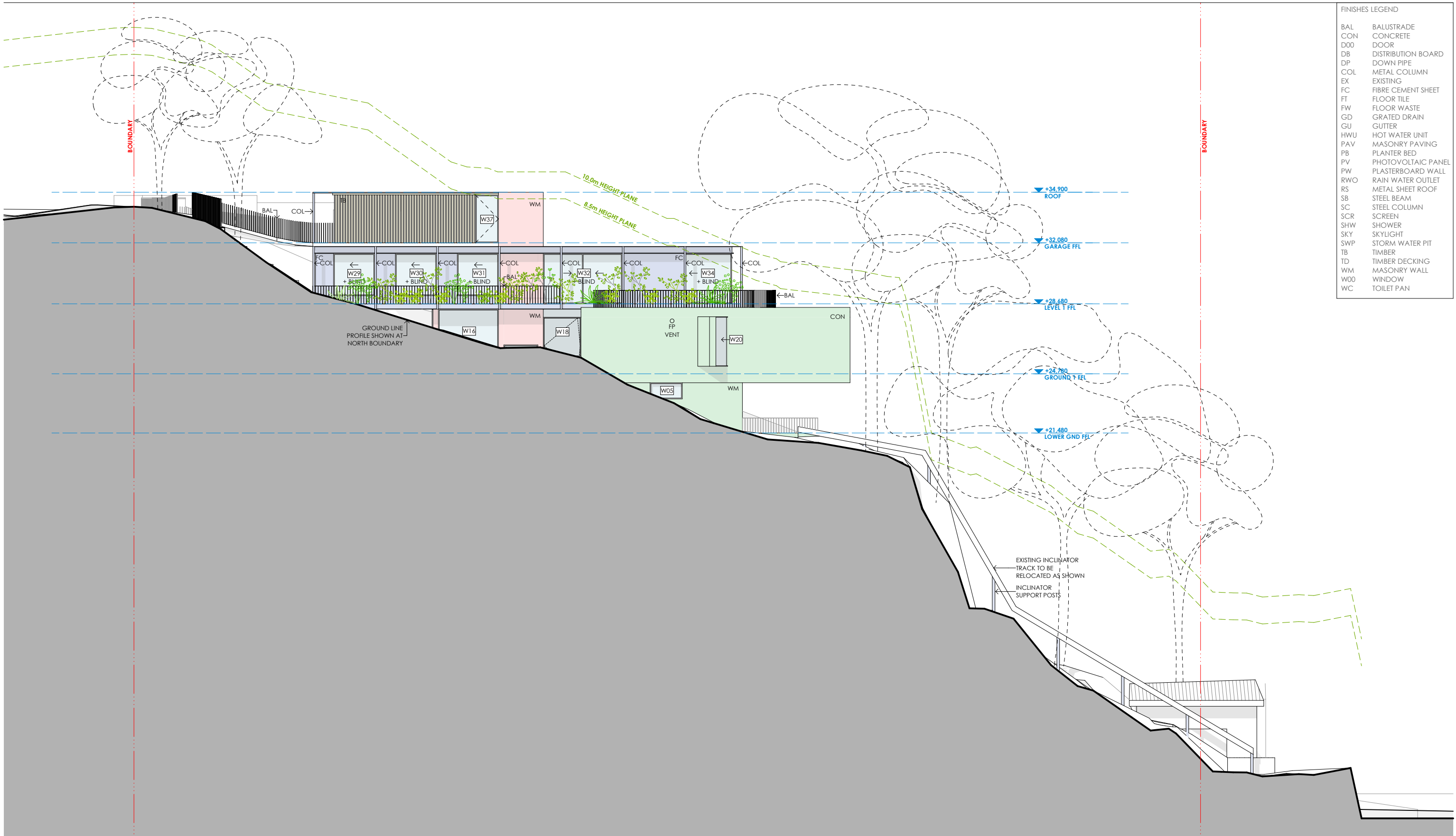
CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
ELEVATION SOUTH

REV.
A

DA-E01



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01
-
NORTH ELEVATION
1:200



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

0008950776 27 Sep 2023
Assessor Cameron McFadzean
Accreditation No. 20758
Address 187 Riverview Rd, Avalon Beach, NSW, 2107
www.nabers.gov.au

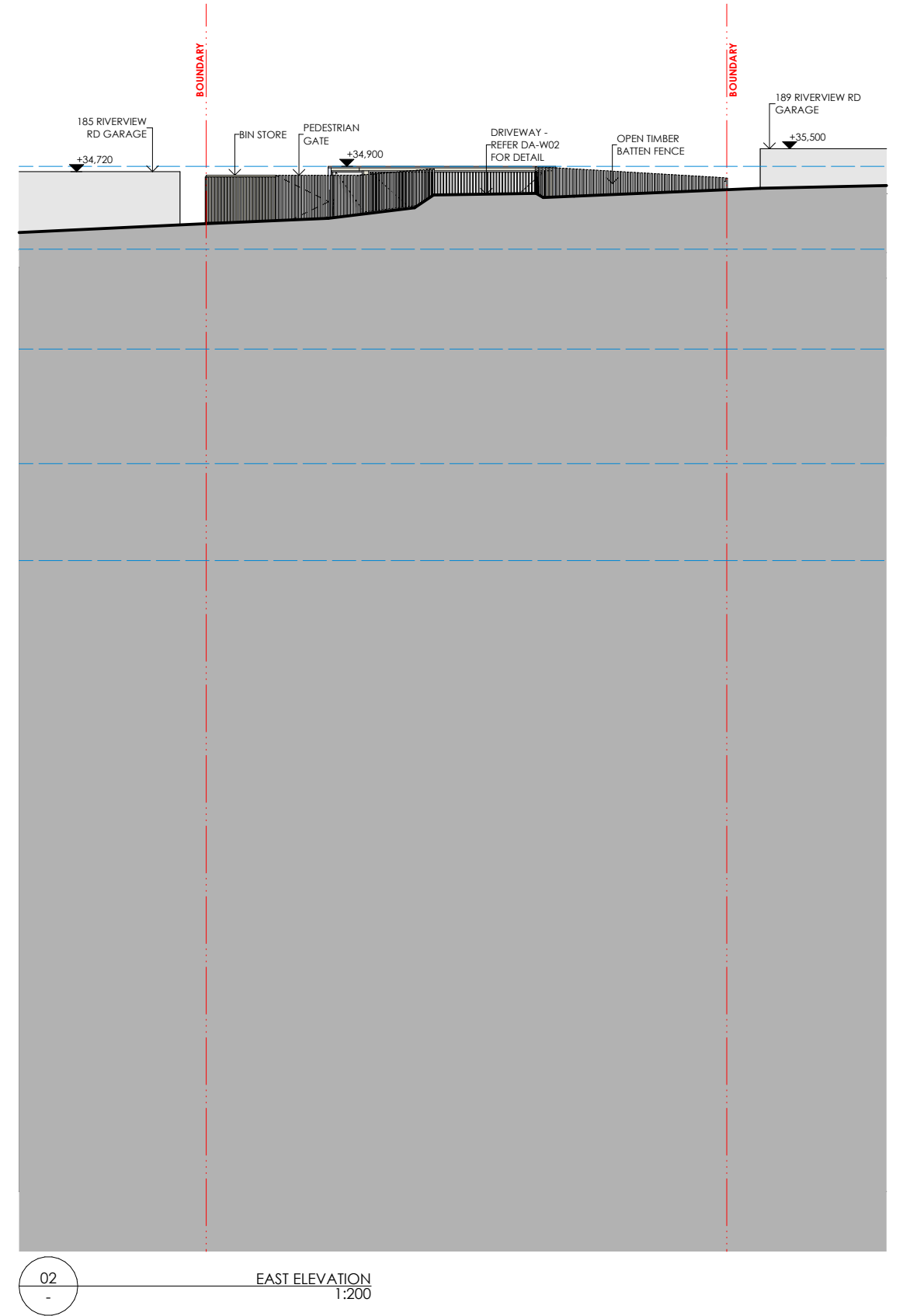
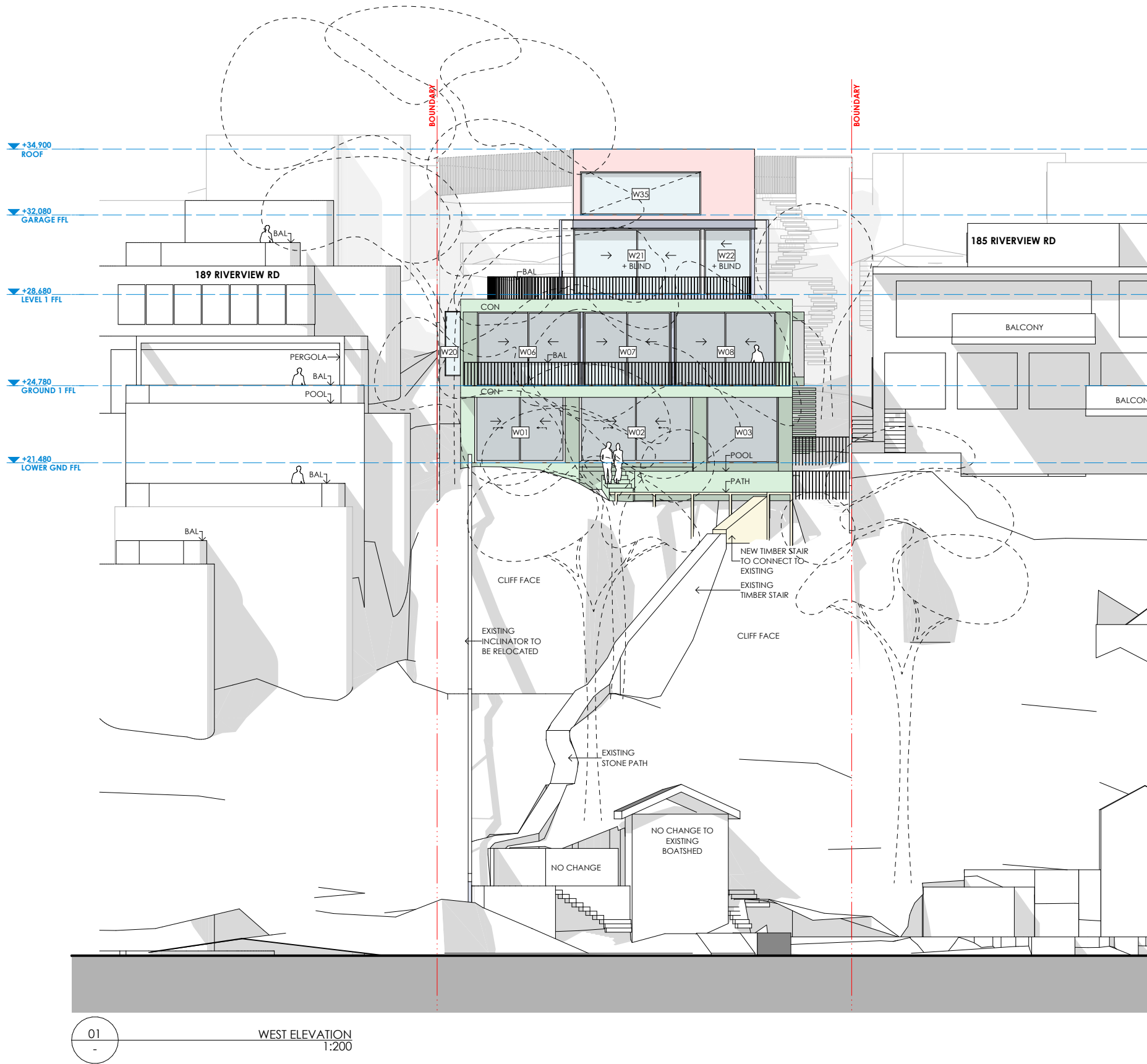
hstar.com.au

Accreditation Period: 31/03/2023-31/03/2024
Assessment Name: Cameron McFadzean
Assessment Number: 20758
Assessor Signature: [Signature]

SCALE
1:200 @ A3

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
ELEVATION NORTH
REV.
A
DA-E02



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

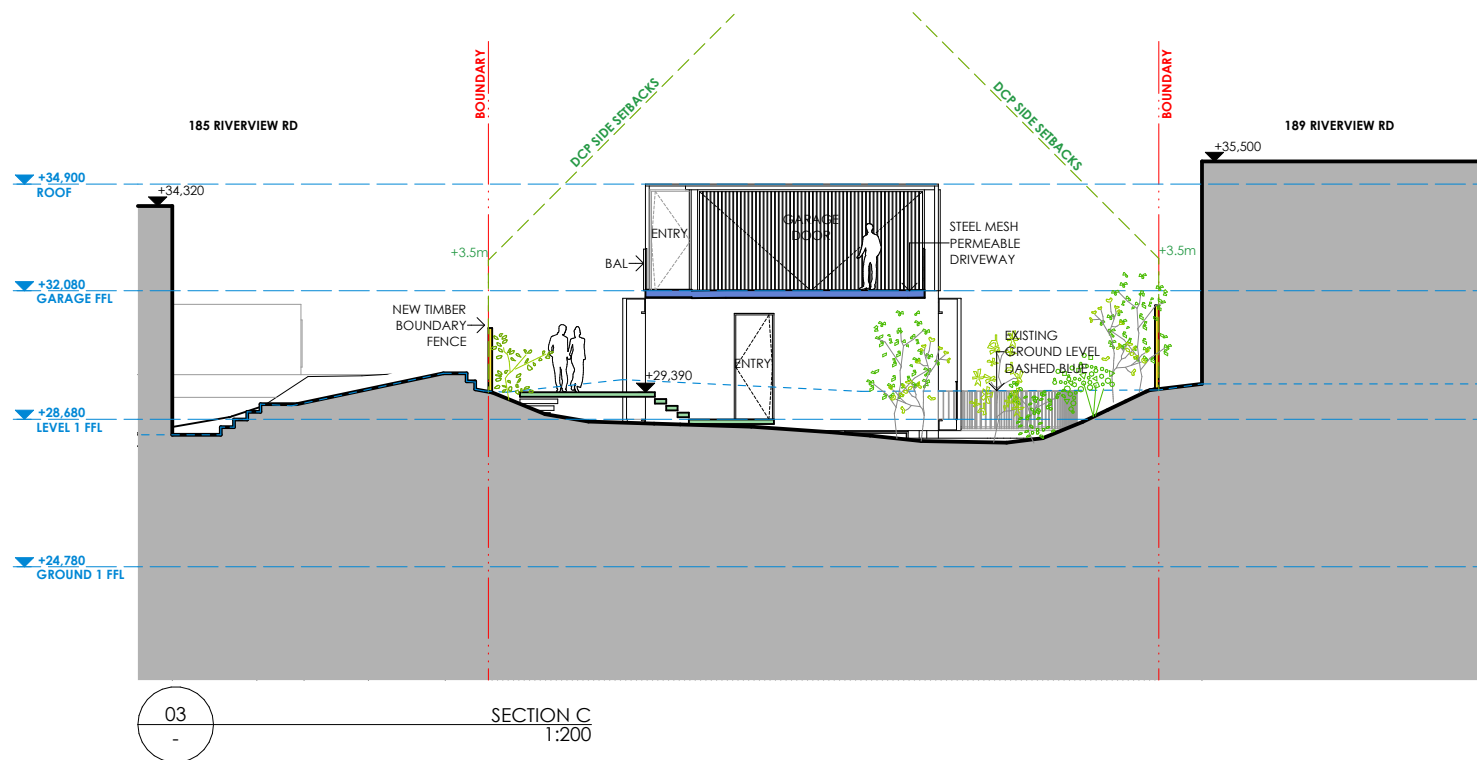
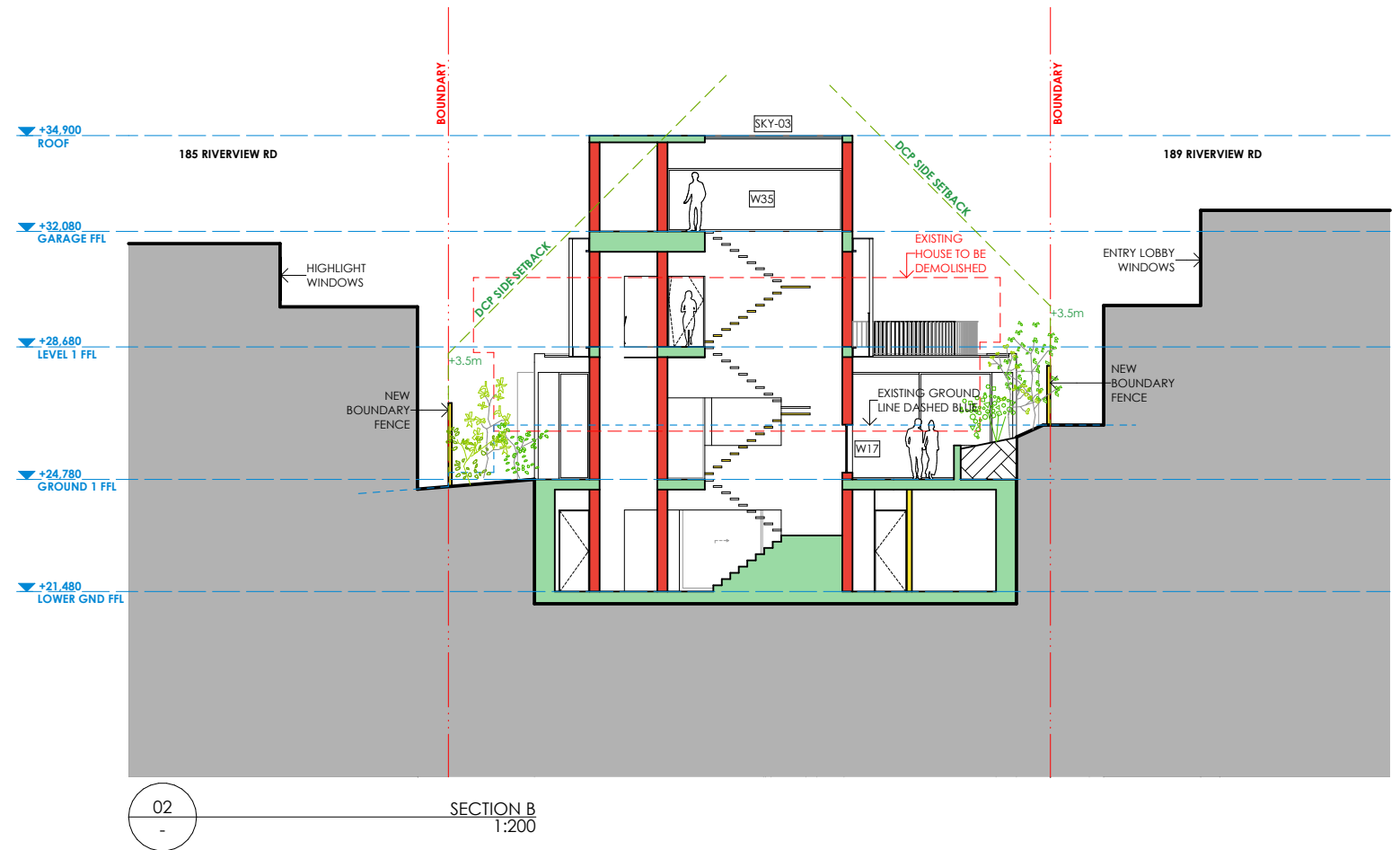
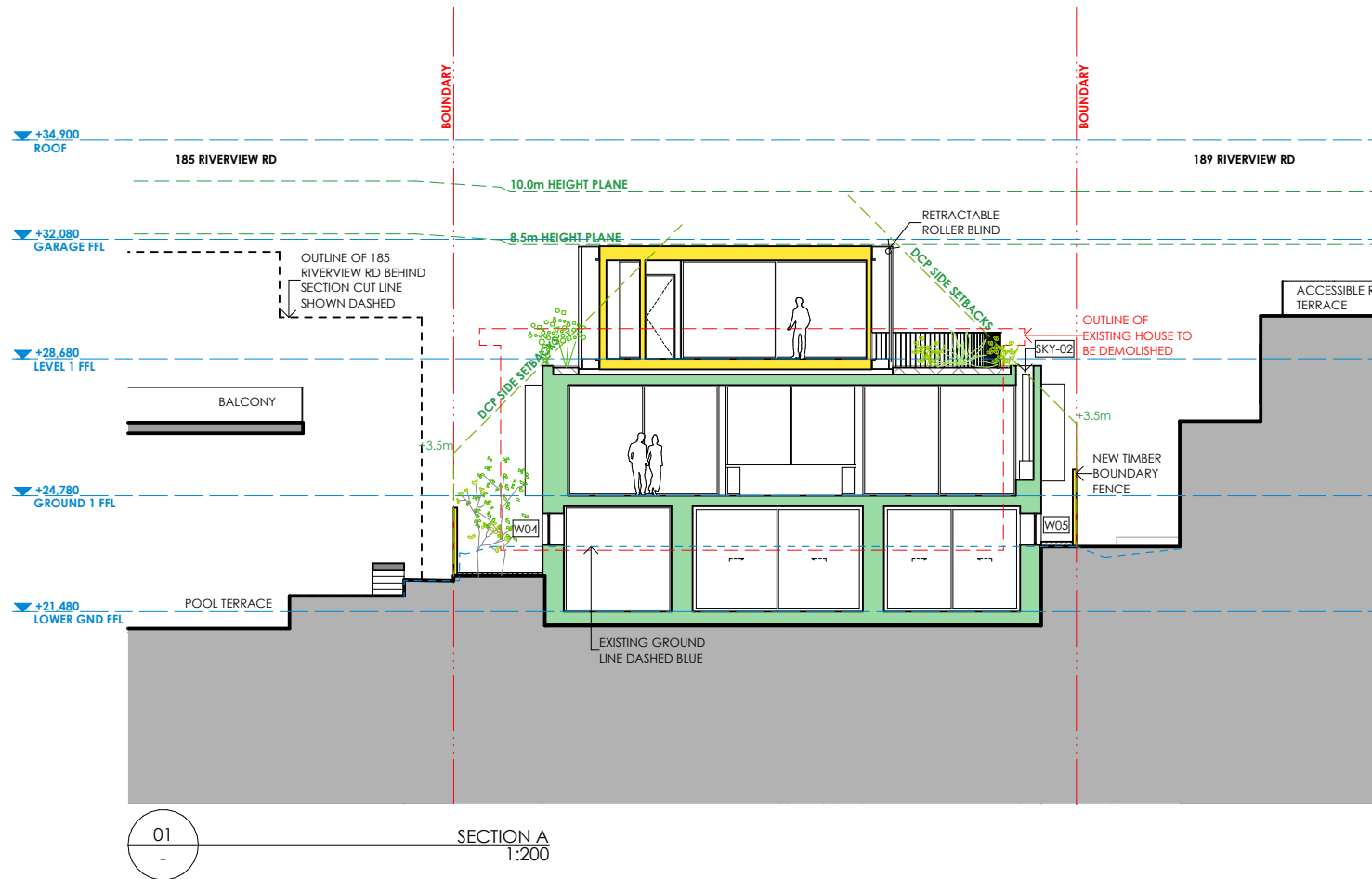
REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



SCALE
1:200 @ A3

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
ELEVATIONS EAST + WEST
REV.
A
DA-E03



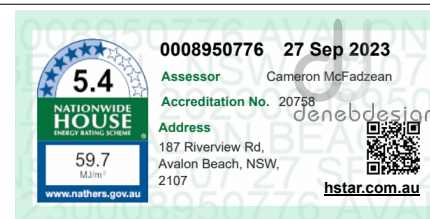
FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



SCALE
1:200 @ A3

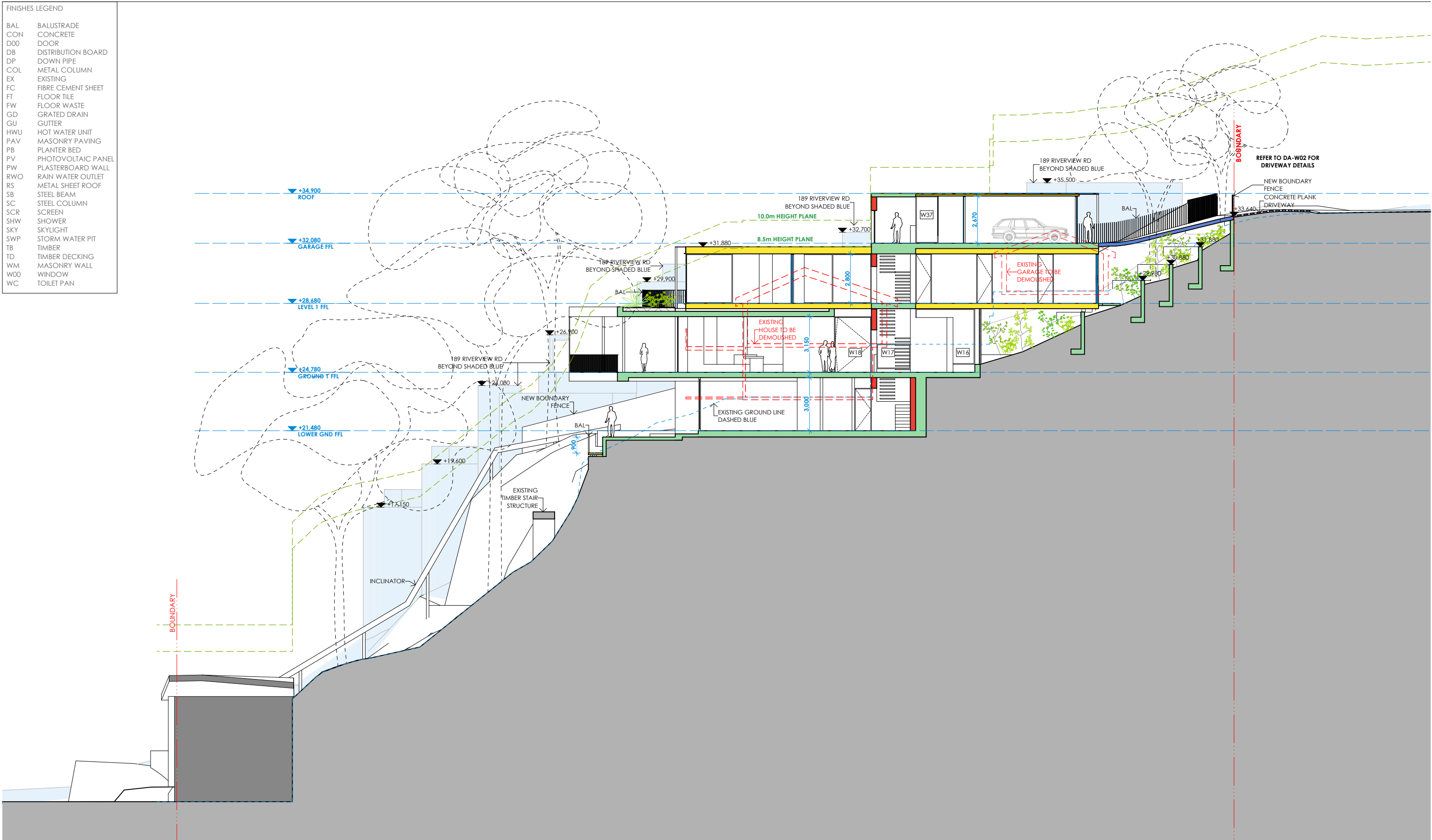
CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
SECTIONS A+B+C

REV.
A

DA-F01



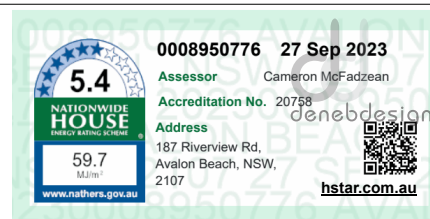
01
SECTION E
1:200



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



SCALE
1:200 @ A3

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

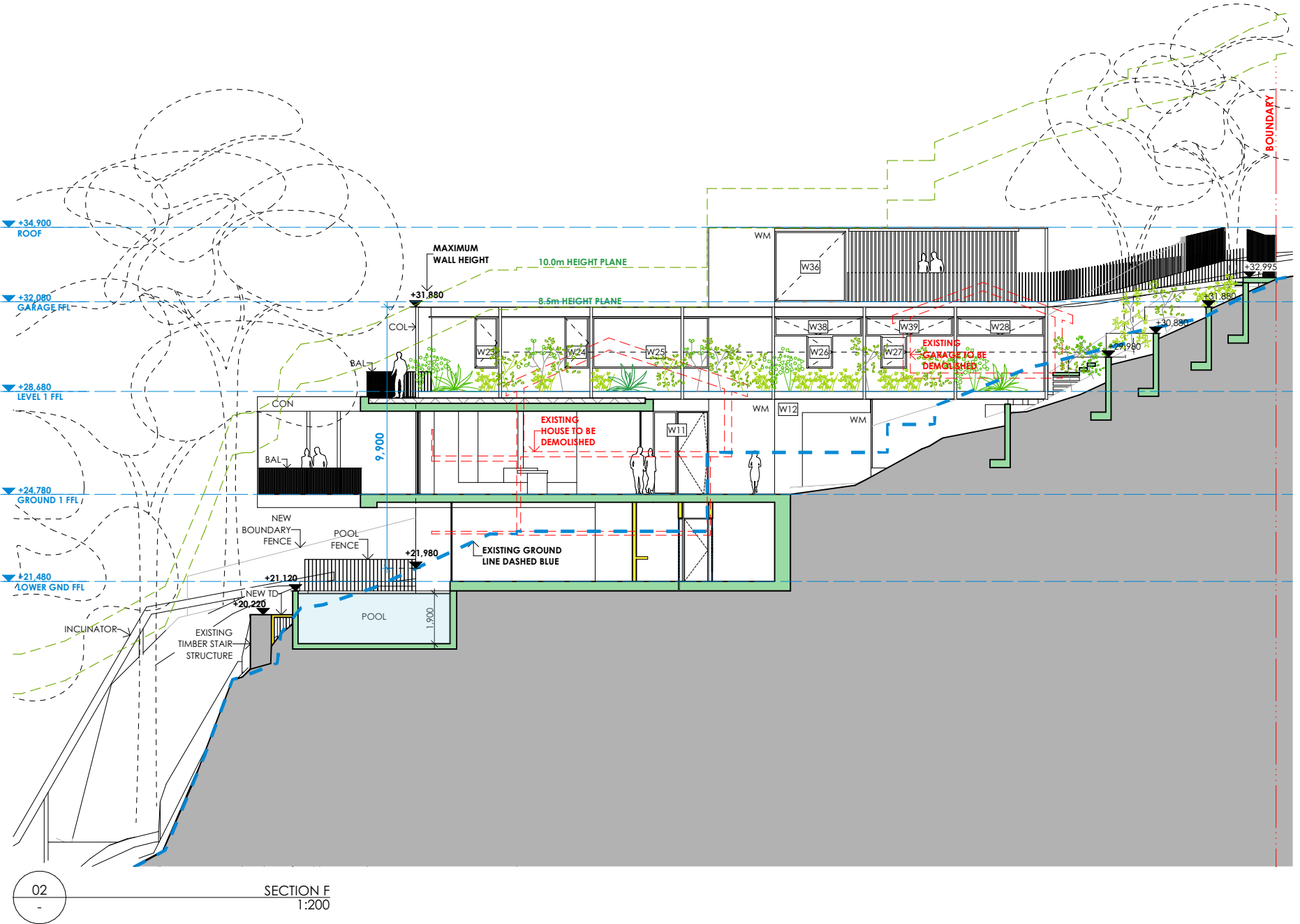
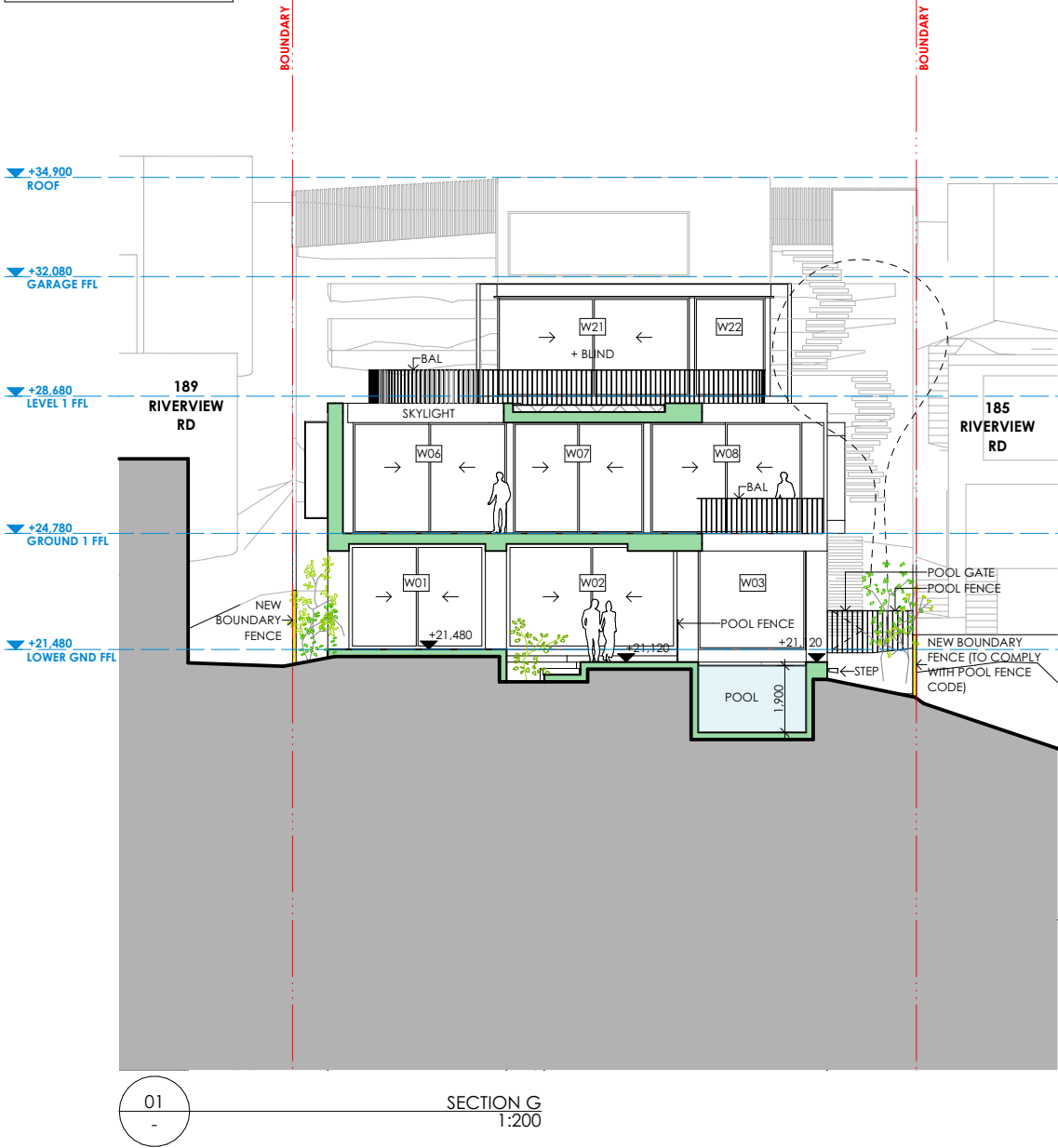
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH


DRAWING
SECTIONS E

REV.
A

DA-F03

FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN





ANDREW BURGESS
ARCHITECTS

studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY

- EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
- EXISTING NEIGHBOURS
- PROPOSED MASONRY STRUCTURE
- PROPOSED TIMBER FRAMED STRUCTURE
- PROPOSED CONCRETE STRUCTURE
- PROPOSED METAL STRUCTURE
- PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	30.10.2023	PROVIDED IN RESPONSE TO COUNCIL REQUEST FOR INFORMATION

SCALE
1:200 @ A3

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
30.10.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
SECTIONS G
REV.
A

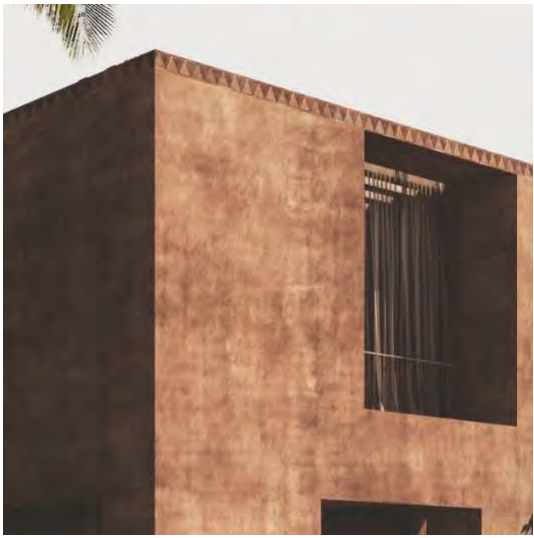
DA-F04



FC: FIBRE CEMENT SHEET CLADDING
EQUITONE 'SOFT GREY' OR EQUIVALENT



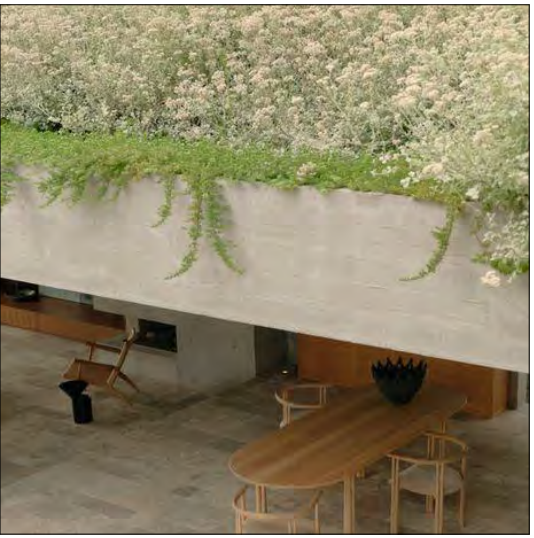
CON: CONCRETE
OFF-FORM CONCRETE WITH TEXTURED FINISH



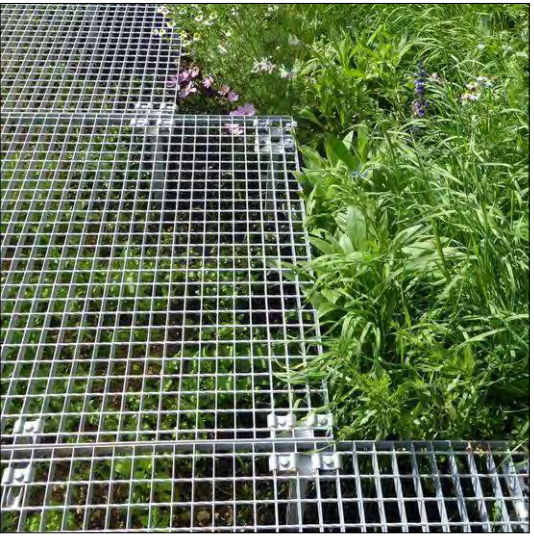
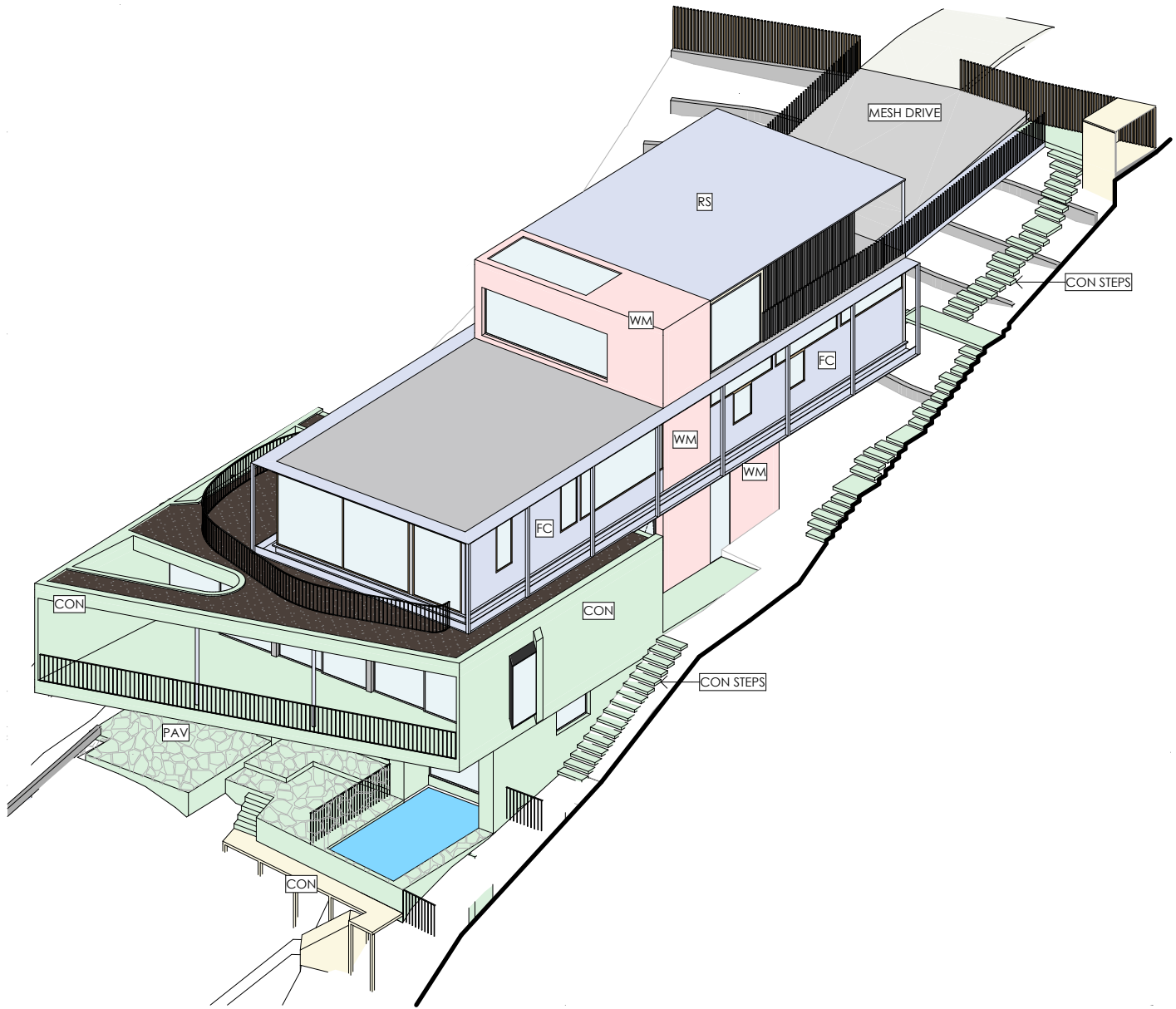
WM: WALL MASONRY
RENDERED MASONRY WALL



PAV: CRAZY PAVING
LIMESTONE CRAZY PAVING



ROOF GARDEN
REFER LANDSCAPE PLANS FOR DETAIL



MESH DRIVEWAY
EXPANDED GAL STEEL MESH ON STEEL STRUCTURE



CONCRETE STEPS
REFER LANDSCAPE PLANS FOR DETAIL



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

SCALE
NTS

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
SCHEDULE OF MATERIALS
+ FINISHES
REV.
A

DA-M01



PERSPECTIVE VIEW 01



PERSPECTIVE VIEW 03



PERSPECTIVE VIEW 02



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY

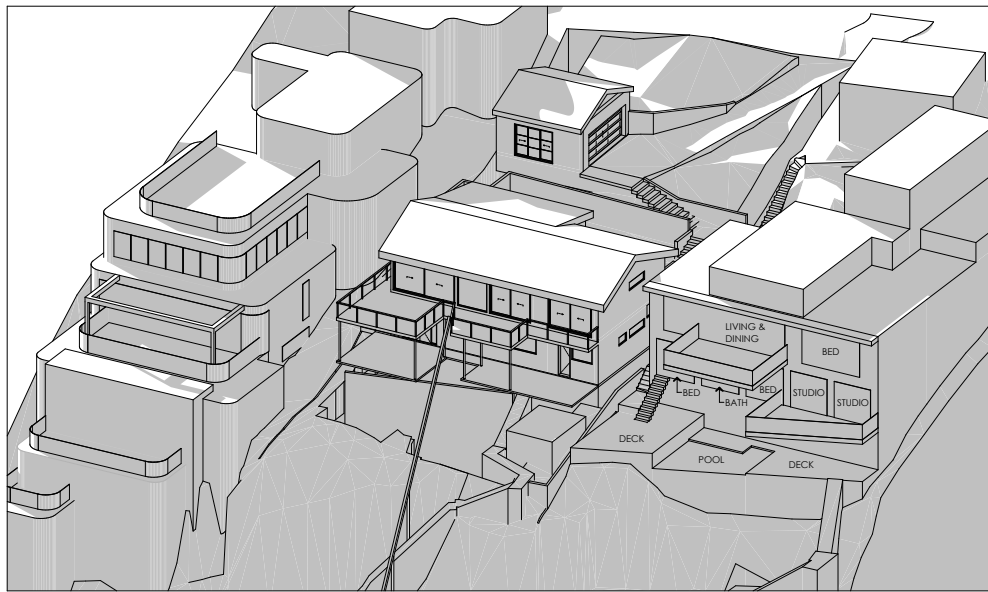
REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

SCALE
NTS

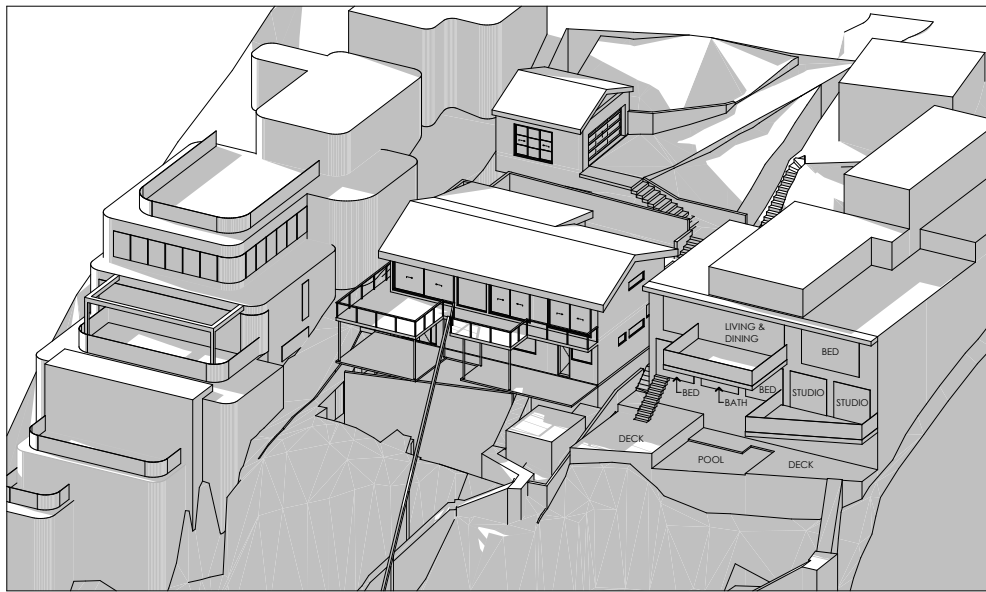
CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
3D PERSPECTIVES
REV.
A

DA-P01



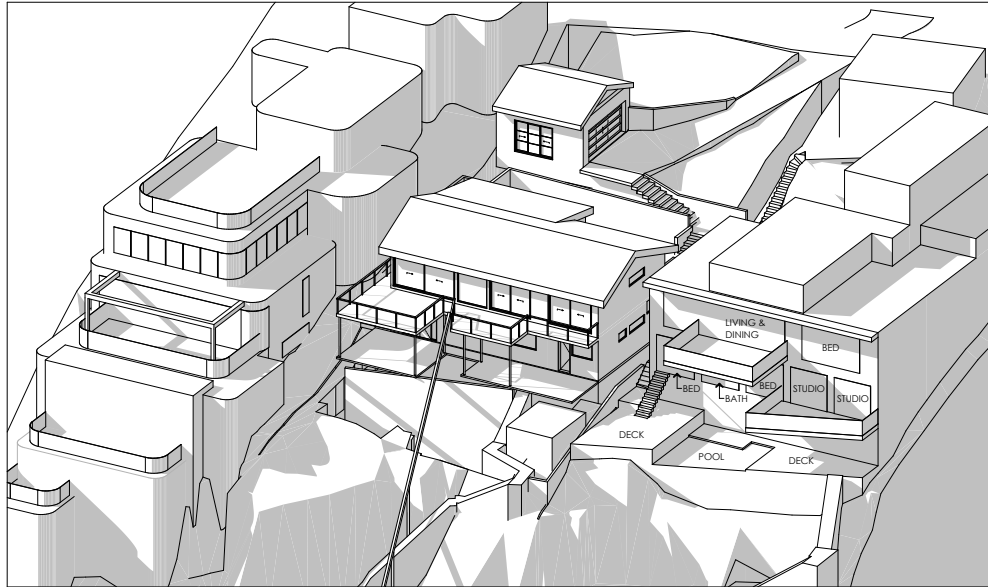
WINTER - 9AM - EXISTING



WINTER - 10AM - EXISTING



WINTER - 11AM - EXISTING



WINTER - 12PM - EXISTING



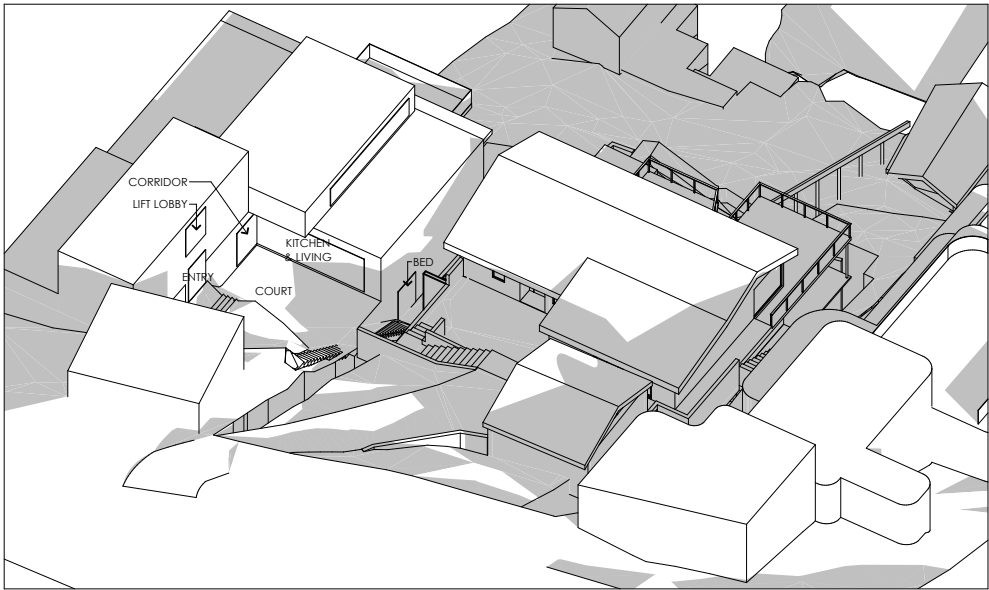
WINTER - 1PM - EXISTING



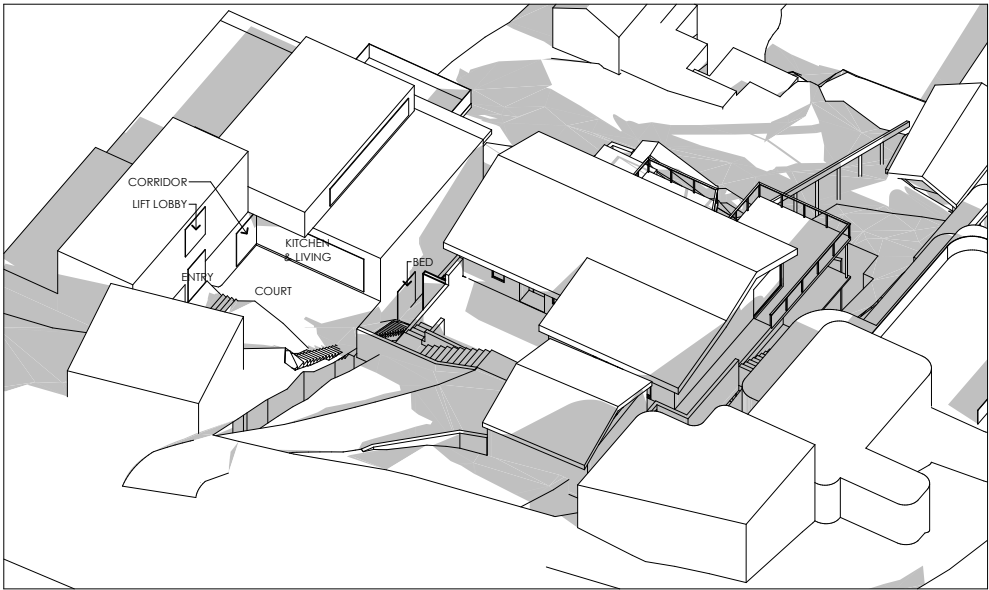
WINTER - 2PM - EXISTING



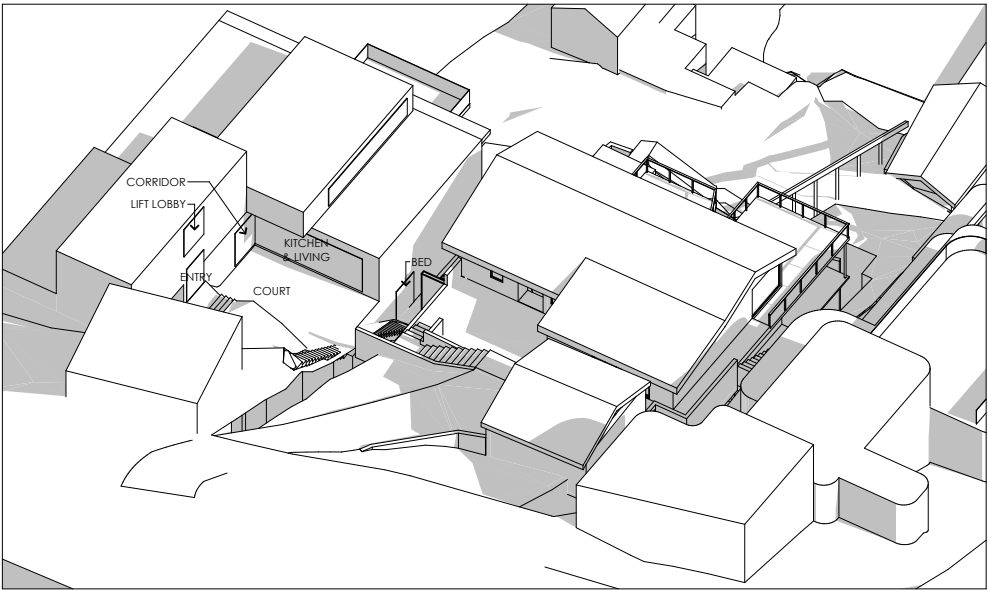
WINTER - 3PM - EXISTING



WINTER - 9AM - EXISTING - VIEW 2



WINTER - 10AM - EXISTING - VIEW 2



WINTER - 11AM - EXISTING - VIEW 2



WINTER - 21ST JUNE - 9AM (DRONE PHOTO TAKEN AT THAT TIME)



WINTER - 21ST JUNE - 10AM (DRONE PHOTO TAKEN AT THAT TIME)



WINTER - 21ST JUNE - 11AM (DRONE PHOTO TAKEN AT THAT TIME)

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

Certification:
I hereby certify the shadow diagrams on this page are a true and accurate representation.

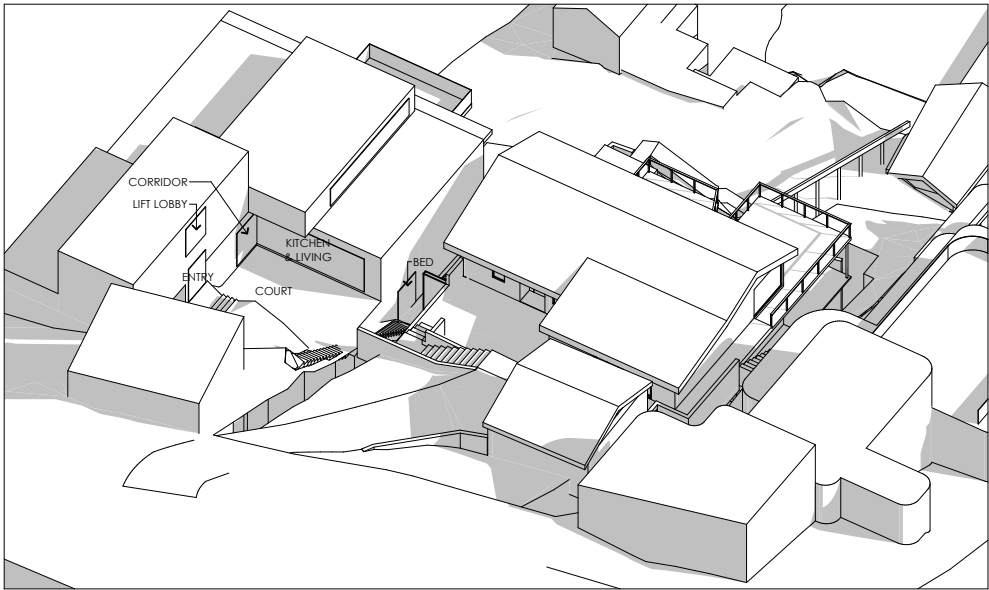
Andrew Burges
Director, Andrew Burges Architects
NSW Registered Architect #6918

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

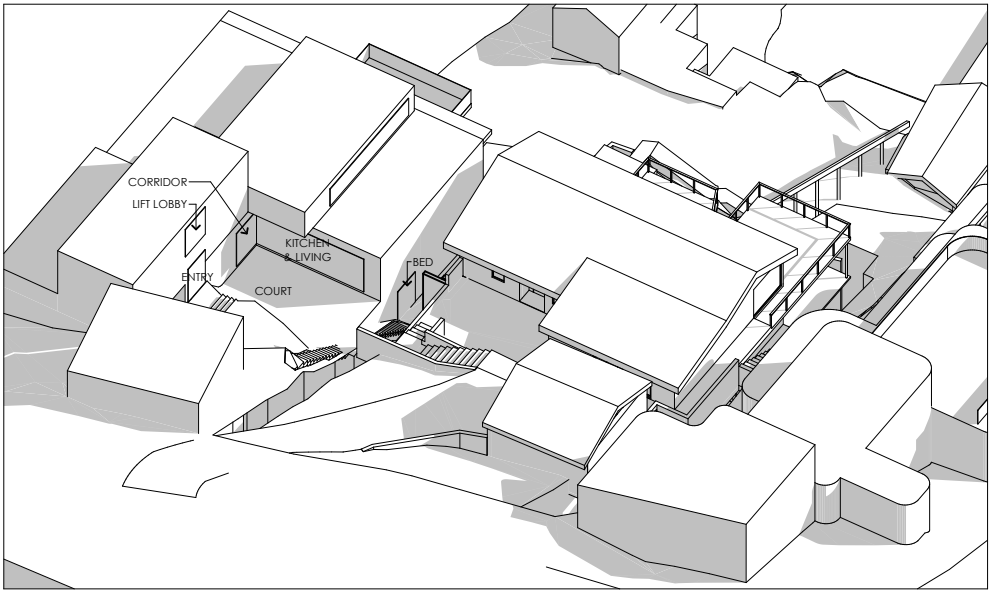
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
SHADOW DIAGRAM
EXISTING - WINTER - VIEW
2 (WITH PHOTOS)
A

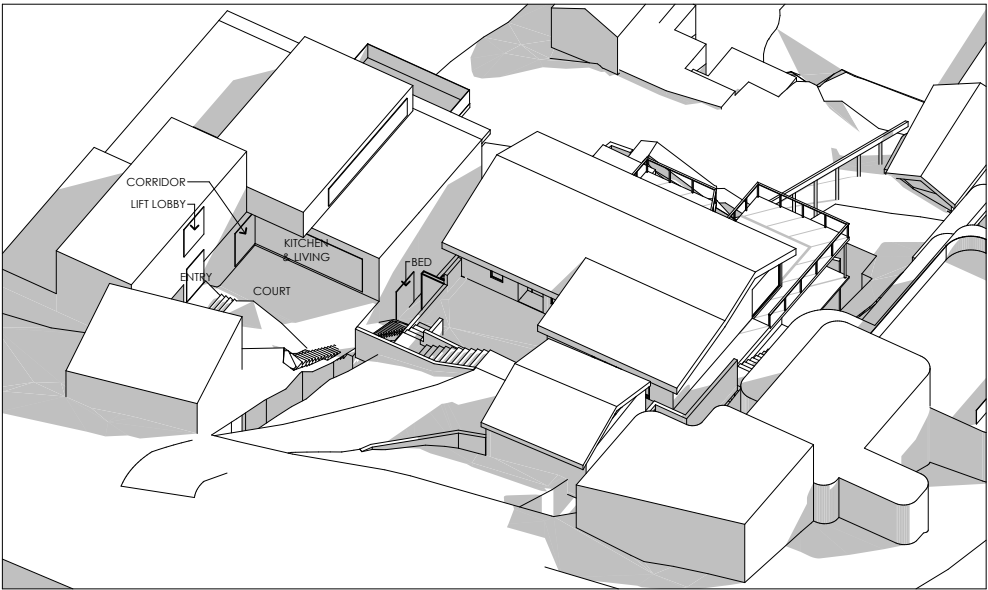
DA-S02



WINTER - 12PM - EXISTING - VIEW 2



WINTER - 1PM - EXISTING - VIEW 2



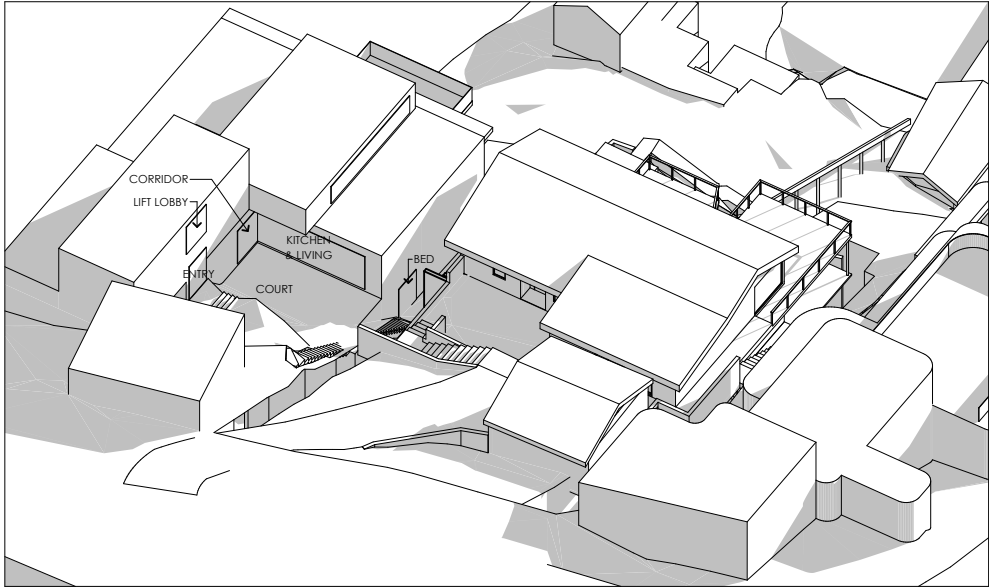
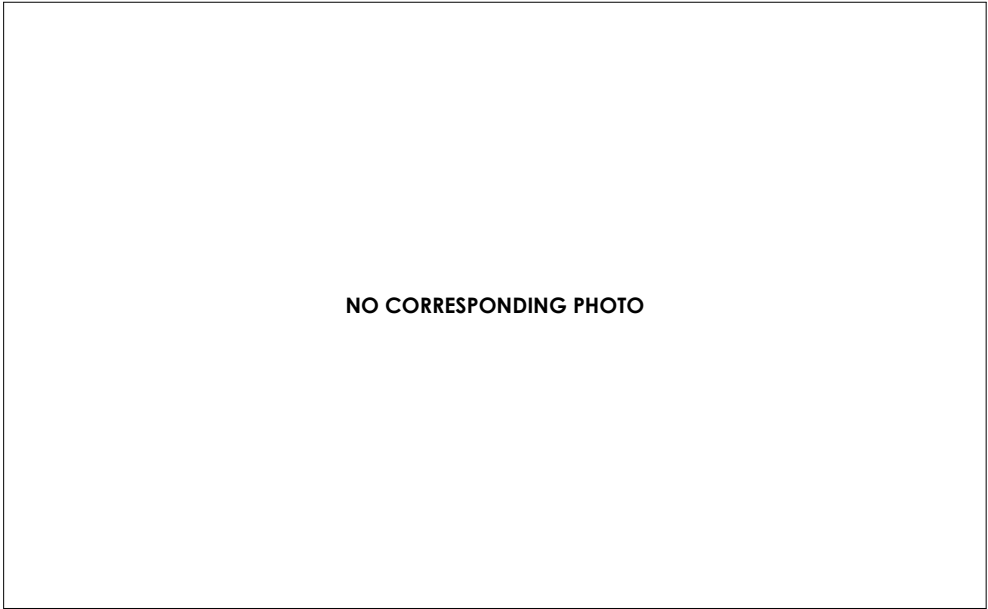
WINTER - 2PM - EXISTING - VIEW 2



WINTER - 21ST JUNE - 12PM (DRONE PHOTO TAKEN AT THAT TIME)



WINTER - 21ST JUNE - 1PM (DRONE PHOTO TAKEN AT THAT TIME)



WINTER - 3PM - EXISTING - VIEW 2



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

SCALE
NTS

Certification:
I hereby certify the shadow diagrams on this page are a true and accurate representation.

Andrew Burges
Director, Andrew Burges Architects
NSW Registered Architect #6918

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
SHADOW DIAGRAM
EXISTING - WINTER - VIEW
2 (WITH PHOTOS)
A

DA-S03



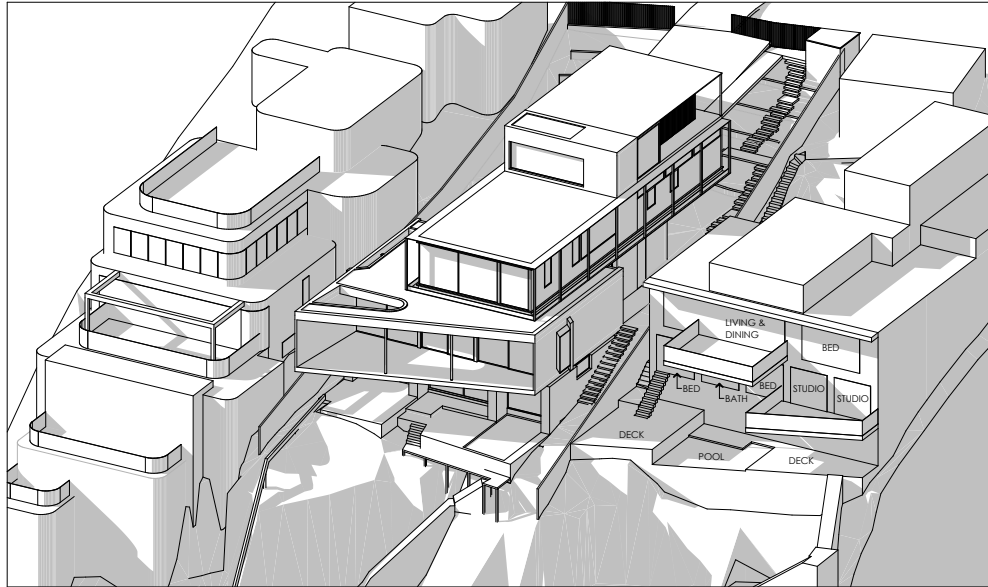
WINTER - 9AM - PROPOSED



WINTER - 10AM - PROPOSED



WINTER - 11AM - PROPOSED



WINTER - 12PM - PROPOSED



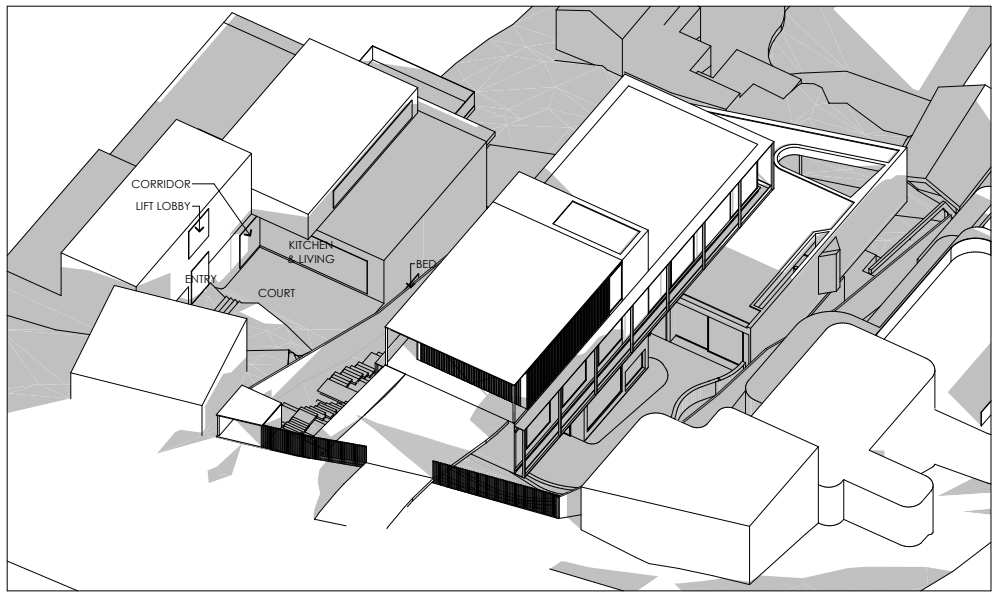
WINTER - 1PM - PROPOSED



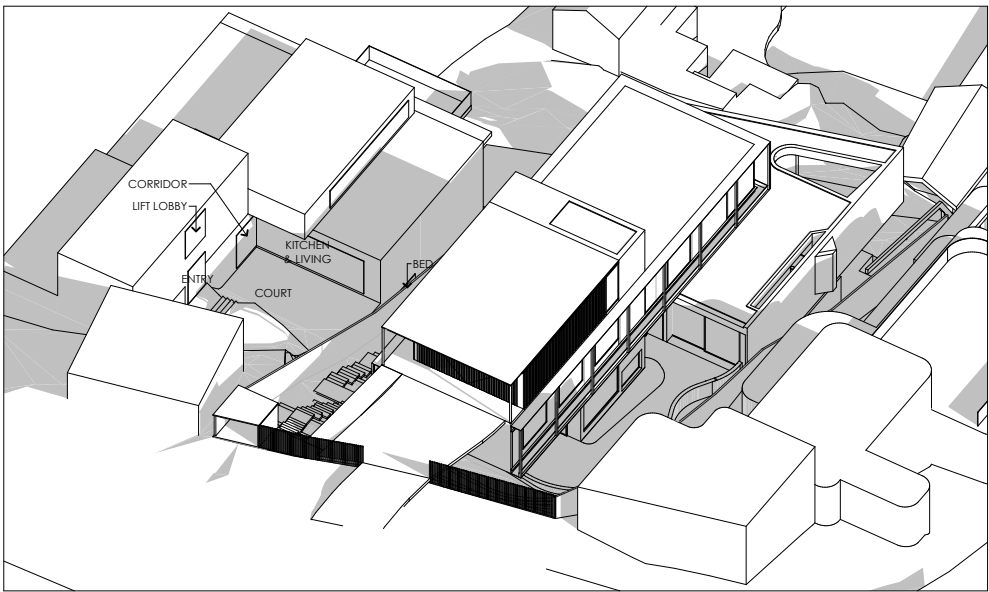
WINTER - 2PM - PROPOSED



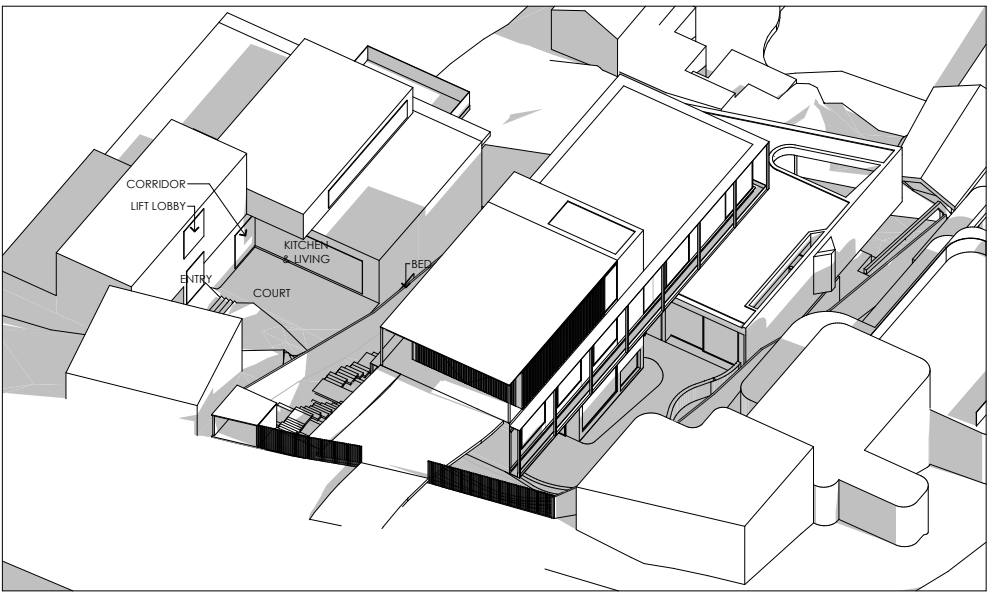
WINTER - 3PM - PROPOSED



WINTER - 9AM - PROPOSED - VIEW 2



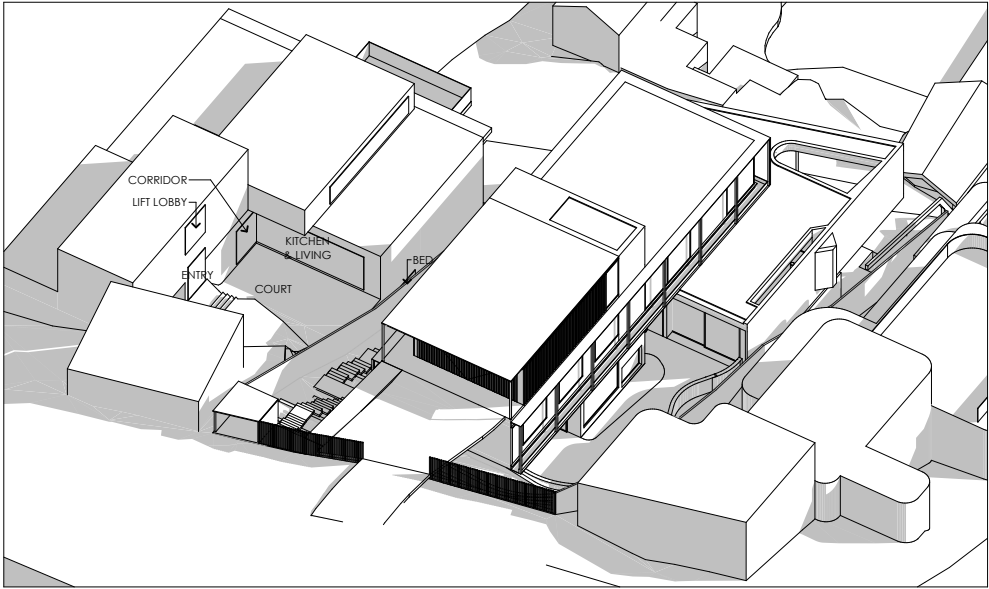
WINTER - 10AM - PROPOSED - VIEW 2



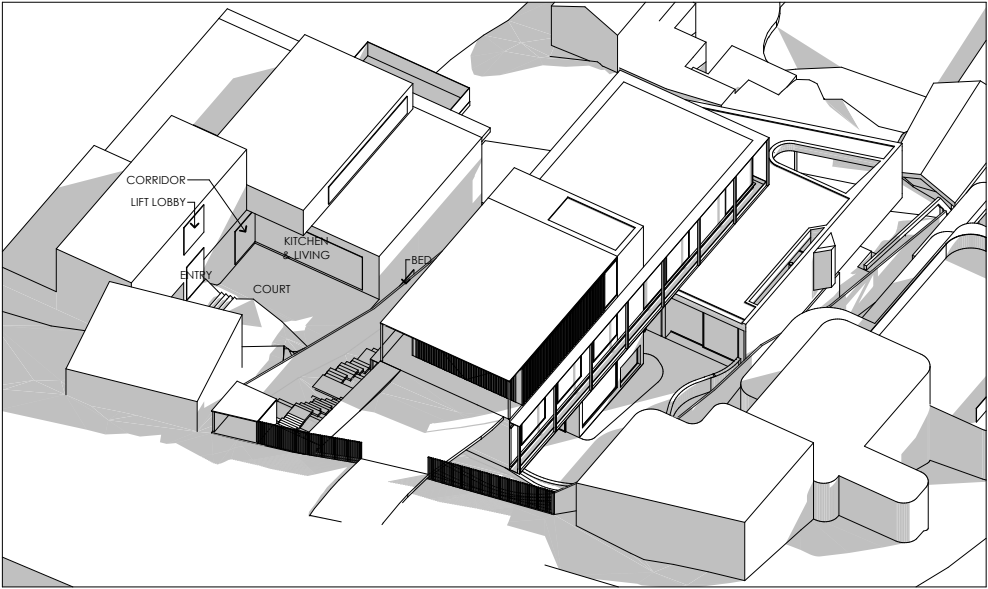
WINTER - 11AM - PROPOSED - VIEW 2



WINTER - 12PM - PROPOSED - VIEW 2



WINTER - 1PM - PROPOSED - VIEW 2



WINTER - 2PM - PROPOSED - VIEW 2



WINTER - 3PM - PROPOSED - VIEW 2

KEY

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

SCALE
NTS

Certification:
I hereby certify the shadow diagrams on this page are a true and accurate representation.

Andrew Burges
Director, Andrew Burges Architects
NSW Registered Architect #6918

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

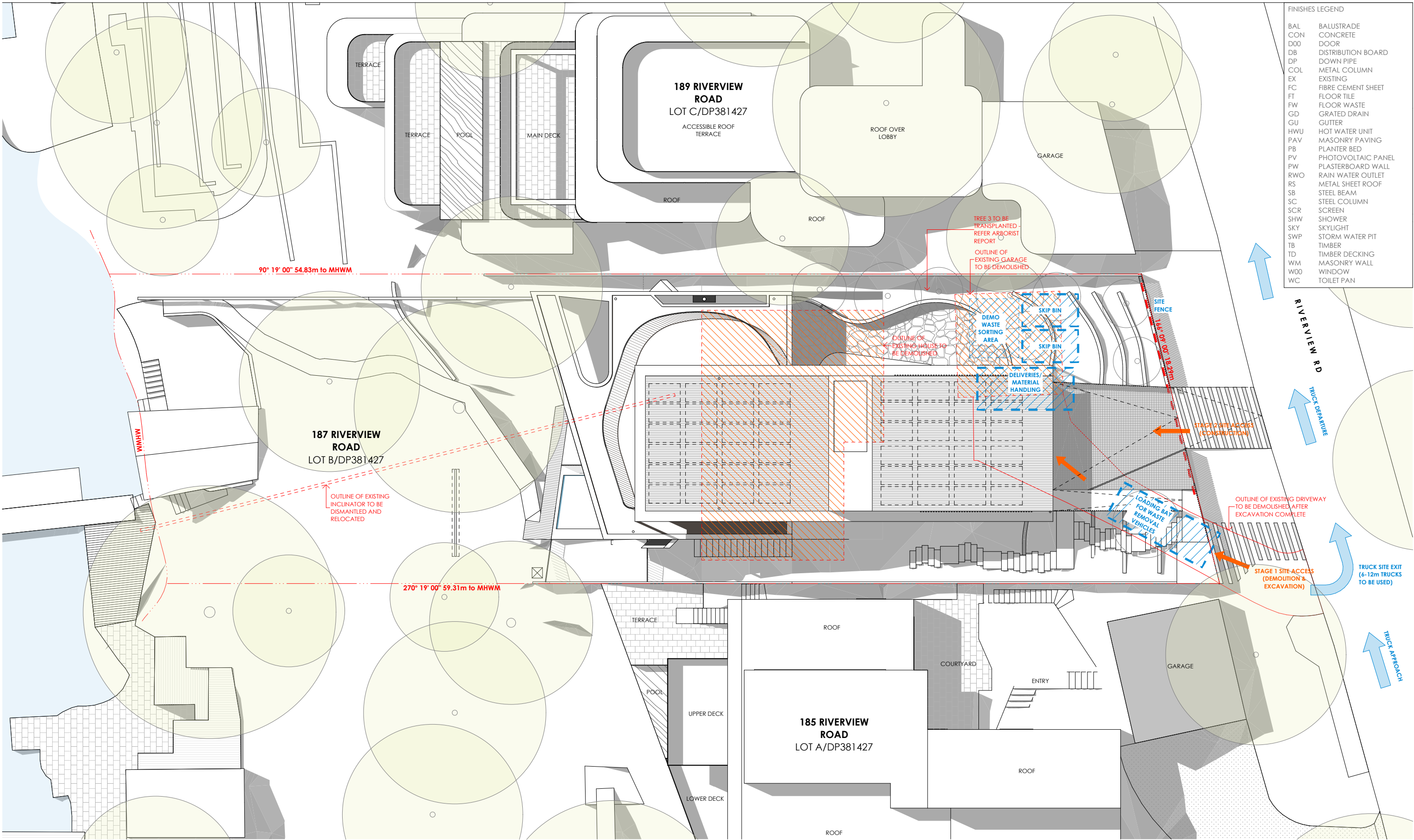
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
SHADOW DIAGRAM
PROPOSED - WINTER -
VIEW 2
A

DA-S05



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01
-
SITE PLAN
1:200



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

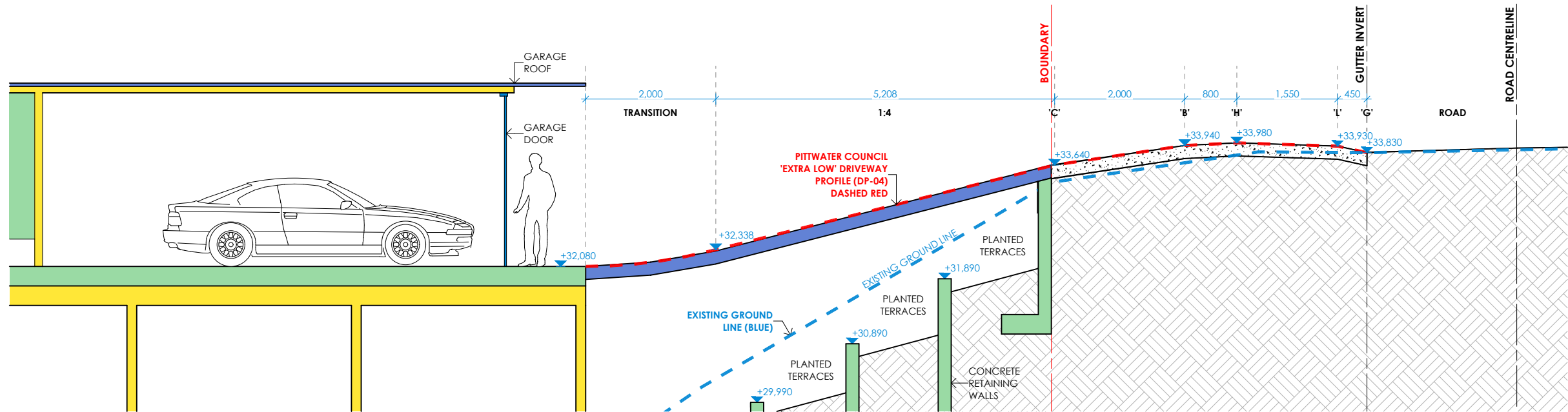
SCALE
1:200 @ A3

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023

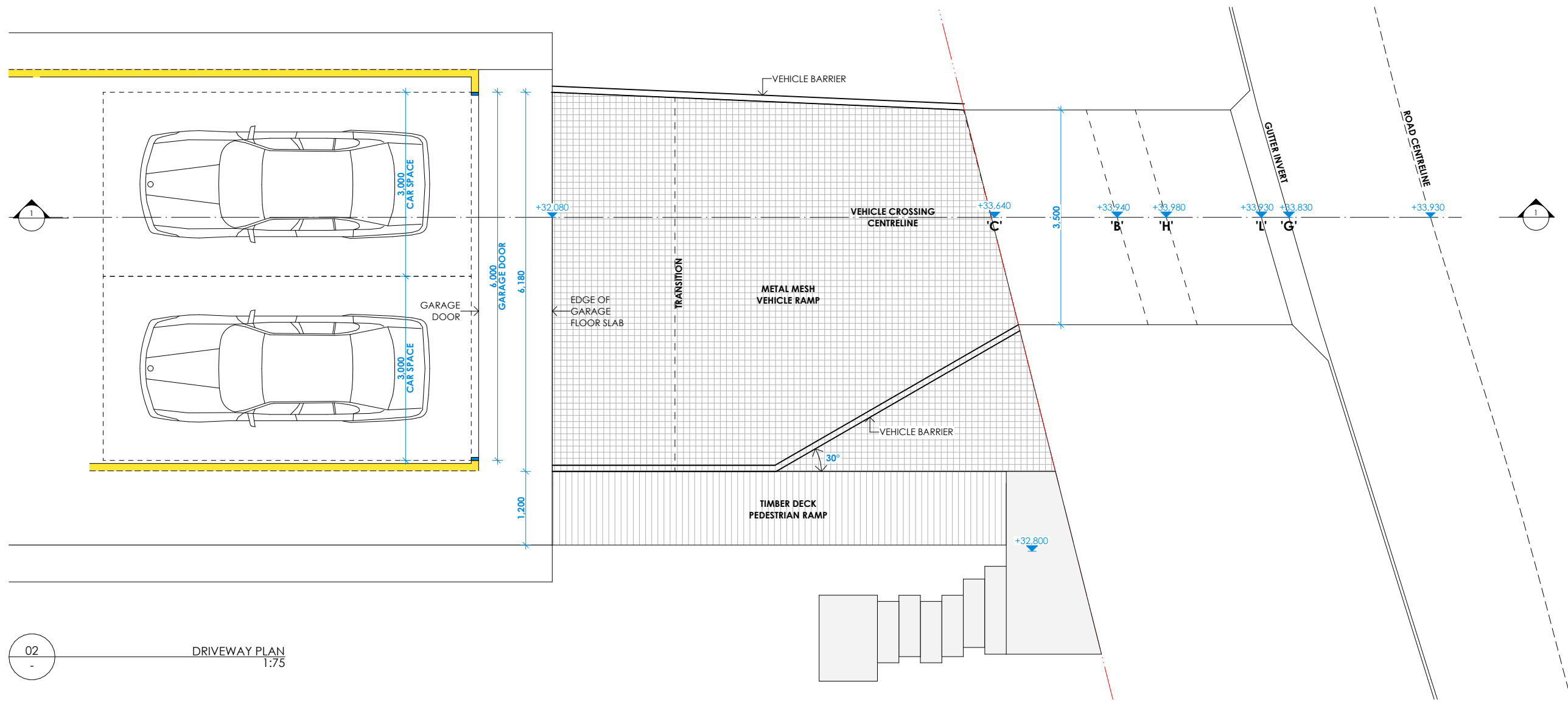
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
WASTE MANAGEMENT &
CVMP SITE PLAN
REV.
A

DA-W01



01
-
DRIVEWAY SECTION
1:75



02
-
DRIVEWAY PLAN
1:75

