

# 65 MARINE PARADE, AVALON

MODIFICATION TO APPROVED DA APPLICATION  
NUMBER DA2020/0278 - 30/06/2020

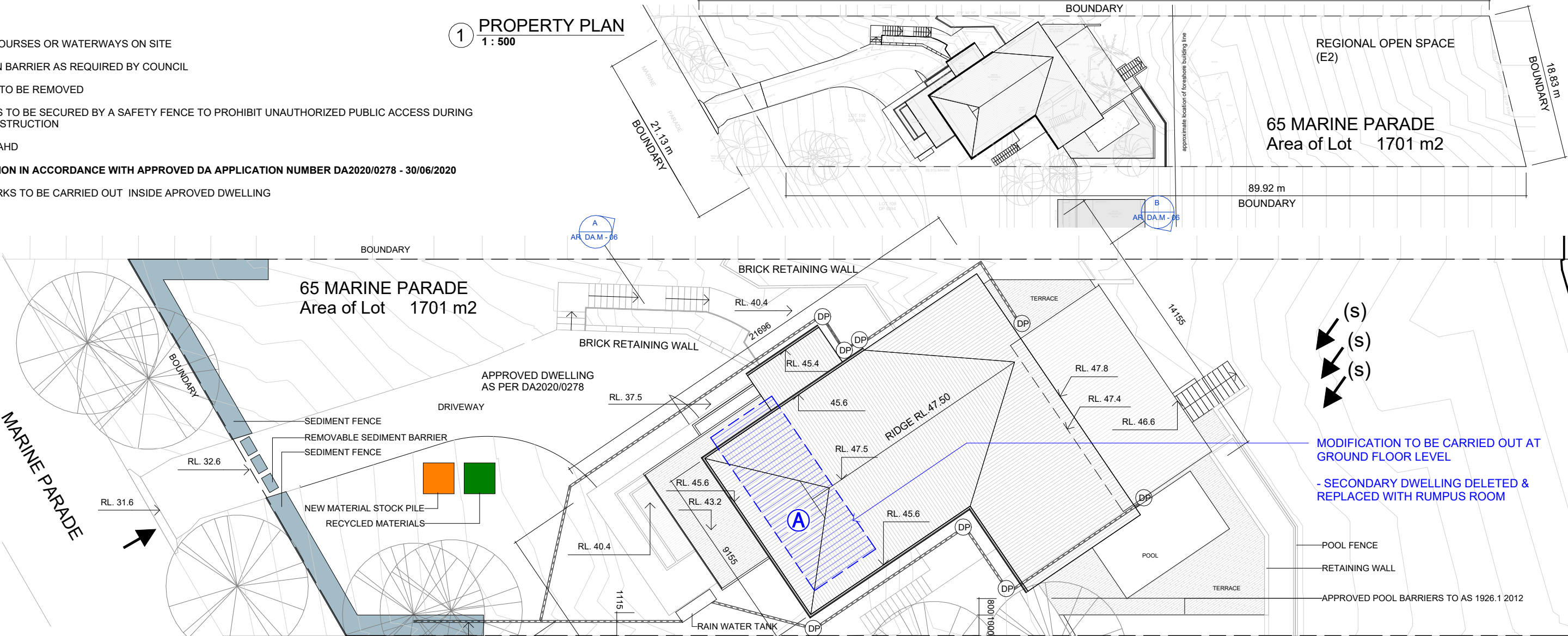
## LIST OF DOCUMENTS

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AR DA.M - 03	B	UPPER FLOOR & ROOF PLAN - APPROVED
AR DA.M - 04	B	FIRST FLOOR APPROVED & GROUND FLOOR - MODIFIED
AR DA.M - 05	B	NORTH & SOUTH ELEVATION - APPROVED
AR DA.M - 06	B	EAST & WEST ELEVATION-APPROVED SECTIONS A&B MODIFIED
AR DA.M - 07	B	SHADOW DIAGRAM - APPROVED
AR DA.M - 08	B	NOTIFICATION PLAN

SITE NOTES

- NO KNOWN WATERCOURSES OR WATERWAYS ON SITE
- PROVIDE SILTRATION BARRIER AS REQUIRED BY COUNCIL
- NO EXISTING TREES TO BE REMOVED
- THE BUILDING SITE IS TO BE SECURED BY A SAFETY FENCE TO PROHIBIT UNAUTHORIZED PUBLIC ACCESS DURING THE COURSE OF CONSTRUCTION
- ALL LEVELS ARE TO AHD
- PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020
- ALL PROPOSED WORKS TO BE CARRIED OUT INSIDE APROVED DWELLING

1 PROPERTY PLAN  
1 : 500



2 SITE ANALYSIS PLAN  
1 : 200

**KEY**

- EXISTING VEGETATION TO REMAIN
- CAR ENTRY POINT
- BOUNDARY
- PREVAILING WINDS (summer)
- PREVAILING WINDS (winter)
- WINDOW TO LIVING SPACE IN ADJACENT DWELLING
- EXISTING CONTOURS SLOPE OF LAND 500mm INCREMENT

- SEDIMENT FENCE
- RECYCLED MATERIALS
- NEW MATERIAL STOCK PILE
- ADJACENT DWELLINGS
- APPROVED DWELLING SHOWN IN BLACK LINEWORK
- A SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM**

1.1. Requirements

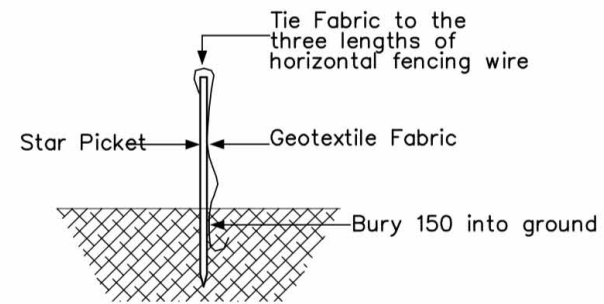
- Applicants must demonstrate project management that seeks to:
- Incorporate the waste hierarchy principle of avoidance, resource recovery and disposal.
  - Minimise the waste sent for disposal.
  - Minimise the impact and disturbance on surrounding amenity, public safety, roadways and natural and built environment.
  - Adhere to any relevant legislation not limited to hazardous waste, storage and transportation regulations.
  - Send waste materials to a suitably licensed facility.
  - Identify suitable locations on the site for sorting and storing of materials for re-use, recycling and disposal. Factors to consider include slopes, drainage and personnel and vehicular access.
  - Maintain valid tipping dockets and receipts on site for inspection.



1.2. Re-use and recycling opportunities

The table below provides guidance on re-use and recycling opportunities:

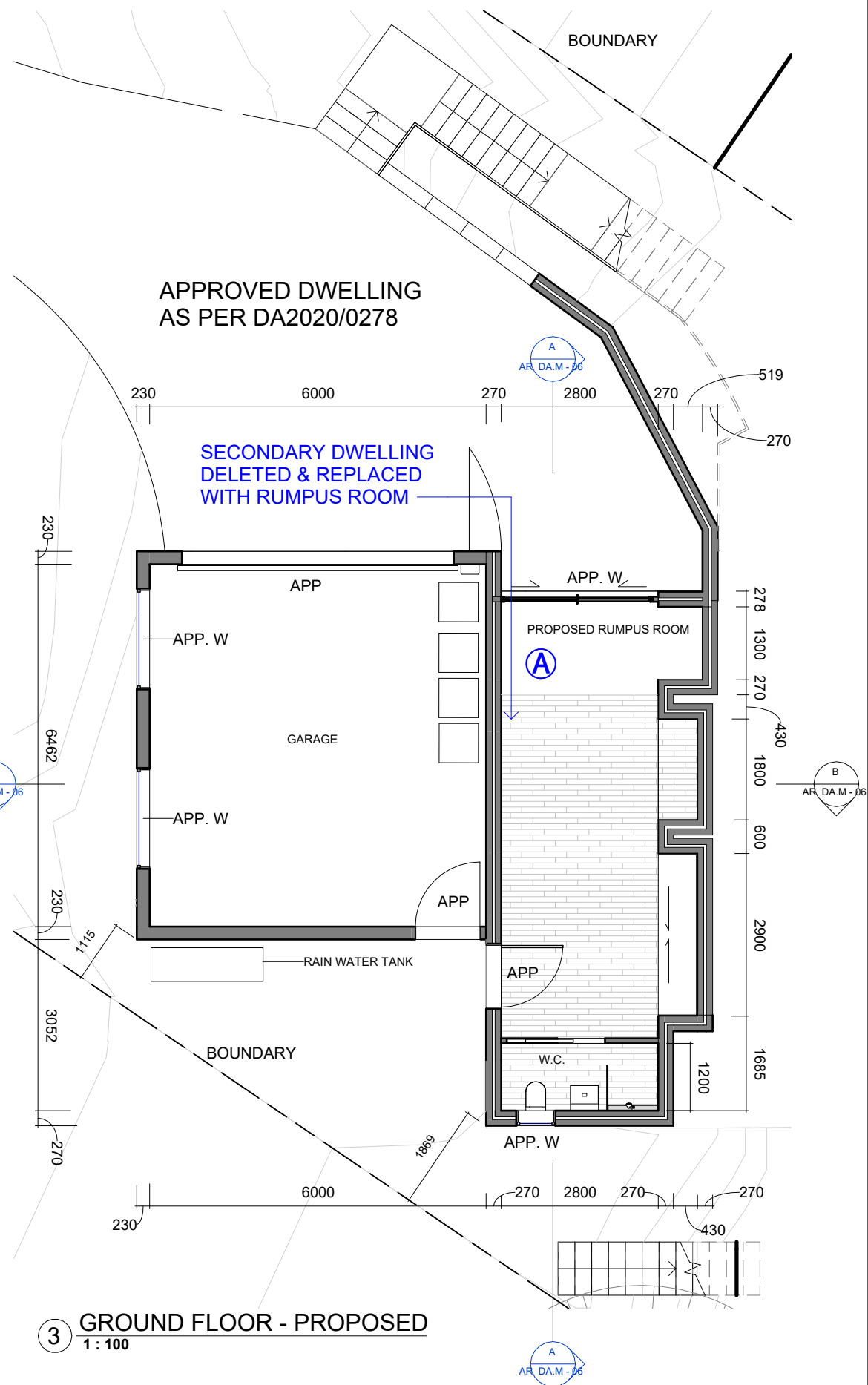
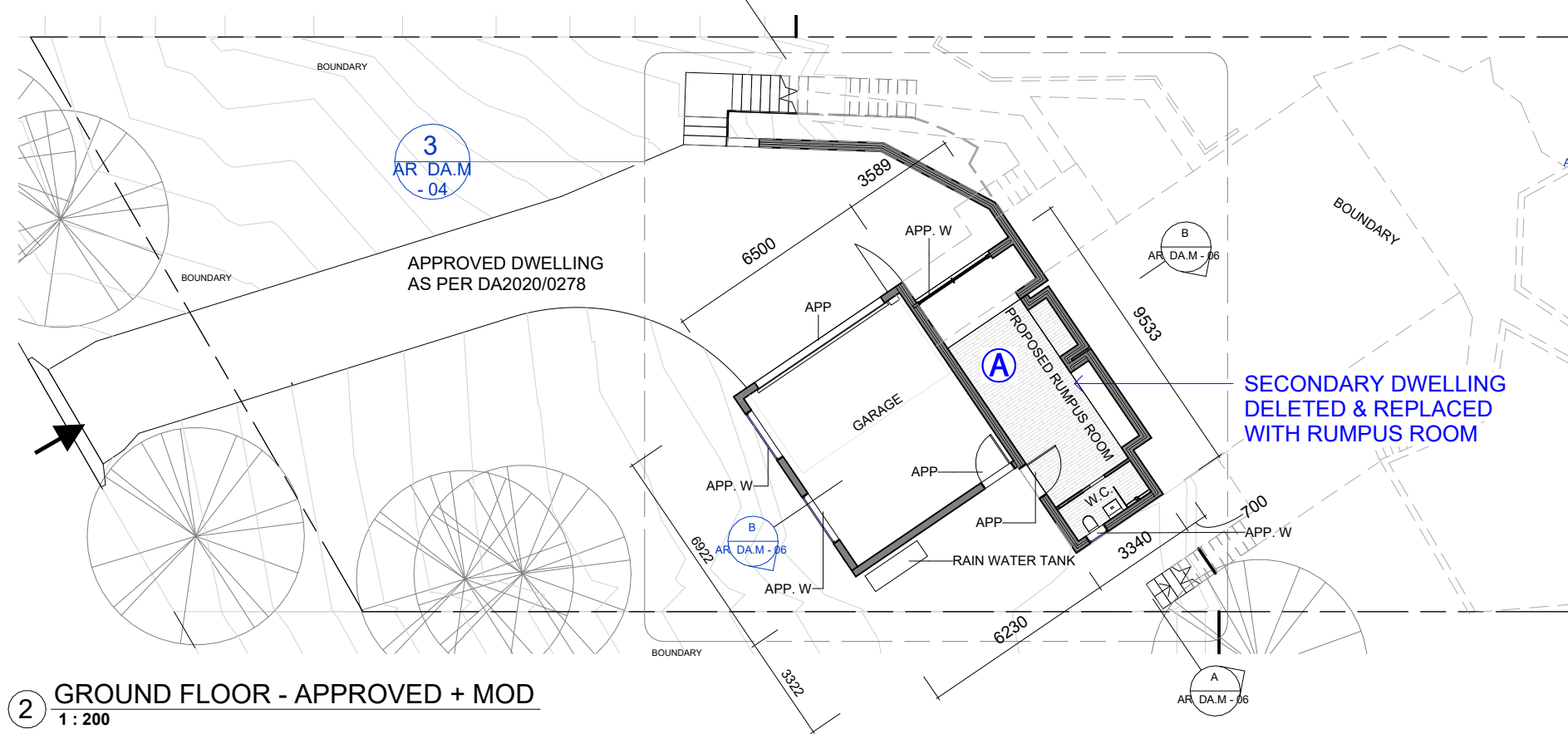
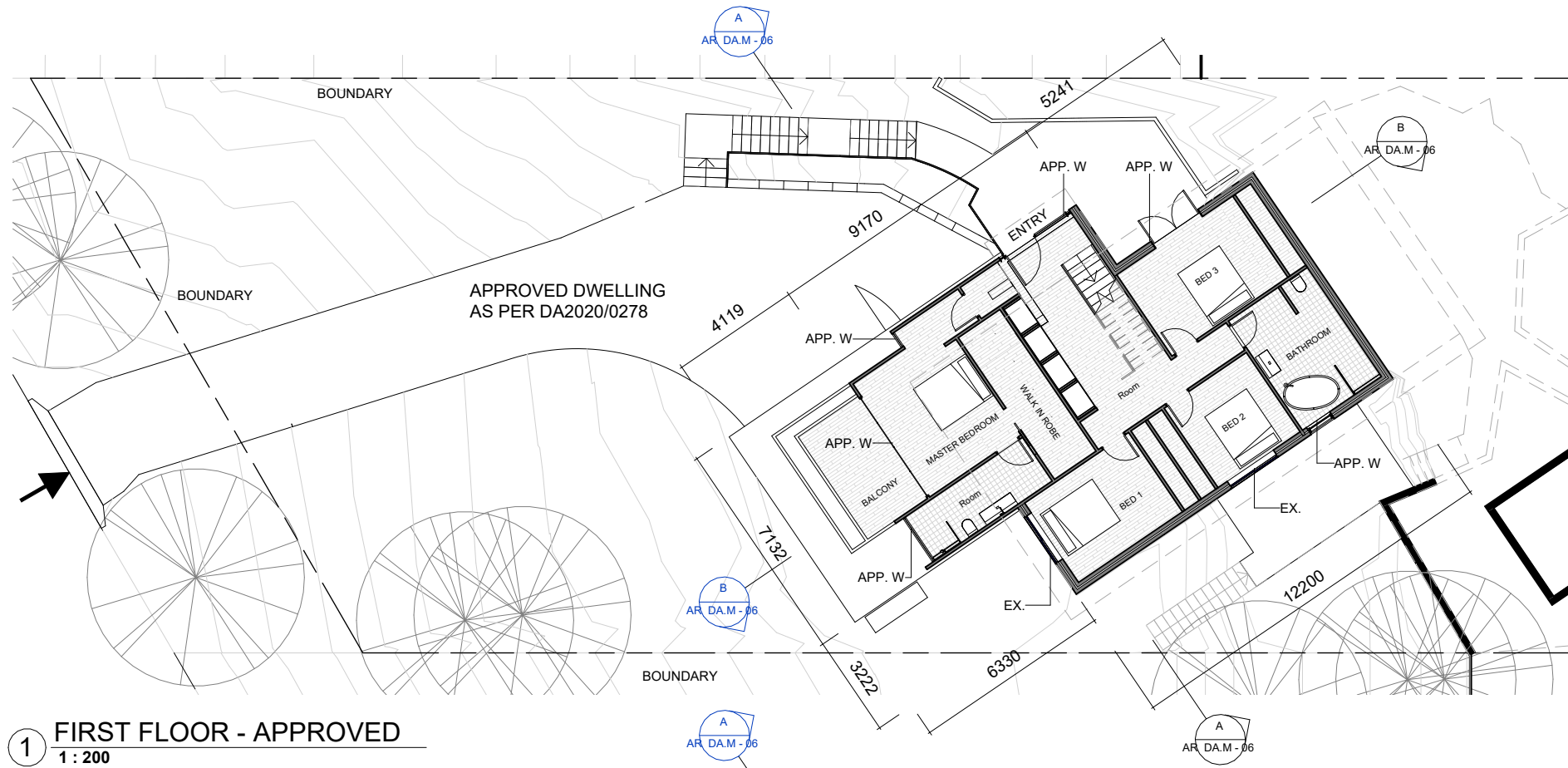
Material	Re-use and recycling opportunities
Excavated materials	Re-use for filling or levelling
Concrete	Re-use for filling, levelling or road base
Bricks / Pavers	Re-use or crush for landscaping and driveways
Roof Tiles	Re-use or crush for landscaping and driveways
Untreated Timber	Re-use as floorboards, fencing, furniture, mulch or send to second -hand timber suppliers
Treated Timber	Re-use as formwork, bridging, blocking and propping and send to second -hand timber suppliers
Doors / Windows / Fittings	Send to second -hand suppliers, or recycle
Metals	Re-use or recycle
Green Waste	Mulch or compost
Plasterboard	Re-use for landscaping, recycle or return to supplier
Carpet	Recycle or re-use in landscaping
Plastics / Rubber	Re-use or recycle



SEDIMENTATION CONTROL FENCE  
Scale 1: 10







**SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM**

**-PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020**



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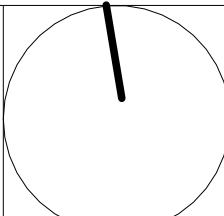
Client  
**HALL RESIDENCE**  
  
Project Address  
**65 MARINE PARADE, AVALON**

Sheet Number  
**AR DA.M - 04**  
  
Sheet Title  
**FIRST FLOOR APPROVED & GROUND FLOOR - MODIFIED**

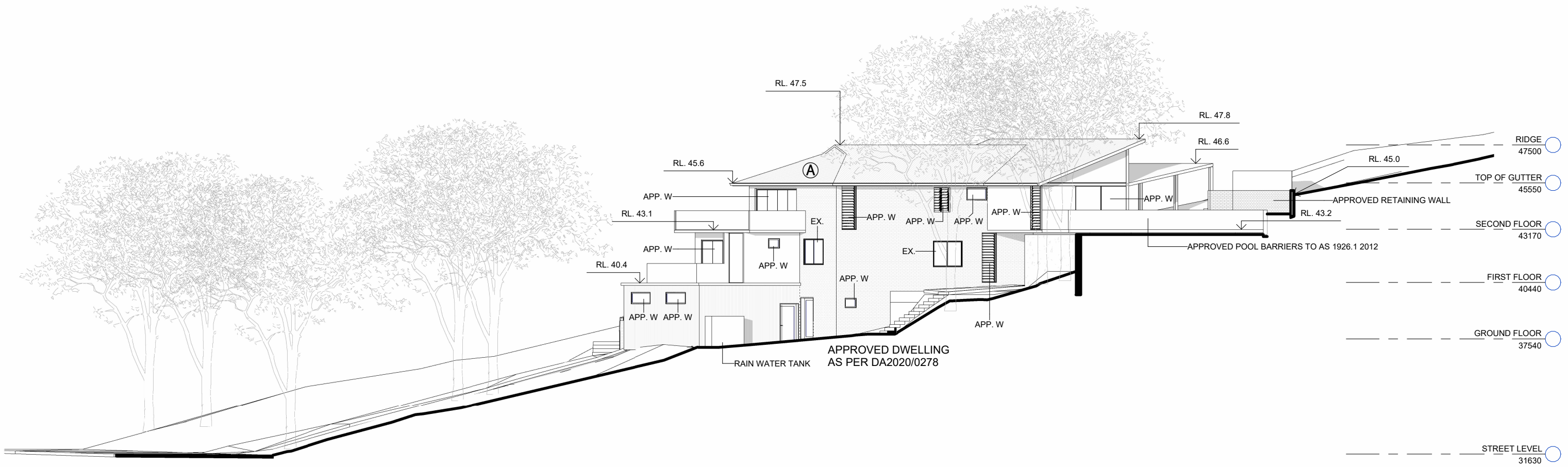
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ISSUE/REVISION		
N.º	Date	Note
A	02.08.24	COUNCIL SUBMISSION
B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS

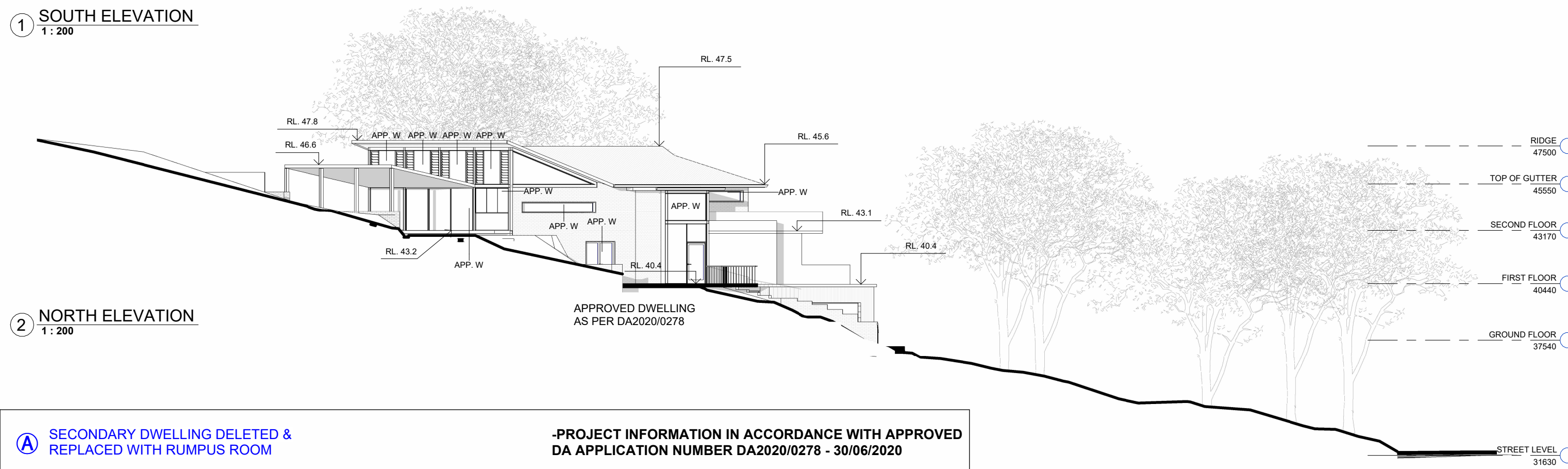
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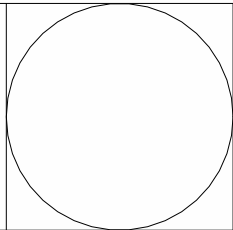
1 SOUTH ELEVATION  
1 : 200



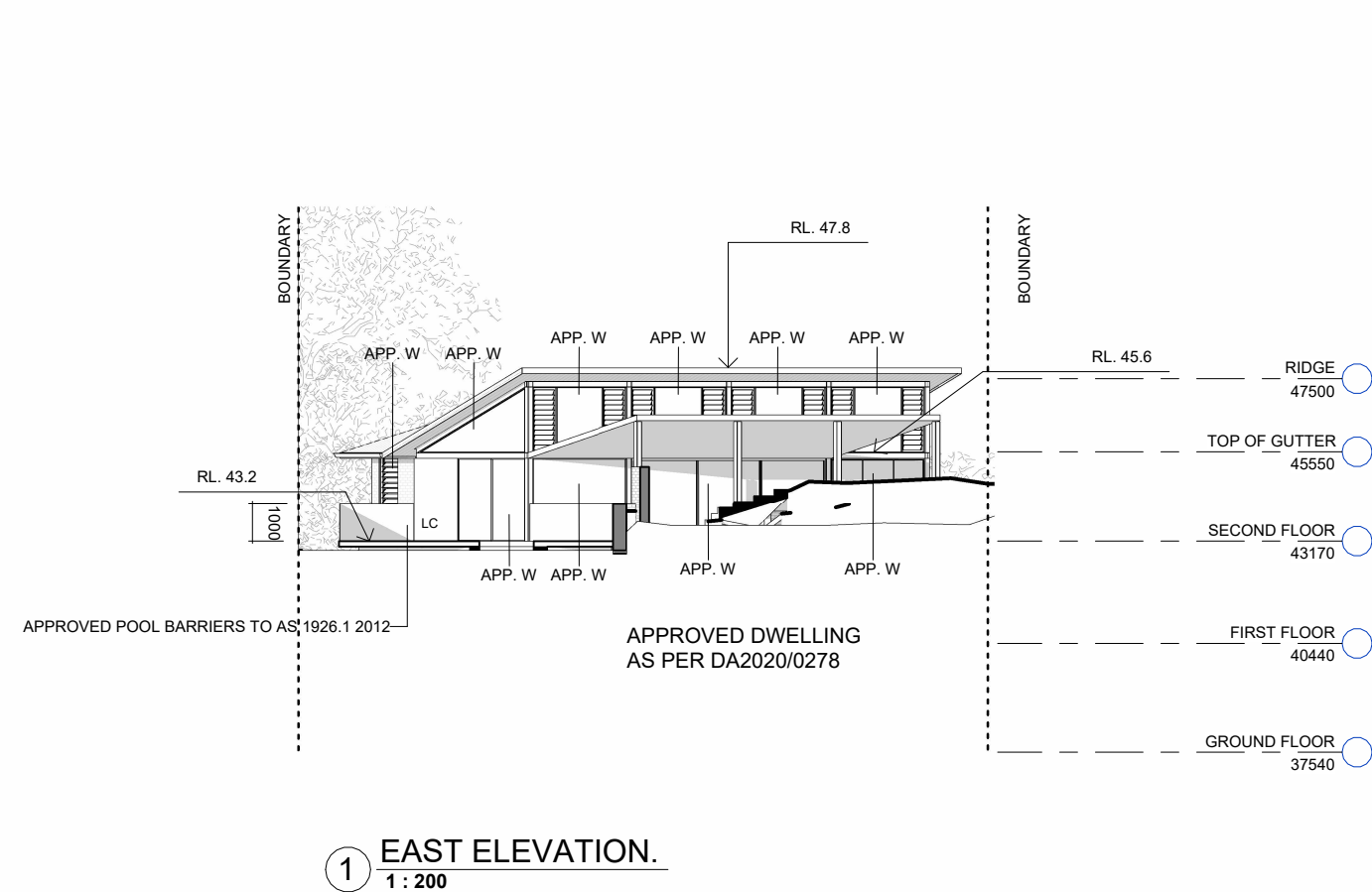
2 NORTH ELEVATION  
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**A** SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM

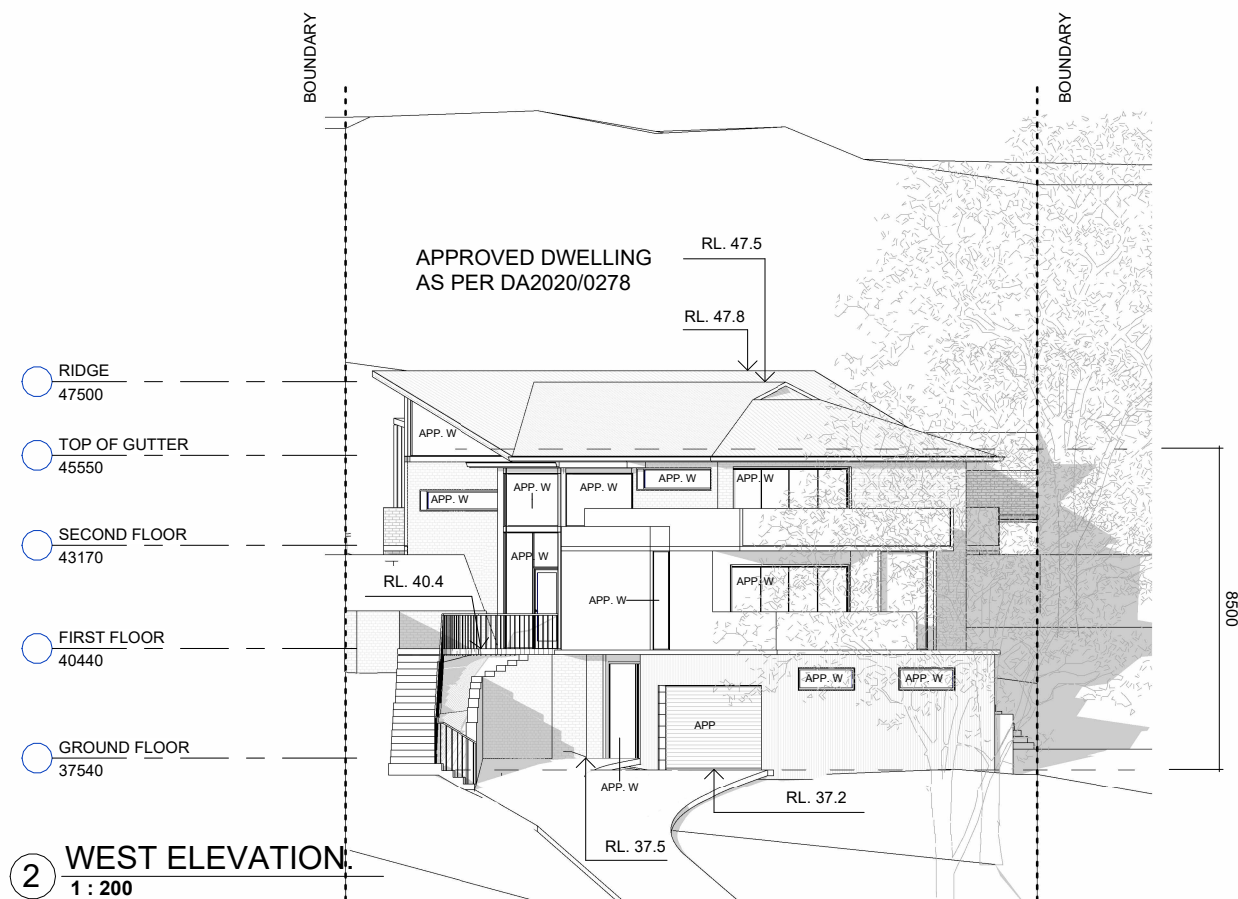
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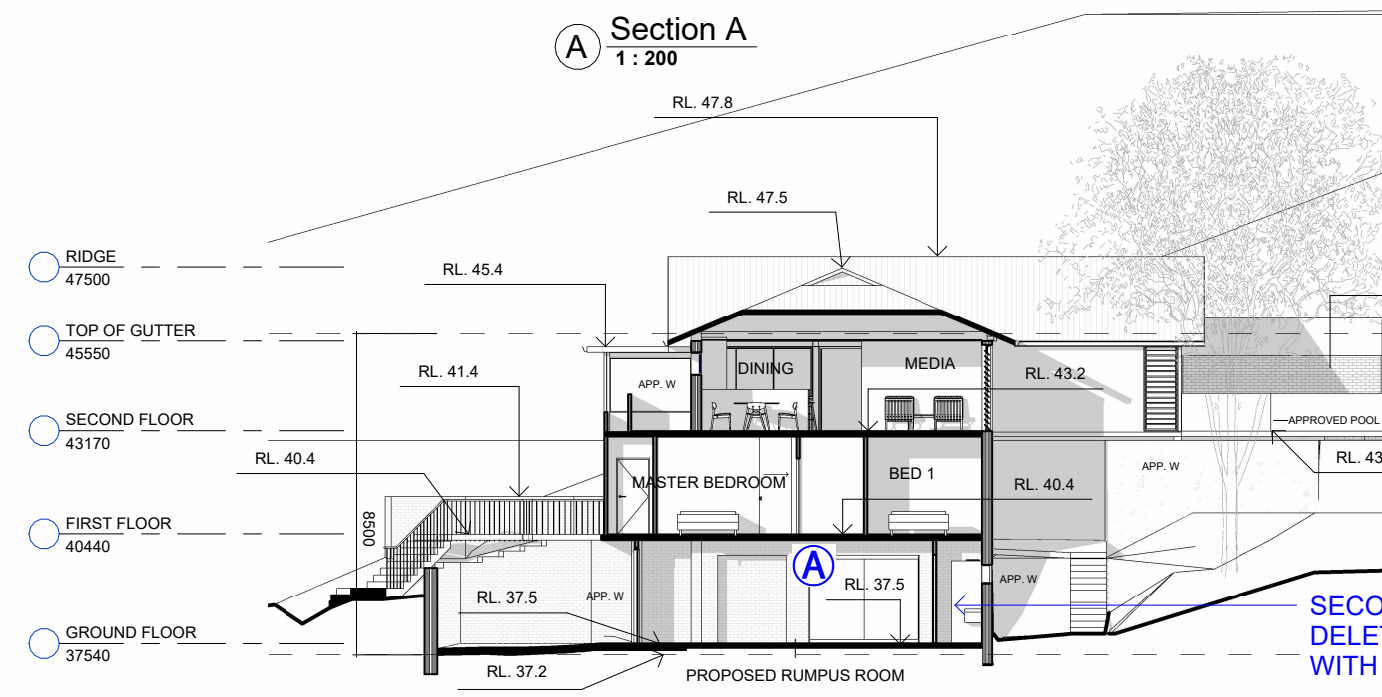




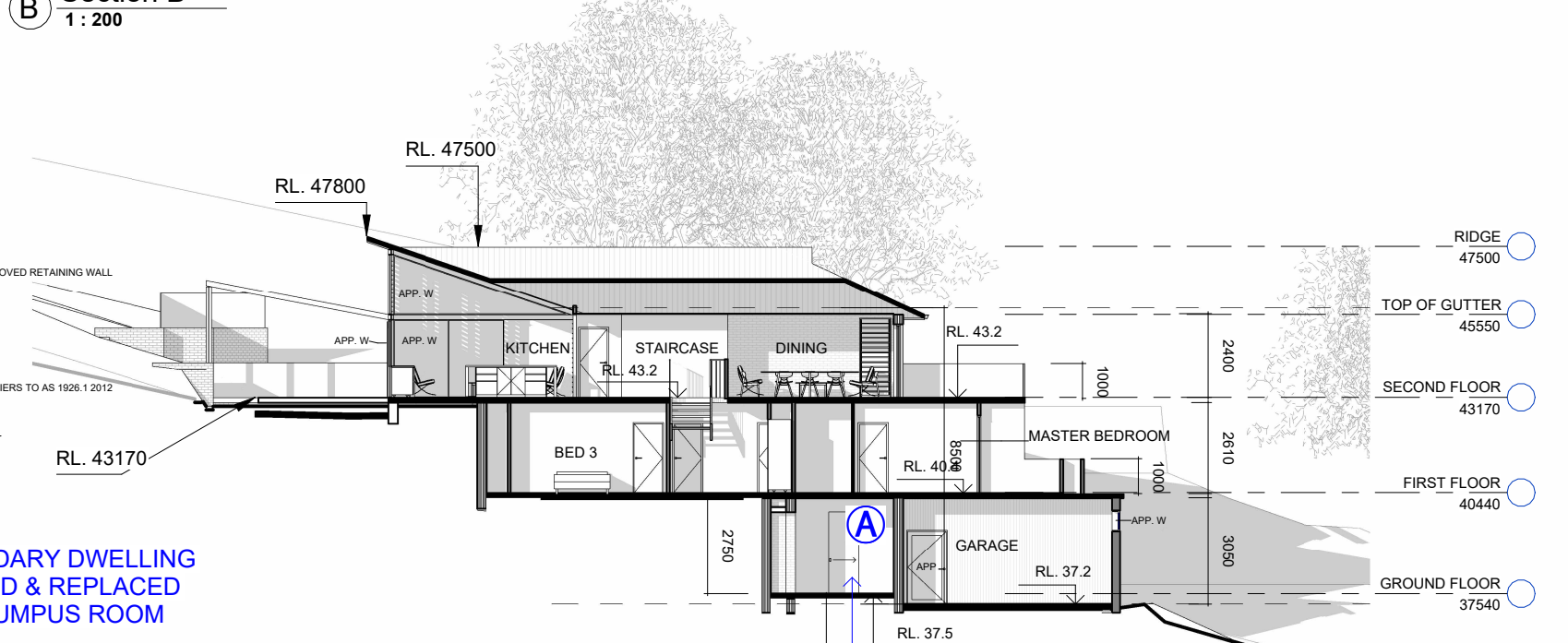
1 EAST ELEVATION.  
1 : 200



2 WEST ELEVATION.  
1 : 200



A Section A  
1 : 200


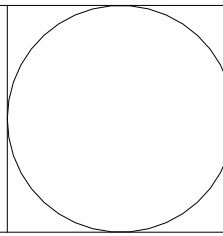


B Section B  
1 : 200

**SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM**

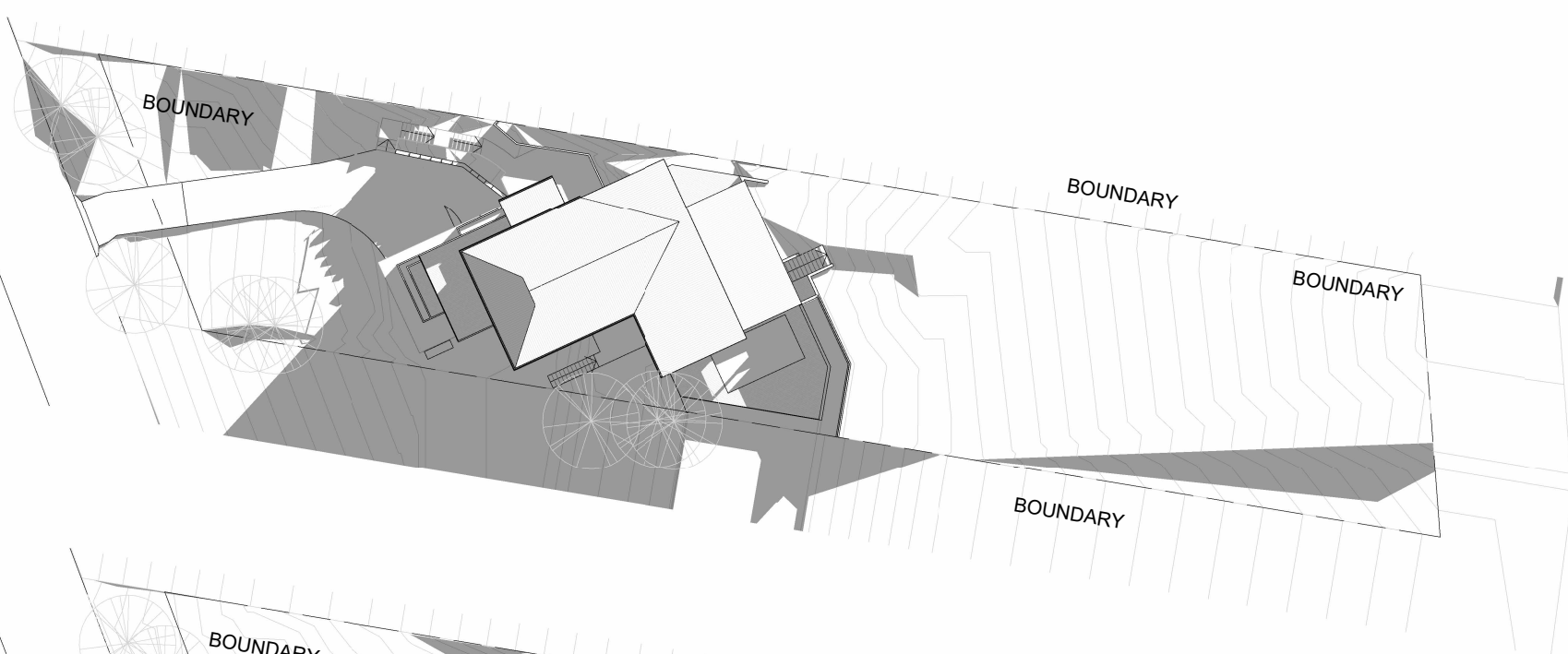
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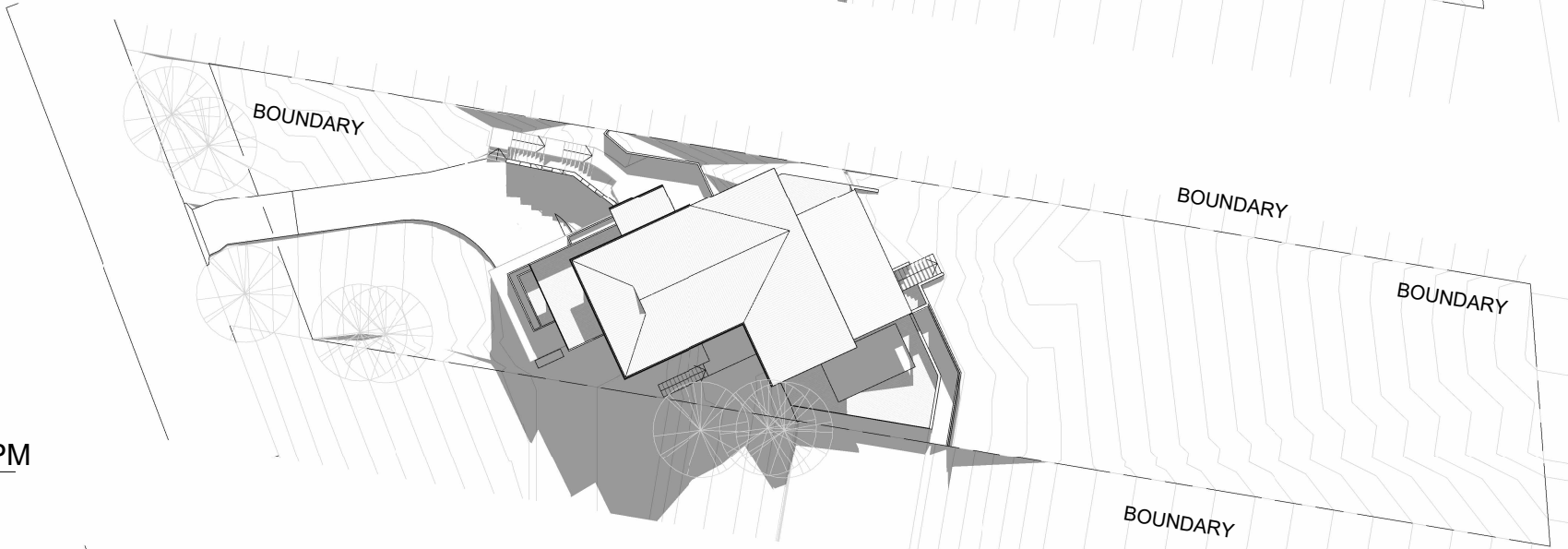
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								Scale As indicated	Sheet A 3		



1 APPROVED DWELLING - 22 JUNE 09 AM  
1 : 500



2 APPROVED DWELLING - 22 JUNE 12 PM  
1 : 500


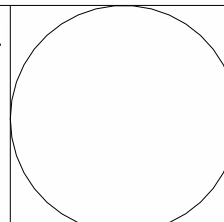


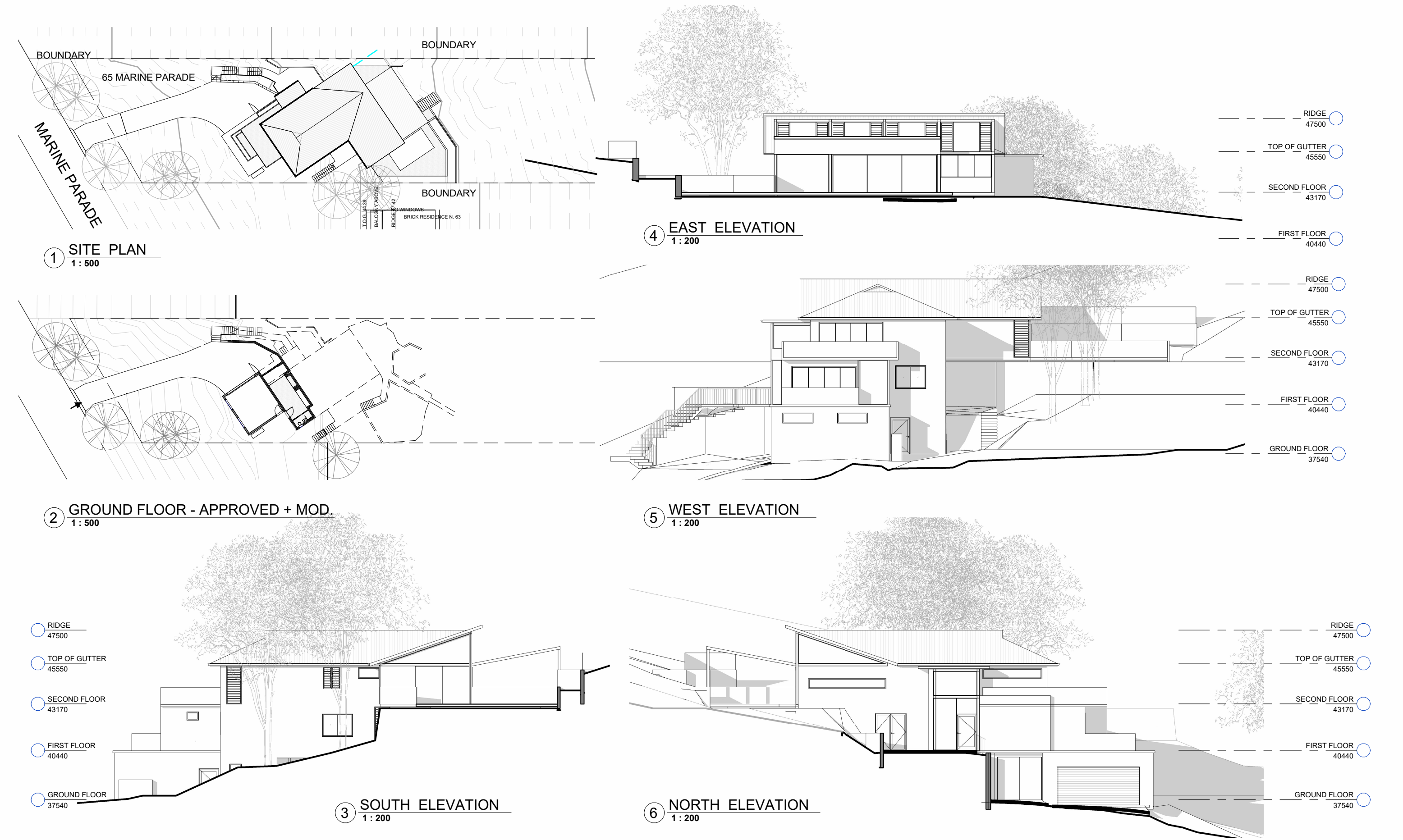
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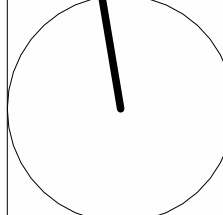


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REPLACED WITH RUMPUS ROOM

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DA APPLICATION NUMBER DA2020/0278 - 30/06/2020**

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		HALL RESIDENCE	AR DA.M - 07		N.º	Date	Note					
		Project Address	65 MARINE PARADE, AVALON		Sheet Title	SHADOW DIAGRAM - APPROVED	A	02.08.24	COUNCIL SUBMISSION	Scale		Sheet
							B	26.09.24	DRAWING MODIFIED AS PER COUNCIL INSTRUCTIONS			



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