

15 CLIFFORD AV FAIRLIGHT - ALTERATIONS AND ADDITIONS

DRAWING LIST

Dwg No:	Drawing Scale:	Drawing Title:
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1.02	NTS	General Notes
1.03	NTS	Demolition Notes
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1.08	1:100 @ A2	Roof Plan
1.09	1:100 @ A2	Area Calculations
1.10	1:100 @ A2	Stormwater/Sediment Plan
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2.02	1:100 @ A2	Elevations North and South
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3.02	1:100 @ A2	Section 3, 4 and 5
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4.02	1:100 @ A2	Shadow Diagrams
4.03	NTS	3D Images
4.04	1:150 @ A2	Notification Plan

AREA SCHEDULE

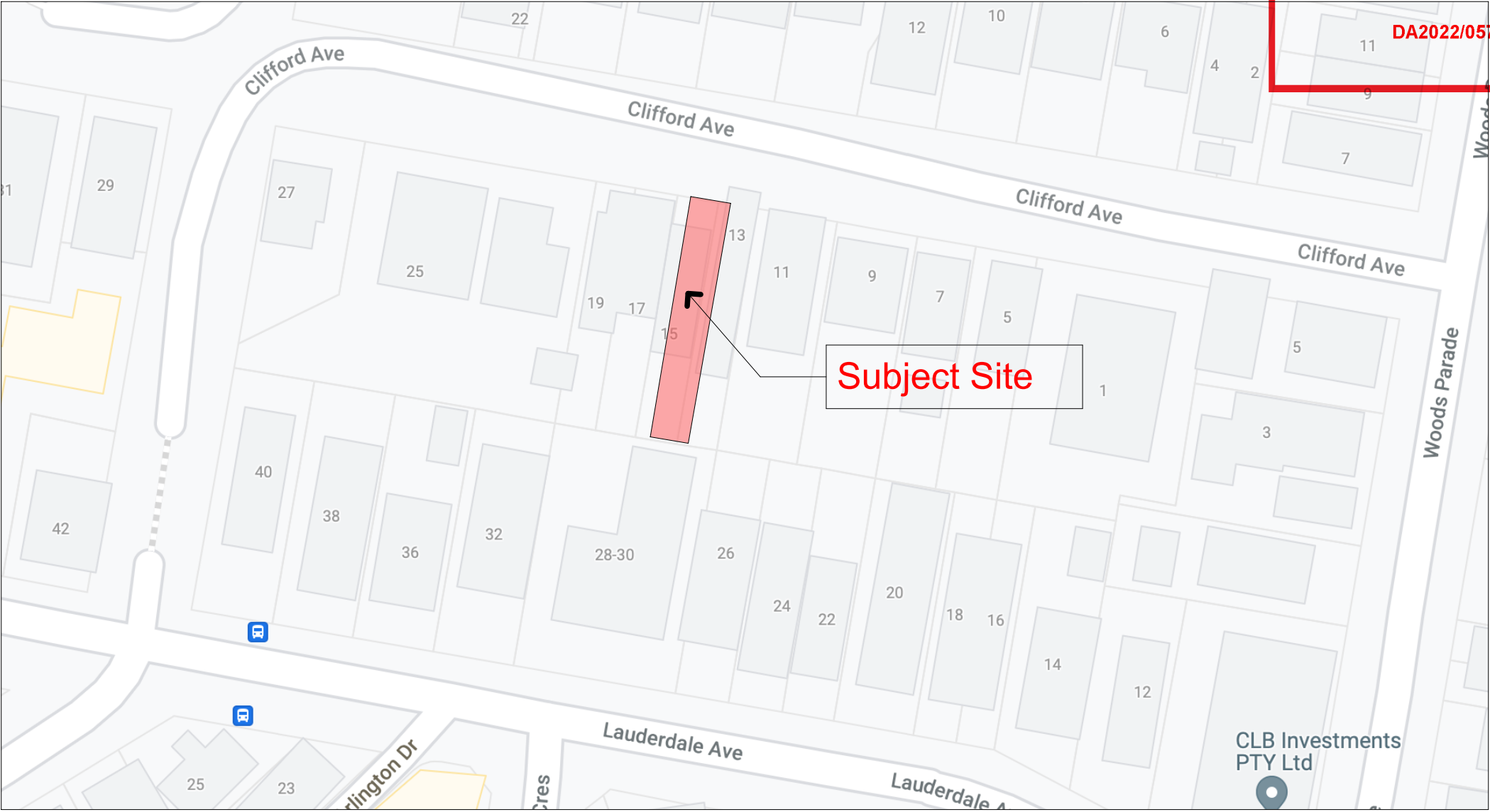
TOTAL SITE AREA		362,30 SQM	
<u>AREA CALCULATION AGAINST NBC CODES</u>			
	PROPOSED	EXISTING	COMPLY
HEIGHT	8.3 M	8.3 M	UNCHANGED
LANDSCAPED	31.3 SQM	31.3 SQM	UNCHANGED
FLOOR AREA	163 SQM	163 SQM	UNCHANGED
OPEN SPACE	88.6 SQM	88.6 SQM	UNCHANGED



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/0575

LOCALITY



IMPORTANT:

- ALL BEDROOM WINDOWS MORE THAN 2M ABOVE NATURAL GROUND MUST HAVE SILL HEIGHT OF MINIMUM 1700MM OR RESTRICTED OPENING OF MAXIMUM 125MM OR SCREEN WITH SECURE FITTING & MUST COMPLY WITH BCA CLAUSE 3.9.2.5 – PROTECTION OF OPEN ABLE WINDOWS
- HANDRAILS MUST BE INSTALLED ON AT LEAST ONE SIDE OF A STAIRWAY COMPLYING WITH BCA CLAUSE 3.9.2.4.
- ALL WALLS AND OPENINGS WITHIN 900MM OF THE BOUNDARY MUST BE 60/60/60 ONE HOUR CONSTRUCTION & COMPLY WITH CLAUSE 3.7.1.3 & 3.7.1.5
- INSTALLATION MUST BE INSTALLED IN ACCORDANCE AND COMPLY WITH CLAUSE 3.8.6.3 – GENERAL INSTALLATION REQUIREMENTS FOR WALLS
- SMOKE ALARMS MUST BE CONNECTED TO MAIN POWER & INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM AND MUST BE INSTALLED IN A CLASS 1 BUILDING ON OR NEAR THE CEILING IN:
A) ANY STOREY CONTAINING BEDROOMS; i) BETWEEN EACH PART OF THE DWELLING CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING ;ii) WHERE THE BEDROOMS ARE SERVED BY A HALLWAY, IN A HALLWAY
B) ANY OTHER STOREY CONTAINING BEDROOMS

EXTERNAL FINISHES

ROOF	NEW TILED ROOF TO BE PAINTED DARK, EXISTING ROOF TILES TO MATCH	
CEILING	SET PLASTERBOARD CEILING LINING SYSTEM FOR INTERNAL PURPOSE TO BE ATTACHED TO CEILING GRID STRUCTURE	
CEILING	V-JOINT FOR UNDERSIDE OF CEILING AS SPECIFIED OF CONSTRUCTION DRAWINGS	
WALLS	WEATERTEX WHEATERBOARD 140MM CLADDING, RUNNING ORIZONTALLY SYSTEM TO FUTURE SPECIFICATIONS TO BE PAINTED NATURAL WHITE COLOUR LOW SHEEN	
INTERNAL WALLS	V-JOINT INTERNAL WALLS AS SPECIFIED OF CONSTRUCTION DRAWINGS	
FLOORS	EXTERNAL CONCRETE TILES NON SLIP TO COMPLY WITH AUSTRALIAN STANDARDS	
FLOORS	INTERNAL: ENGINEERED TIMBER FLOORING 16MM TO BE LAID ON TOP OF EXISTING. COLOUR TO BE CONFIRMED	
WINDOWS & DOORS	DULUX NATURAL WHITE GLAZED ALUMINIUM WINDOWS AND DOORS, GLASS TO COMPLY WITH BASIX REQUIREMENTS AND ACCORDINGLY WITH SCHEDULE ON DOOR AD WINDOW SCHEDULES	
GUTTERS	COLORBOND STEEL GUTTERS DULUX NATURAL WHITE NON REFLECTIVE, SIZE AND DEPTH TO MATCH FUTURE ENG. DRAWINGS	

BASIX COMMITMENTS

REFER TO BASIX CERTIFICATE ATTACHED WITH THIS APPLICATION

NOTE: All works carried on must comply with the Building Code of Australia, the requirements of Northern Beaches Council, and the approved conditions if any, the requirements of the constituted authorities for the supply of services, and the current relevant standards published by the standards association of Australia.

Development Application

NOTES:

Stage Legend
M - Masterplan
C - Concept
P - Presentation
D - Draft Issue
da - Pre-Development Application
DA - Development Application
96 - Section 96 Documentation
DD - Design Development
CD - Construction Certificate
T - Tender Package
CS - Construction Set

Issued Format
e - Electronic
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ISSUE STAGE

DATE

A

CP

02.12.21

X

X

B

DA

25.03.22

X

X

###

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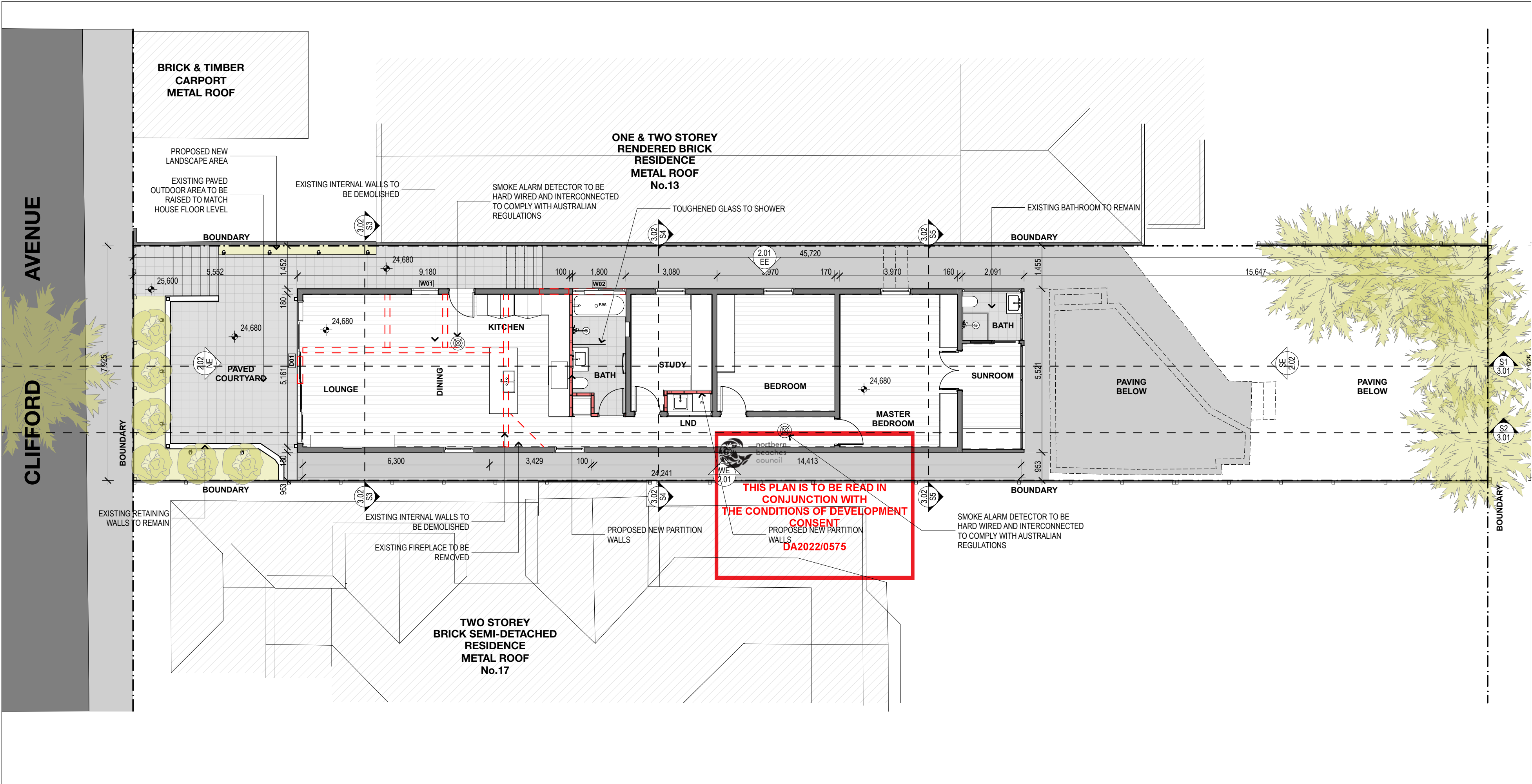
CLIENT
Emma and Michael

PROJECT
15 Clifford
15 Clifford Fairlight

DRAWING TITLE:
General Plan
Site Location, Area Schedule

SCALE: NTS
DRAWN BY: AC
ISSUE: B
DRAWING NO:
JOB NO:
A-131
PLOT DATE:

DATE:
CHECKED BY: AC
1.01
25/3/2022



Ground Floor

1:100

STORMWATER GENERAL NOTES

All property information including easement location(s), property dimensions, angles etc must be confirmed using a copy of the Title Plan/Subdivision, Surveyors Drawings or the like.

Builder to confirm location of any sewer or stormwater prior to the commencement of any works

Allow to connect new stormwater to legal point of discharge as per relevant local authorities.

WET AREAS GENERAL NOTES

Floors in wet areas to be IMPERVIOUS to moisture and to comply with part 3.8.1 of the BCA. Tiled a minimum 150mm behind trough and sink and 1800mm high for shower enclosures.

Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS3740-2010: Waterproofing of domestic wet areas.

The BCA also stipulates a mandatory requirement that all wet area floors to be sealed and tanked if a graded tile shower base is proposed.

In order to counteract moisture penetration throughout wet area spaces it is recommended the builder use villaboard where tiles are indicated as the proposed floor finish. An appropriate tanking substrate is also recommended for application in all wet area zones. Particulars to be confirmed with the appropriate contractor.

FLOOR FINISHES GENERAL NOTES

Builder to confirm the suitability of all materials prior to the commencement of any building works.

The listed choice of materials is NOT FINAL, and is only a recommendation of the Designer. The builder is to consult with the client to confirm the final selection of materials prior to commencement of any building works/costings and/or take offs.

INSULATION GENERAL NOTES

All insulation must comply with AS/NZS 4859.1 and be installed so that it abuts or overlaps adjoining insulation and forms a continuous barrier with ceilings, walls, bulkheads, floors or the like. Bulk insulation must be installed so that it maintains its position and thickness.

SCALE



Development Application

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ISSUE	STAGE	DATE	BY	DATE	BY
A	CP	02.12.21	X	X	
B	DA	25.03.22	X	X	

WALL LEGEND

EXISTING

DEMOLISHED

PROPOSED

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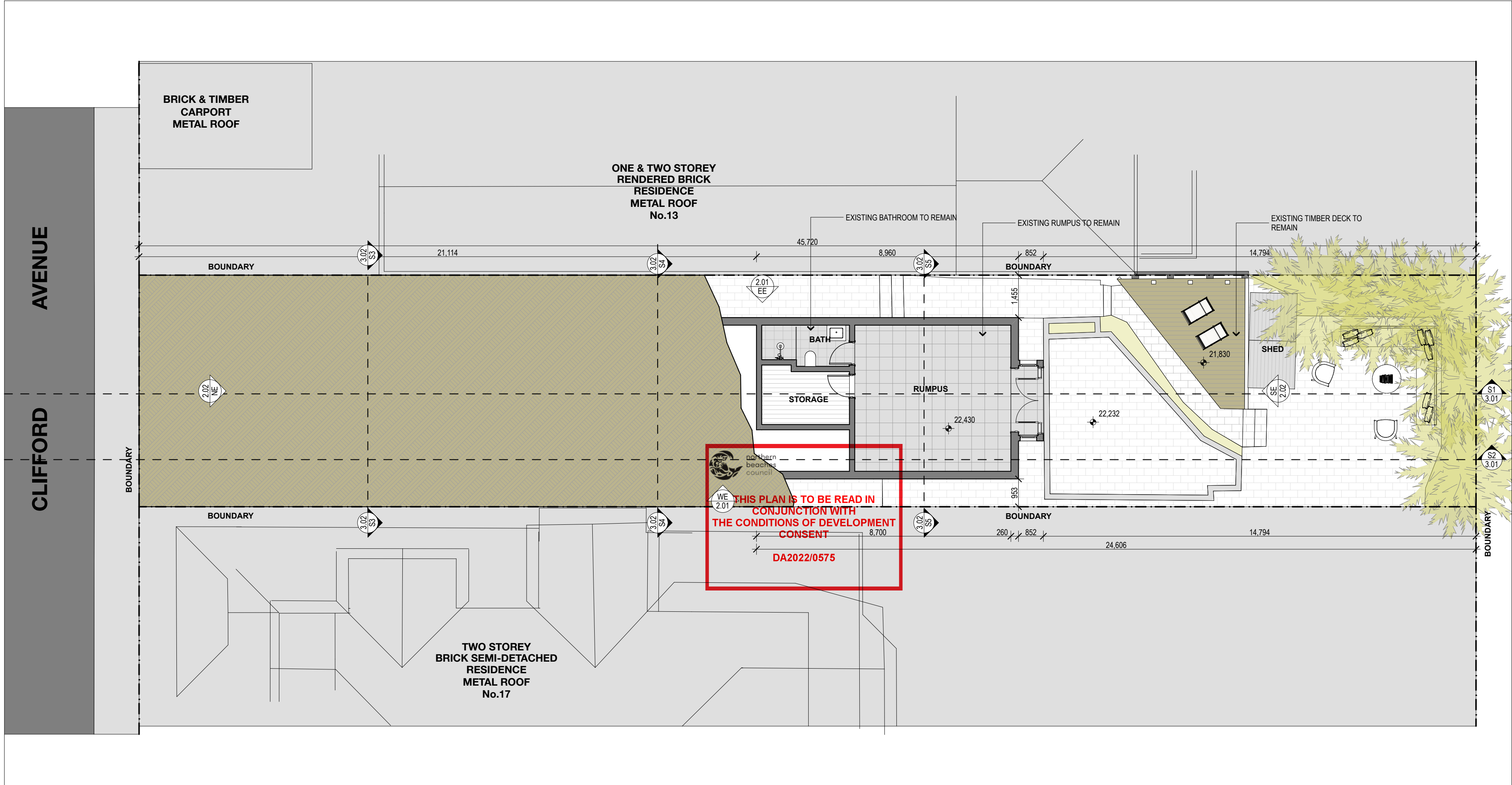
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CLIENT
PROJECT
15 Clifford
15 Clifford Fairlight

DRAWING TITLE:
General Plan
Ground Floor Plan

SCALE: 1:100@A2 DATE:
DRAWN BY: AC CHECKED BY: AC
ISSUE: B DRAWING NO:
JOB NO: 1.06
PLOT DATE: 25/3/2022



1 Basement 1:100

STORMWATER GENERAL NOTES

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ISSUE	STAGE	DATE	BY	CHKD
A	OP	02.12.21	X	X
B	DA	25.03.22	X	X

WALL LEGEND

EXISTING
DEMOLISHED
PROPOSED

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N

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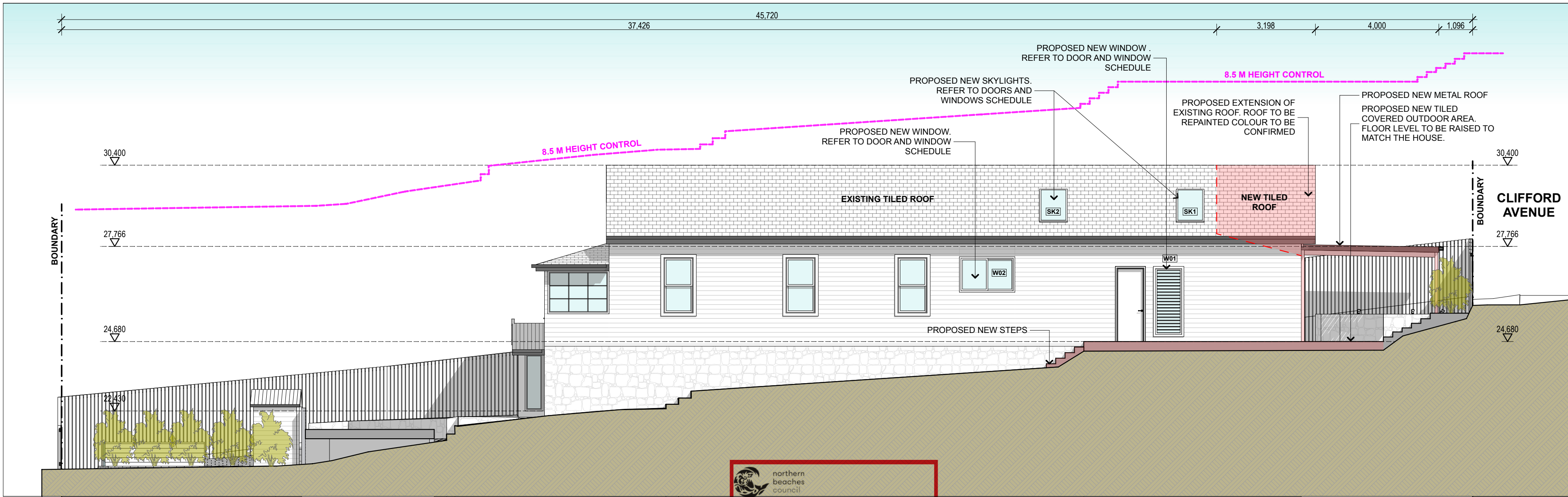
CLIENT
Emma and Michael

PROJECT
15 Clifford
15 Clifford Fairlight

DRAWING TITLE:
General Plan
Basement Plan

SCALE:
DRAWN BY: AC
ISSUE: B
JOB NO:
A-131
PLOT DATE:

DATE:
CHECKED BY: AC
DRAWING NO:
1.07
25/3/2022



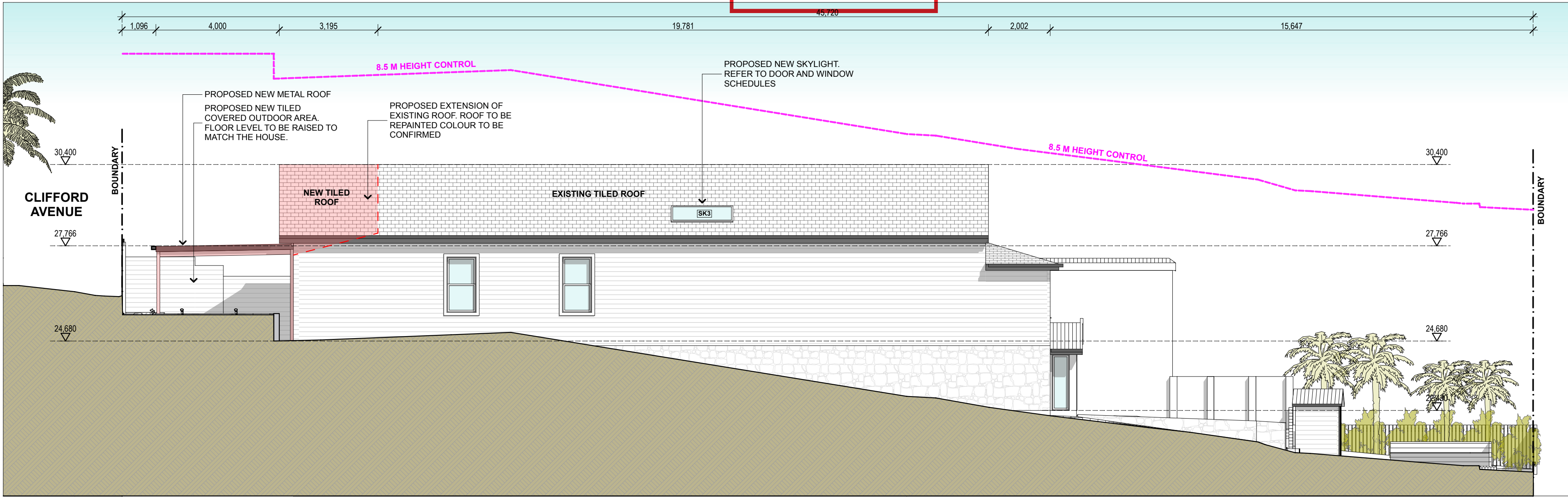
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beaches
council

East Elevation

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/0575

1:100



West Elevation

1:100

SCALE



NOTES:

Stage Legend		CONSULT		CONTRACT	
M	Masterplan				
C	Concept				
P	Presentation				
D	Draft Issue				
da	Pre-Development Application				
96	Section 96 Documentation				
DD	Design Development				
CC	Construction Certificate				
T	Tender Package				
CS	Construction Set				

ISSUE	STAGE	DATE	BY	FOR
A	CP	02.12.21	X	X
B	DA	25.03.22	X	X

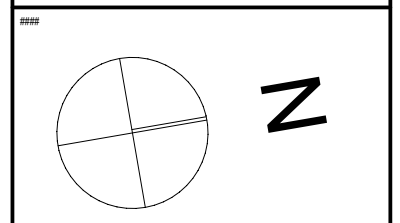
CONSULT	CONTRACT
emma.v.groom@justarchitects.com.au	michael.groom@justarchitects.com.au

ISSUE	STAGE	DATE	BY	FOR
A	CP	02.12.21	X	X
B	DA	25.03.22	X	X

ISSUE	STAGE	DATE	BY	FOR
A	CP	02.12.21	X	X
B	DA	25.03.22	X	X

WALL LEGEND

EXISTING	
DEMOLISHED	
PROPOSED	



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Emma and Michael

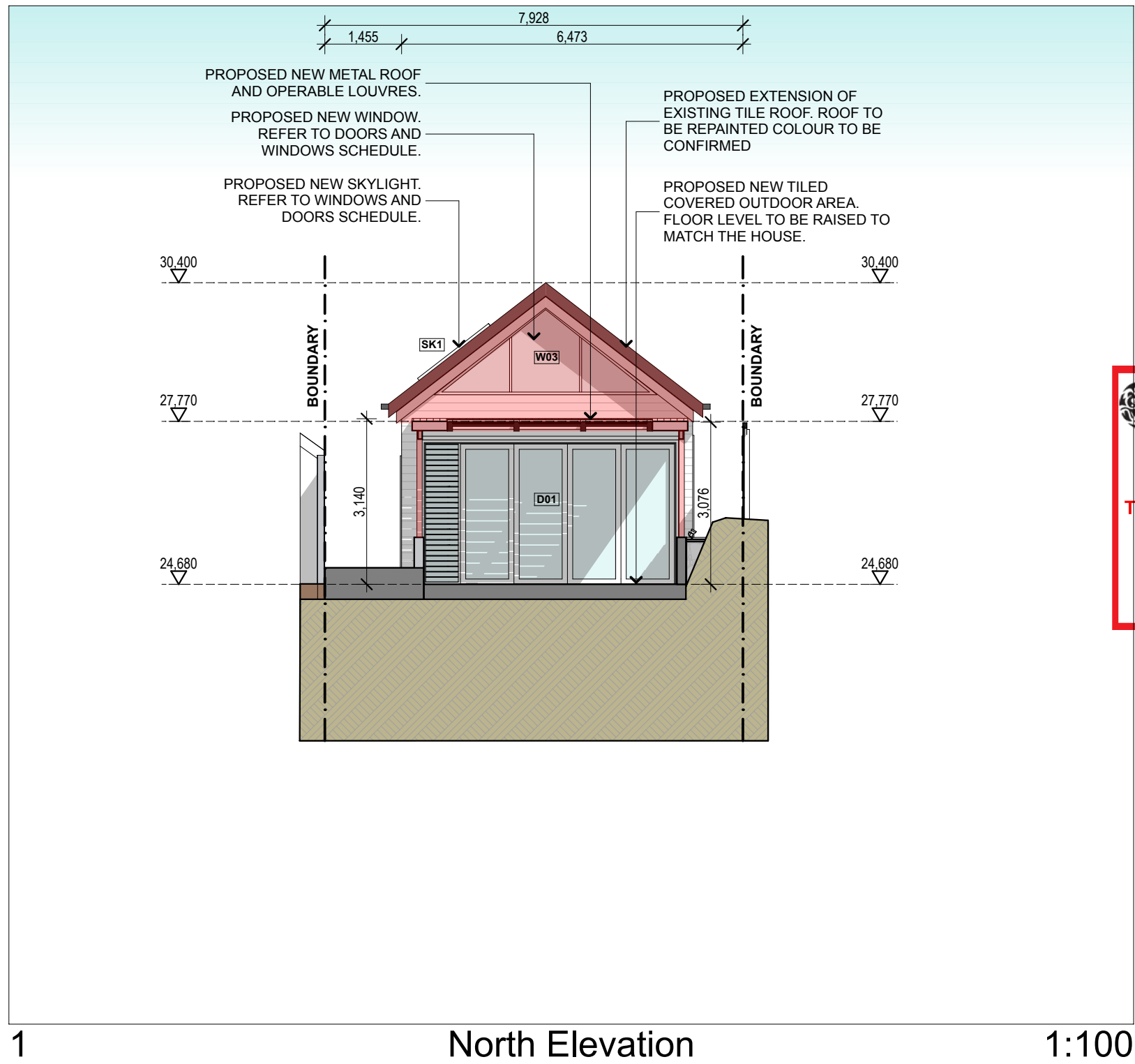
PROJECT
15 Clifford
15 Clifford Fairlight

DRAWING TITLE:
Elevations
Elevations East and West

SCALE: 1:100@A2
DRAWN BY: AC
ISSUE: B
JOB NO: A-131
PLOT DATE: 25/3/2022

DATE:
CHECKED BY: AC
2.01

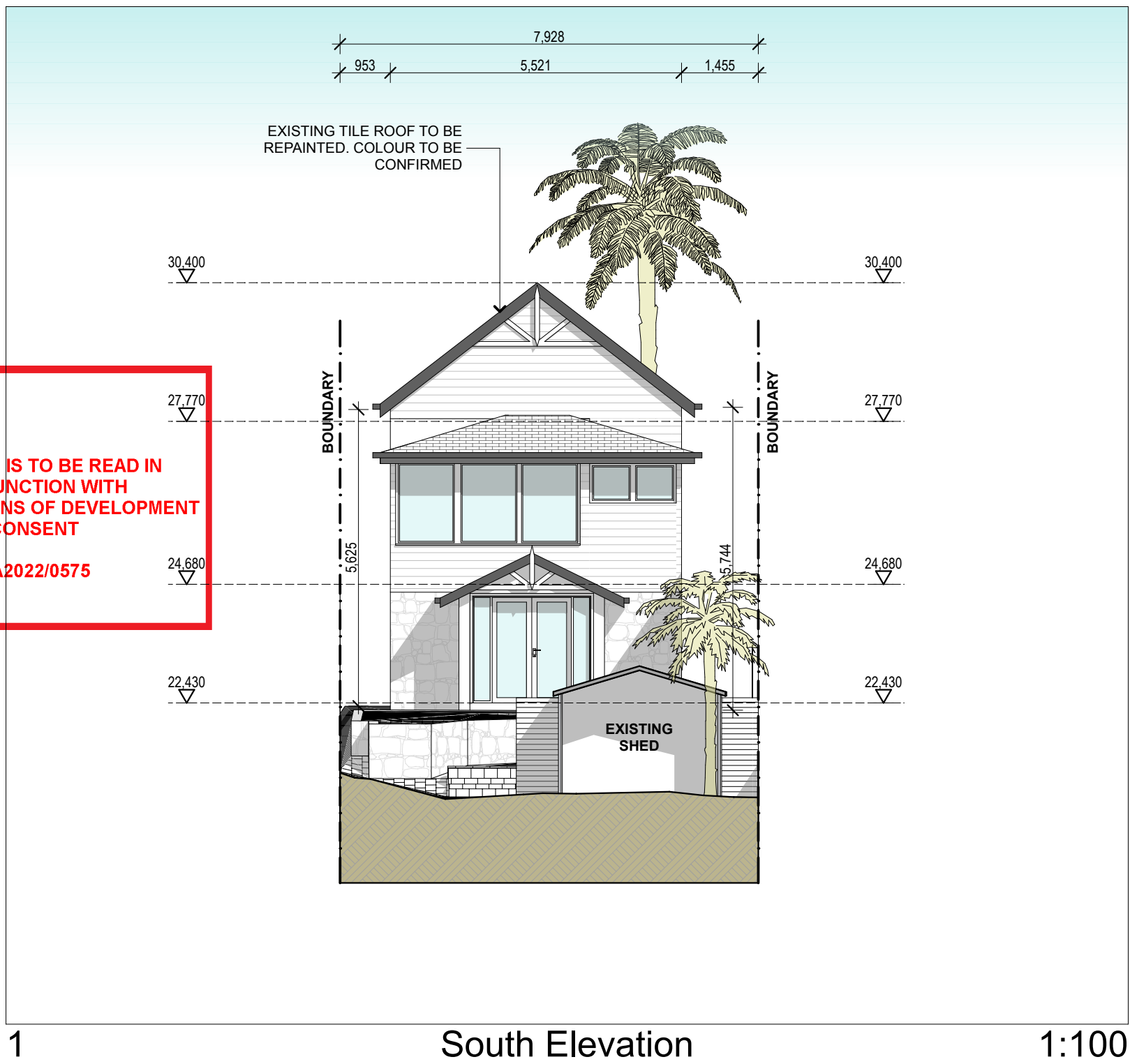
Development Application



 northern beaches council

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SCALE



Development Application

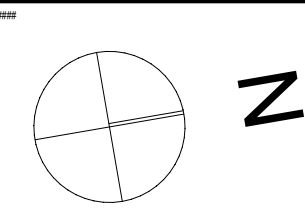
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Stage Legend		CONSULT		CONSTRUCT	
M	Masterplanning	EM	Emma V. Groom	CM	Michael Groom
C	Concept				
P	Preparation				
D	Draft Issue				
DA	DA - Pre Development Application				
96	96 - Section 96 Documentation				
DD	DD - Design Development				
CC	CC - Construction Certificate				
T	Tender Package				
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ISSUE	STAGE	DATE	EM	CM
A	CP	02.12.21	X	X
B	DA	25.03.22	X	X

WALL LEGEND

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PROPOSED	



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CLIENT
Emma and Michael
PROJECT
15 Clifford
15 Clifford Fairlight

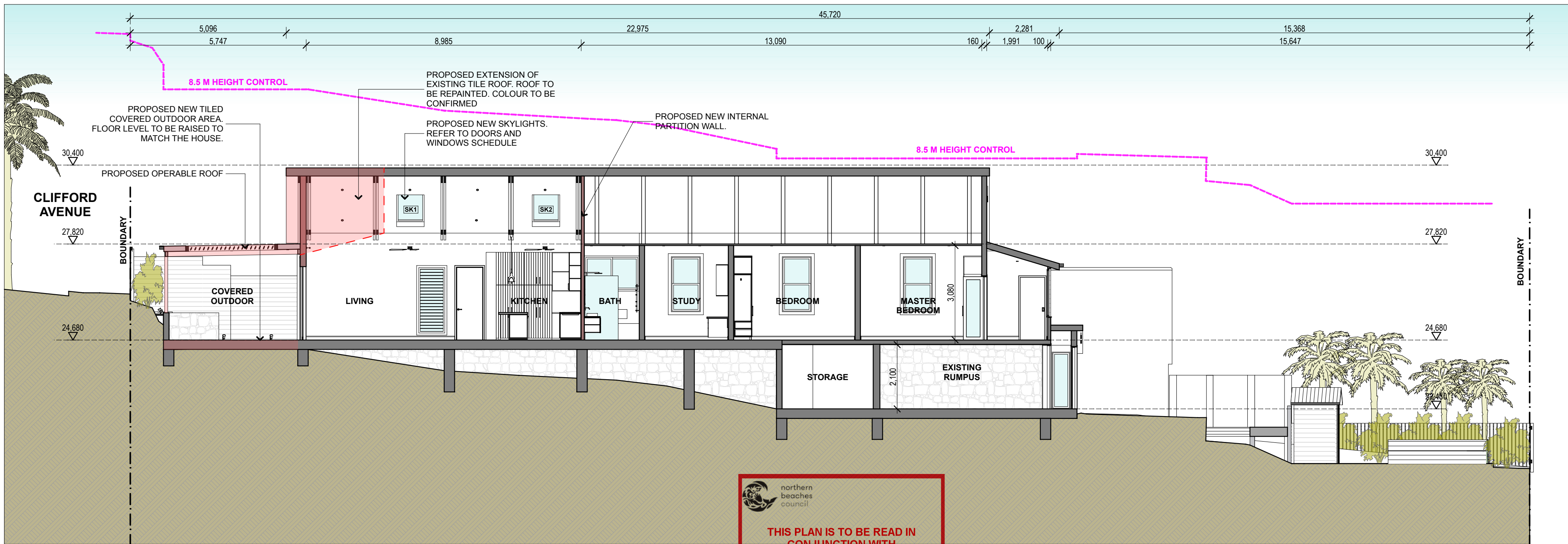
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Elevations
Elevations North and South

SCALE: 1:100@A2
DRAWN BY: AC
ISSUE: B
DRAWING NO:

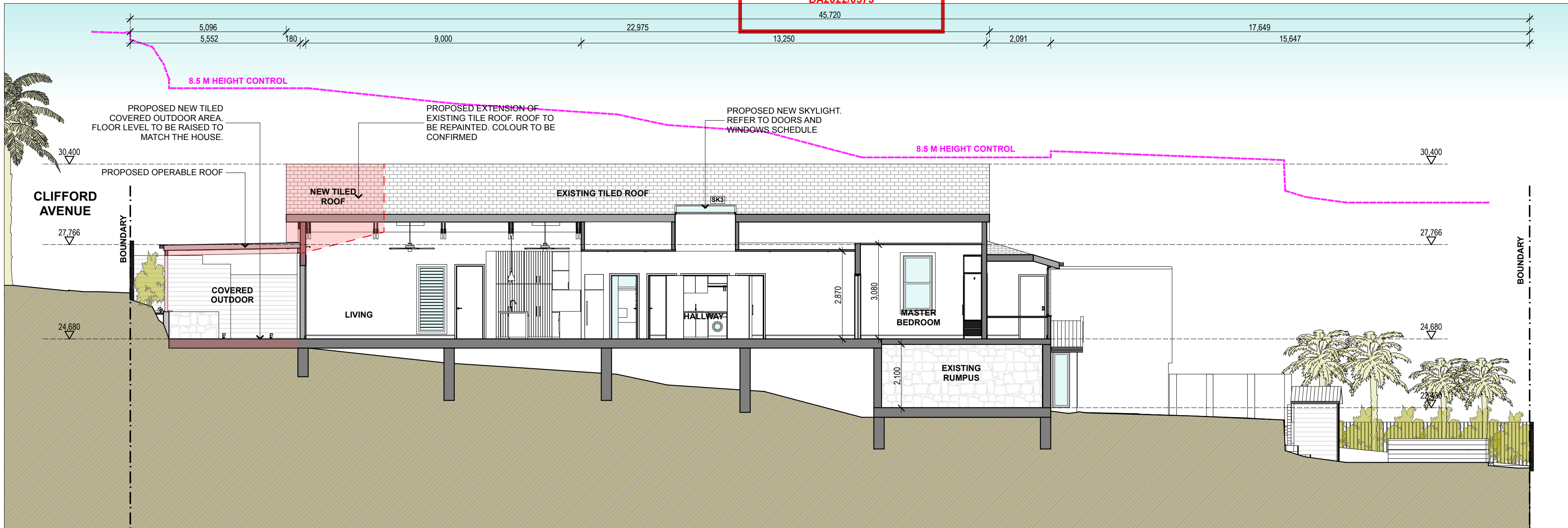
DATE:
CHECKED BY: AC
JOB NO:
A-131

PLOT DATE:
25/3/2022

2.02



1 1:100



1 Section 2 1:100

SCALE



NOTES:

Stage Legend
M - Masterplan
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ISSUE STAGE DATE
A CP 02.12.21 X X
B DA 25.03.22 X X

WALL LEGEND

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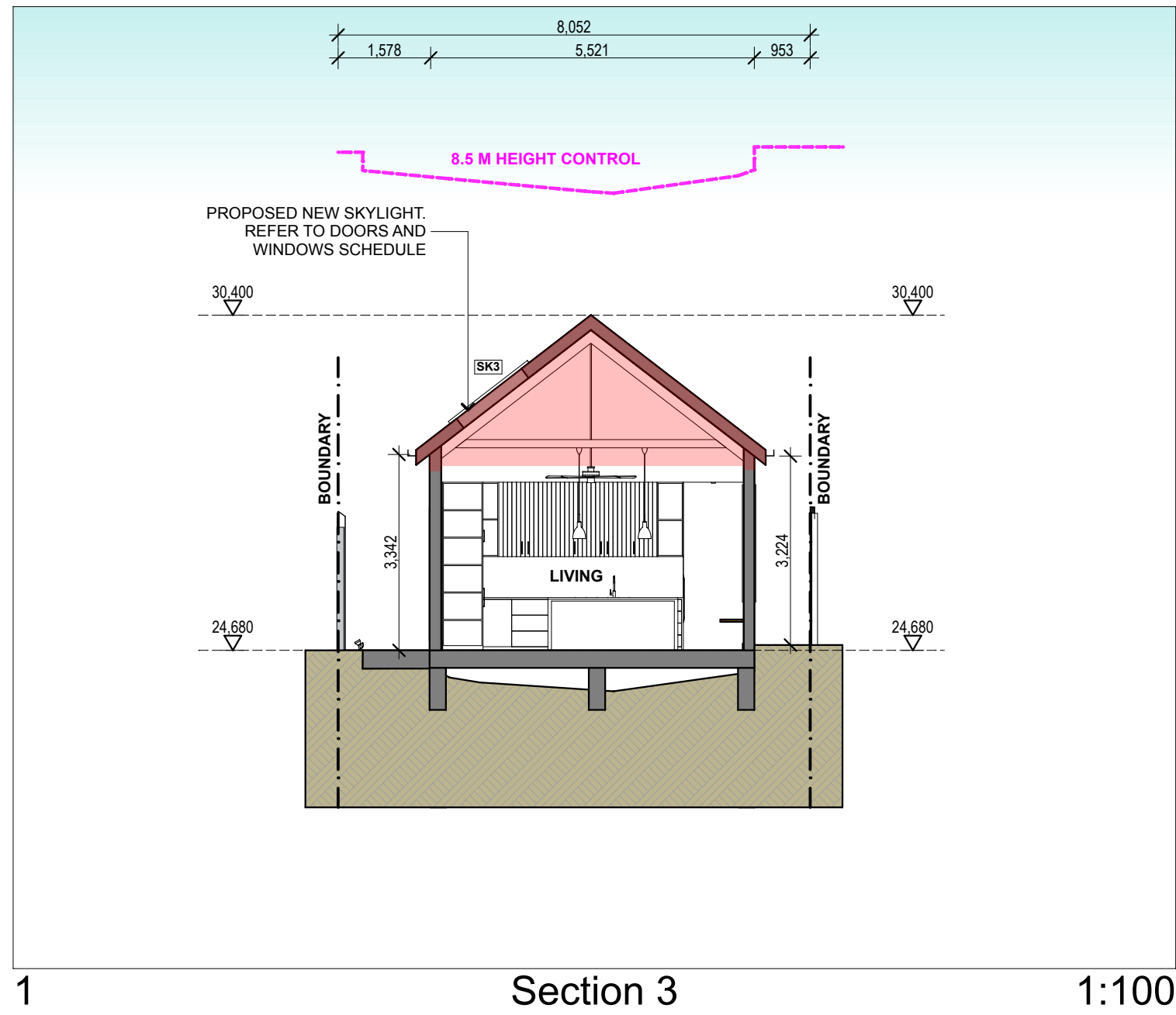
CLIENT
Emma and Michael
PROJECT
15 Clifford
15 Clifford Fairlight

DRAWING TITLE:
Sections
Sections 1 and 2

SCALE: 1:100@A2
DRAWN BY: AC
ISSUE: B
DRAWING NO:

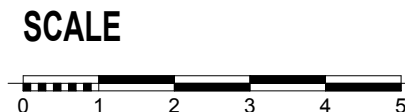
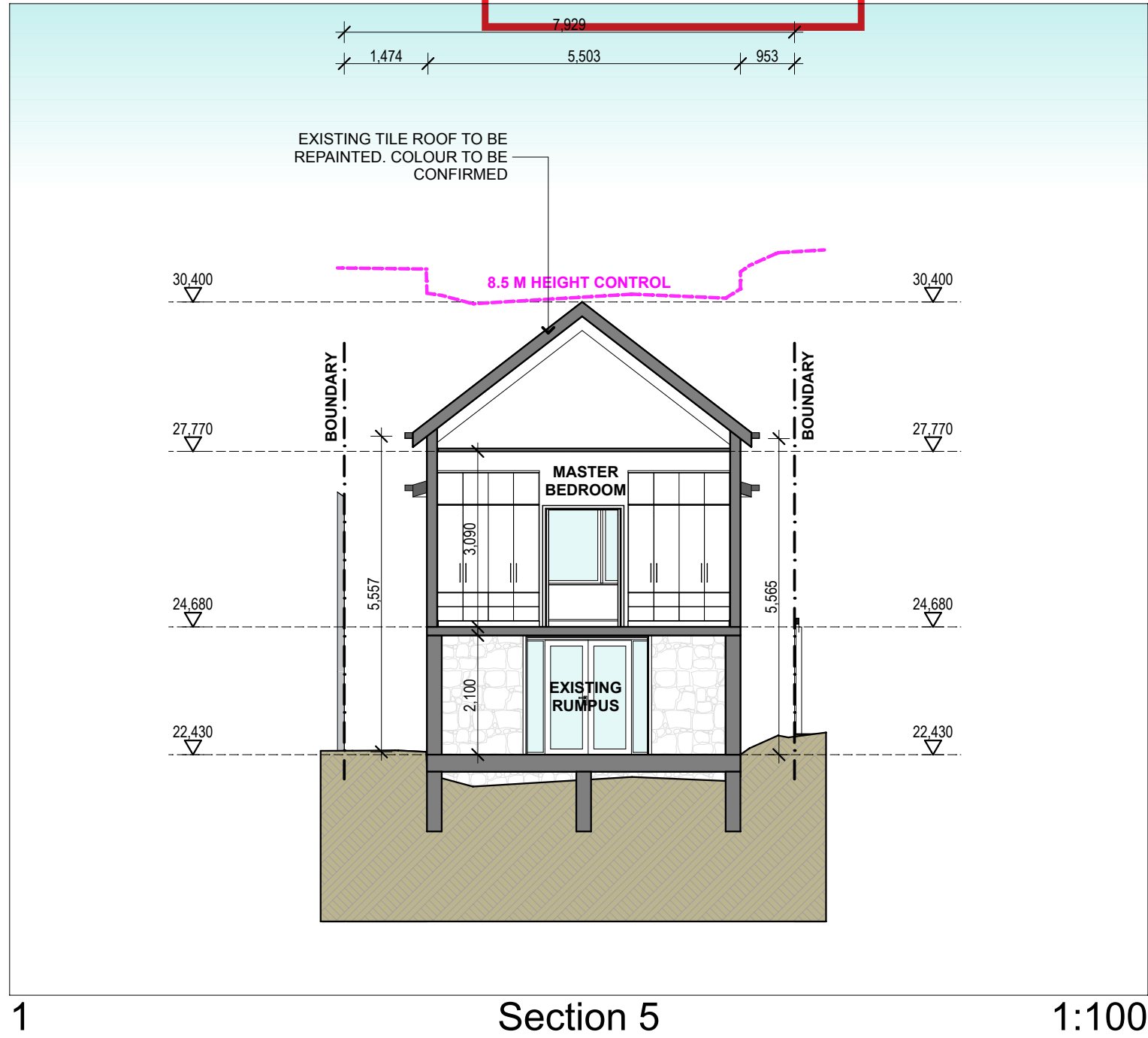
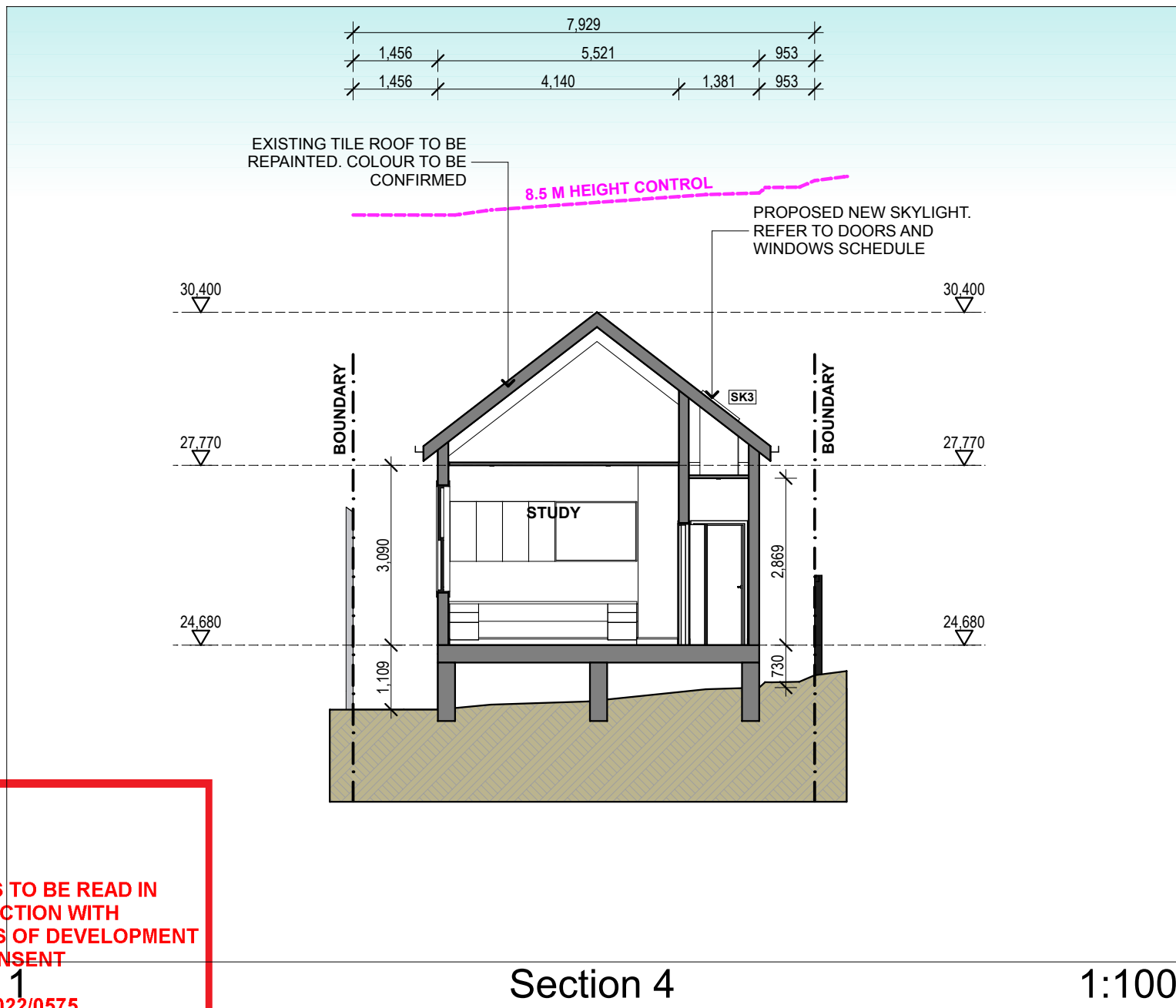
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A-131
PLOT DATE:
25/3/2022

3.01



northern
beaches
council

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CONSENT
DA2022/0575



Development Application

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ISSUE	STAGE	DATE	BY	FOR
A	CP	02.12.21	X	X
B	DA	25.03.22	X	X

WALL LEGEND

EXISTING

DEMOLISHED

PROPOSED

NOTE:
CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING WITH THE WORK SHOWN ON THIS DRAWING. WORK TO FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH WORK.

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Do not scale the drawings. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.

CLIENT
Emma and Michael

PROJECT
15 Clifford
15 Clifford Fairlight

DRAWING TITLE:
Sections
Section 3, 4 and 5

SCALE: 1:100@A2
DRAWN BY: AC
ISSUE: B
JOB NO: A-131
PLOT DATE:

DATE:
CHECKED BY: AC
DRAWING NO:
3.02
25/3/2022