



Town Planning:

Site Area: 543.8m²

Floor space Ratio: 0.6
543.8x0.6= 326.3m²

Zone: E4 Environmental Living

Max. Wall Height: 7.2m and 8m calculated for gradient

Max. Building Height: 8.5m

Max. Roof Slope: 35°

Lot size C: Min. 250m²

Setback: 1/3 Wall Height

Foreshore Scenic Protection Area
Bandicoot and Penguin Significant Area
Biodiversity Overlay

Dwelling Gross Floor Area

Boat shed	22.0m ²
Lower Floor	89.8m ²
Ground Floor	109.8m ²
First Floor	96.0m ²

TOTAL: 317.6m²
(excludes plant, vertical circulation & basement storage)

Storage Shed 5m²

NOTE: Drawings subject to Architects Developed and Detail Design revisions. Not for Construction. To be read in conjunction with Specification and Consultant Drawings

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16 Addison Rd, Sydney

Consultants

Quantity Surveyors	Dean, Murray & Partners Ltd.
Structural Engineers	Law Sue Davison Ltd.
Truss Designer	Buildable Layouts Ltd.
Geotechnical Engineer	Chambers Consultants Ltd.

designed	**	peer review	**
drawn	**	checked	**

scale **1:100 @ A1** date 19/09/2023

title
Site Plan 1:200 @ A3

drawing set

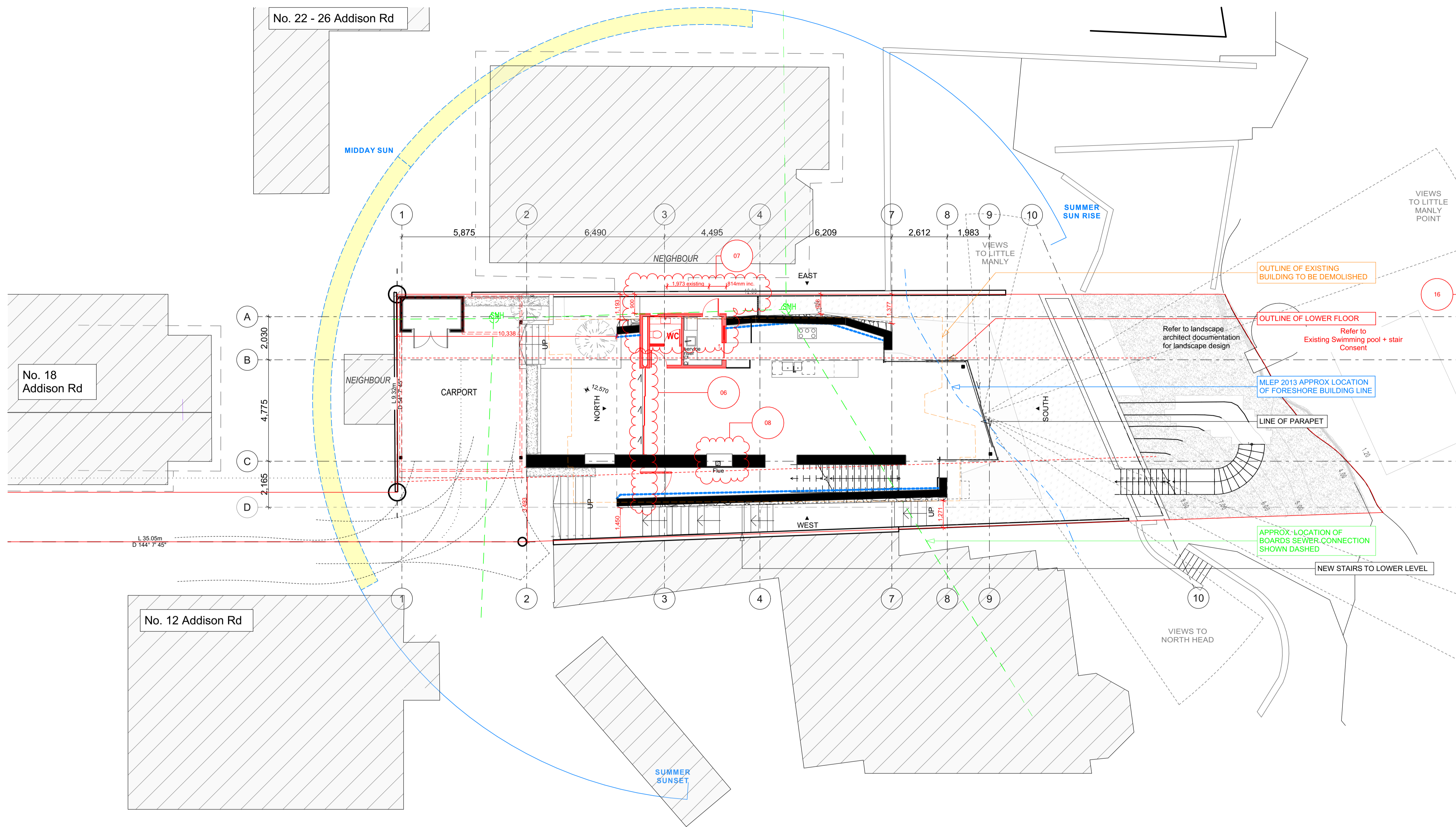
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sheet no. **1.2** rev. **A**

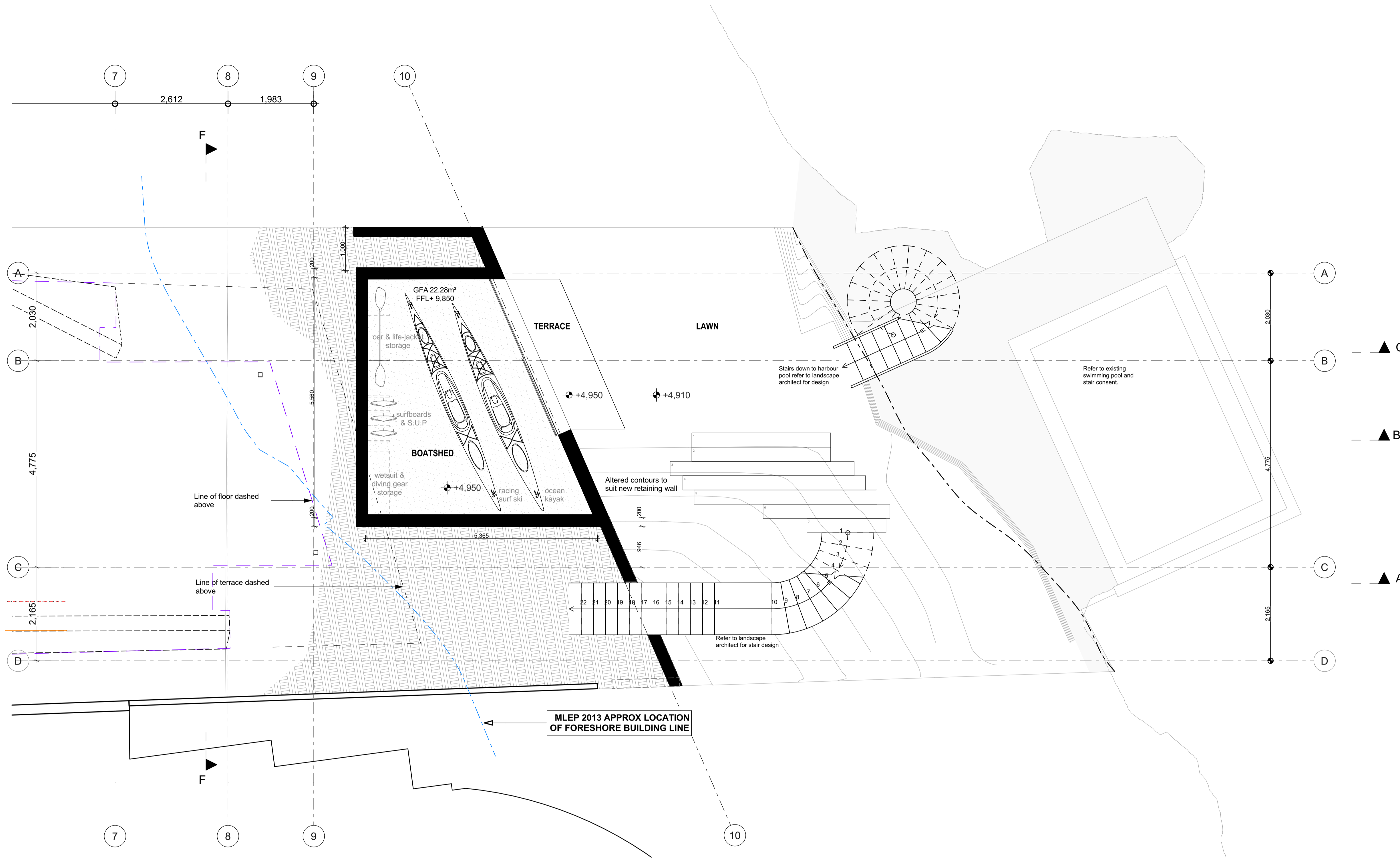
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SITE PLAN 1:100

Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	16	GFA altered
			08	Replace existing approved internal gas fireplace with solid fuel fireplace in same location
			07	Small extension of external wall to new powder room, opaque glass to window
			06	Northern ground level glazing & front door relocated



BOAT SHED PLAN 1:50 01

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scale 1:50 @ A1 date 19/09/2023

title
Boat Shed Plan - 1:100 @ A3

drawing set

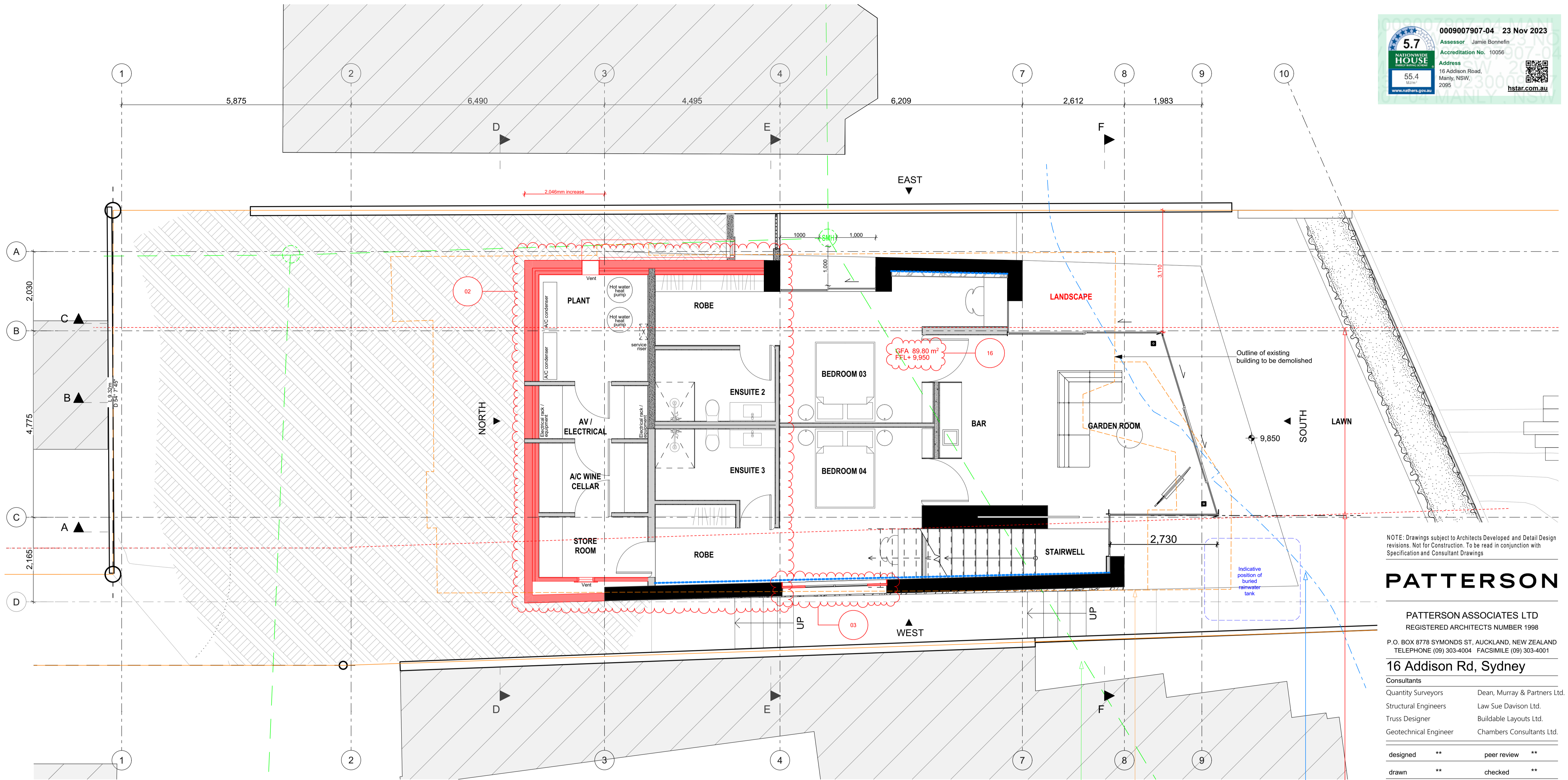
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Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	01	NO CHANGE



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designed ** peer review **
 drawn ** checked **

scale 1:50 @ A1 date 19/09/2023

title
 Lower Floor Plan - 1:100 @ A3

drawing set

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 sheet no. 1.4 rev. A

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LOWER FLOOR PLAN 1:50

1400mm Wall Height

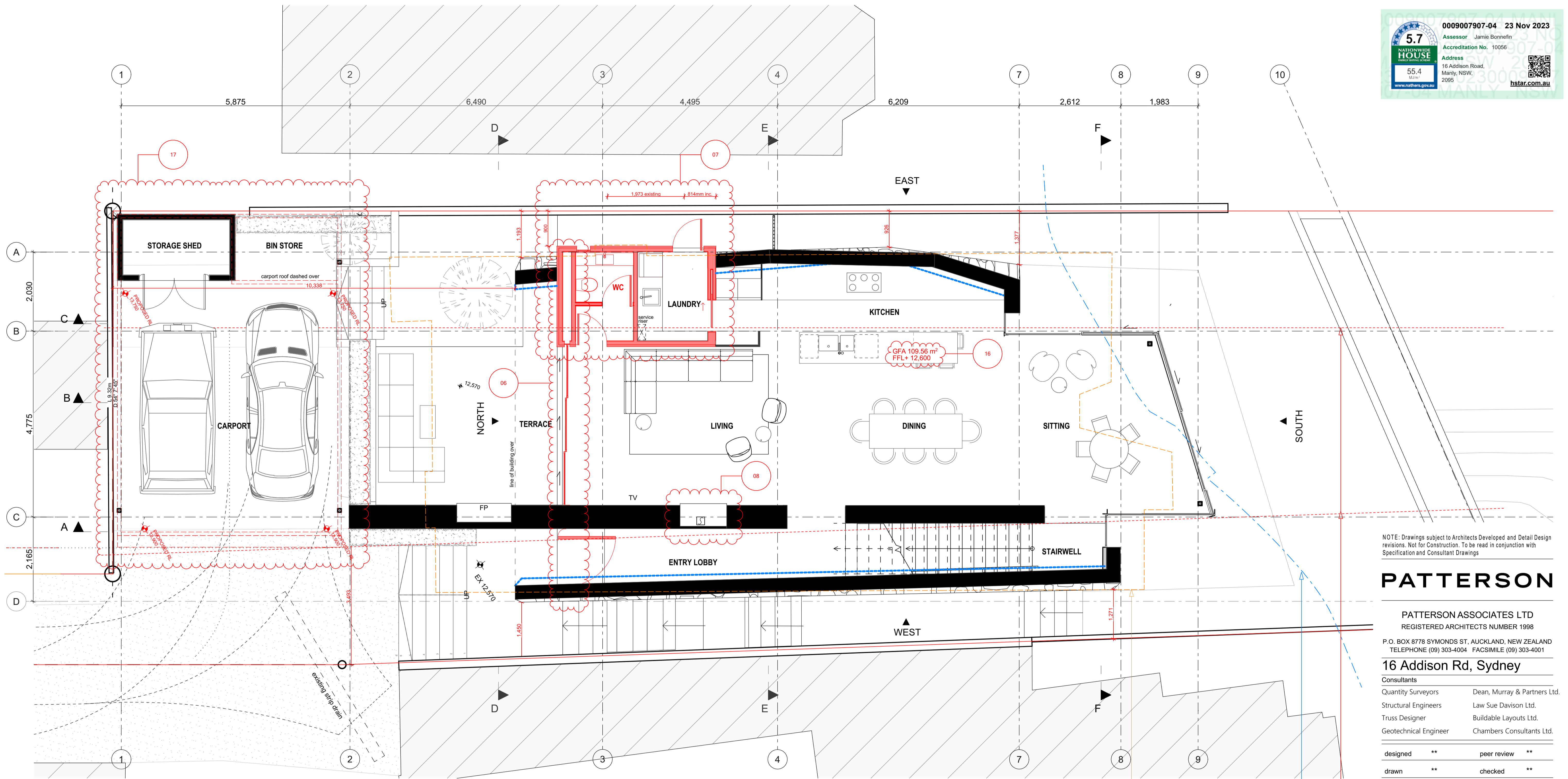
APPROX LOCATION OF BOARDS SEWER CONNECTION SHOWN DASHED

OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

MLEP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE

SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	16	GFA altered
			03	Increased window in western facade
			02	Basement excavation extended for plant equipment, internal layout altered



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designed ** peer review **
 drawn ** checked **

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title
 Ground Floor Plan - 1:100 @ A3

drawing set

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 sheet no. 1.5 rev. A

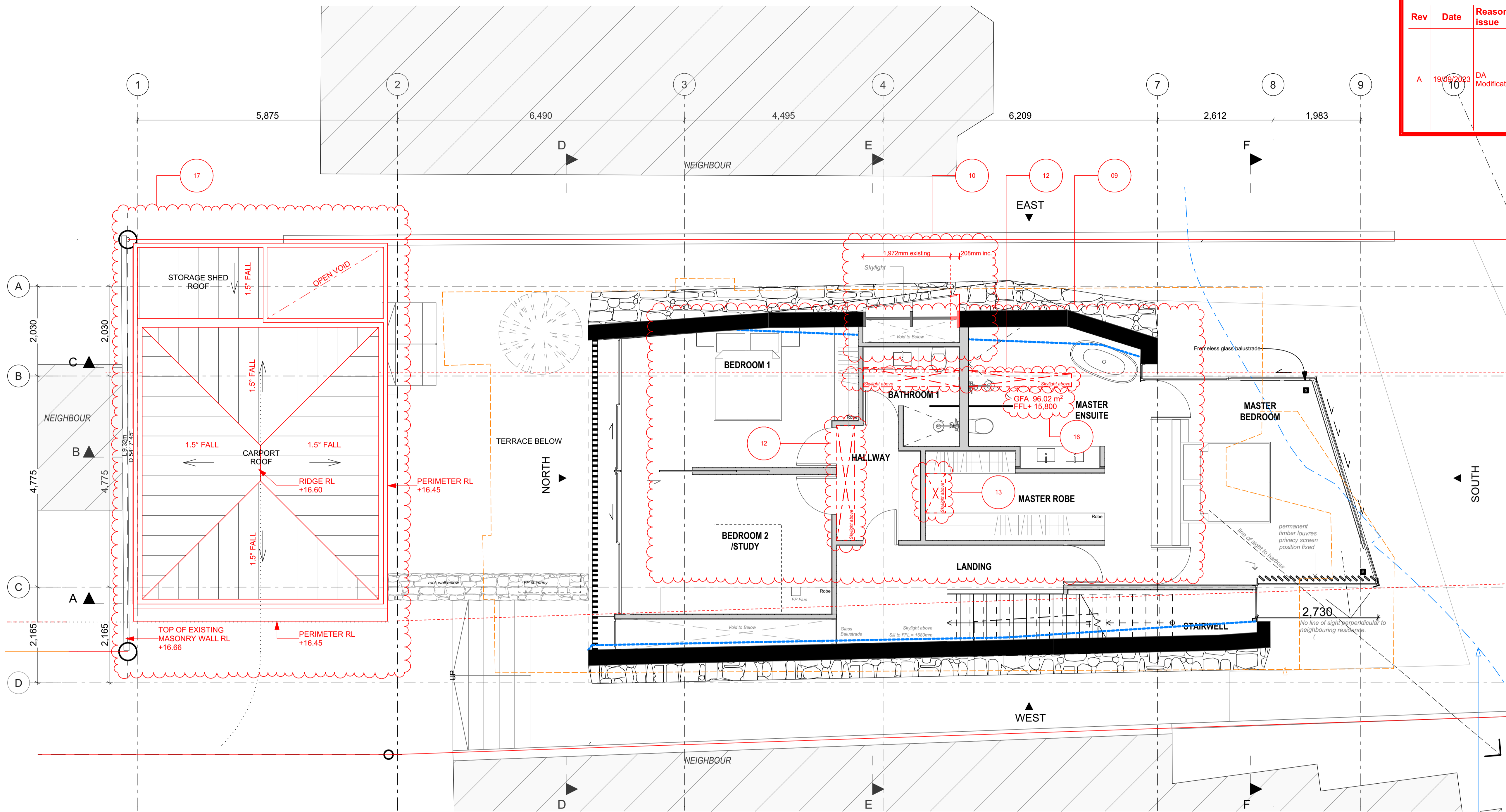
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GROUND FLOOR PLAN 1:50

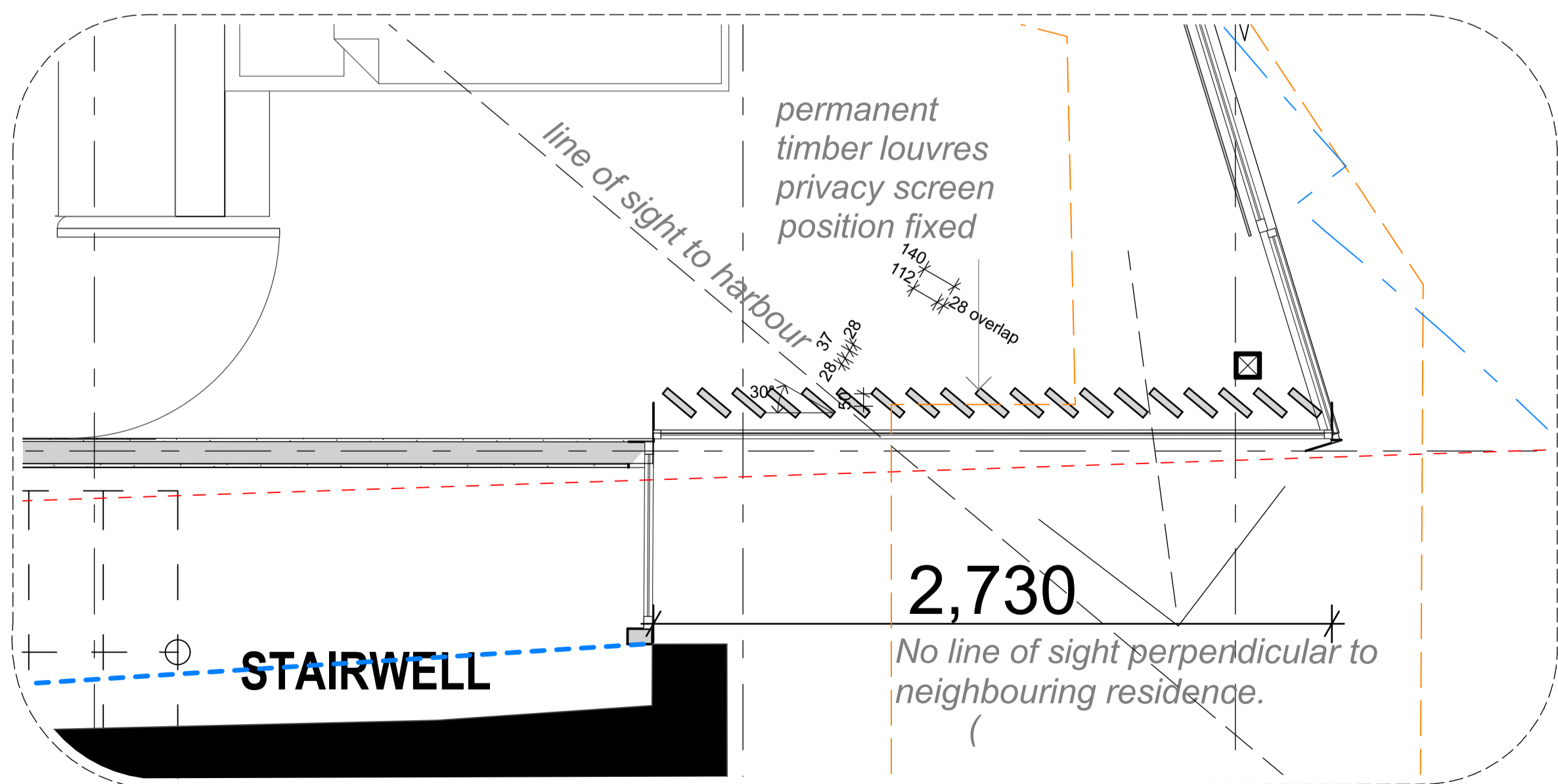
1400mm Wall Height

Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	17	Carport levels adjusted to suit existing services requirements
			16	GFA altered
			08	Replace existing approved internal gas fireplace with solid fuel fireplace in same location
			07	Small extension of external wall to new powder room, opaque glass to window
			06	Northern ground level glazing & front door relocated

Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	09	Alterations to internal planning of bathroom, ensuite & robe
			10	East facade skylight widened
			12	Relocated skylight in roof
			13	Additional skylight in roof
			16	GFA altered
			17	Carport levels adjusted to suit existing services requirements



FIRST FLOOR PLAN 1:50



TIMBER PRIVACY SCREEN 1:20

OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

MLEP 2013 APPROX LOCATION OF FORESHORE BUILDING LINE

SET BACK LINE REFER DP RULE 4.1.4.2(C) - NEW WINDOW FROM HABITABLE DWELLING 3.0M FROM BOUNDARY

1400mm Wall Height



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First Floor Plan - 1:100 @ A3

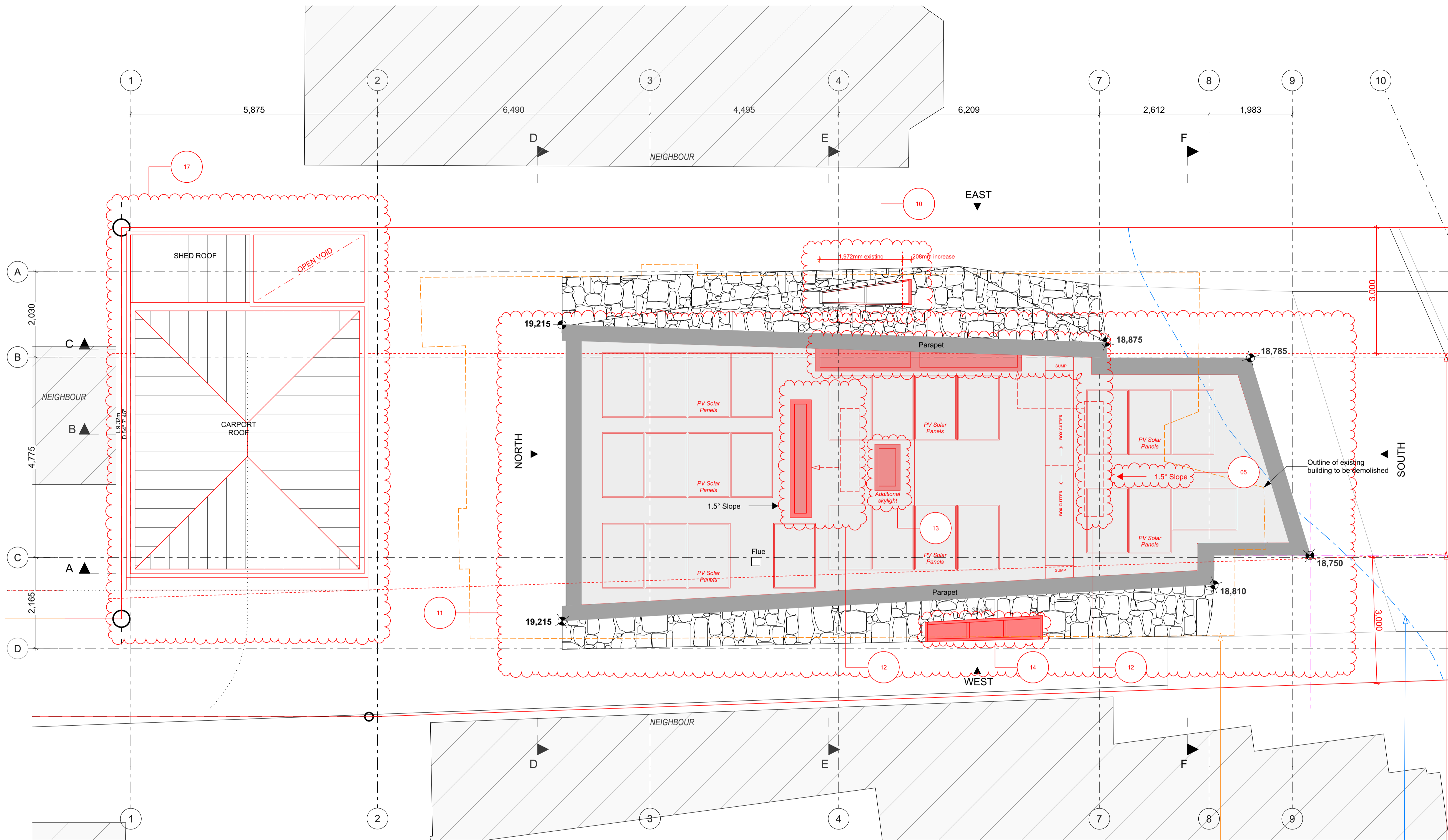
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ROOF PLAN 1:50

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designed ** peer review **
 drawn ** checked **

scale 1:50 @ A1 date 19/09/2023

title
Roof Plan - 1:100 @ A3

drawing set

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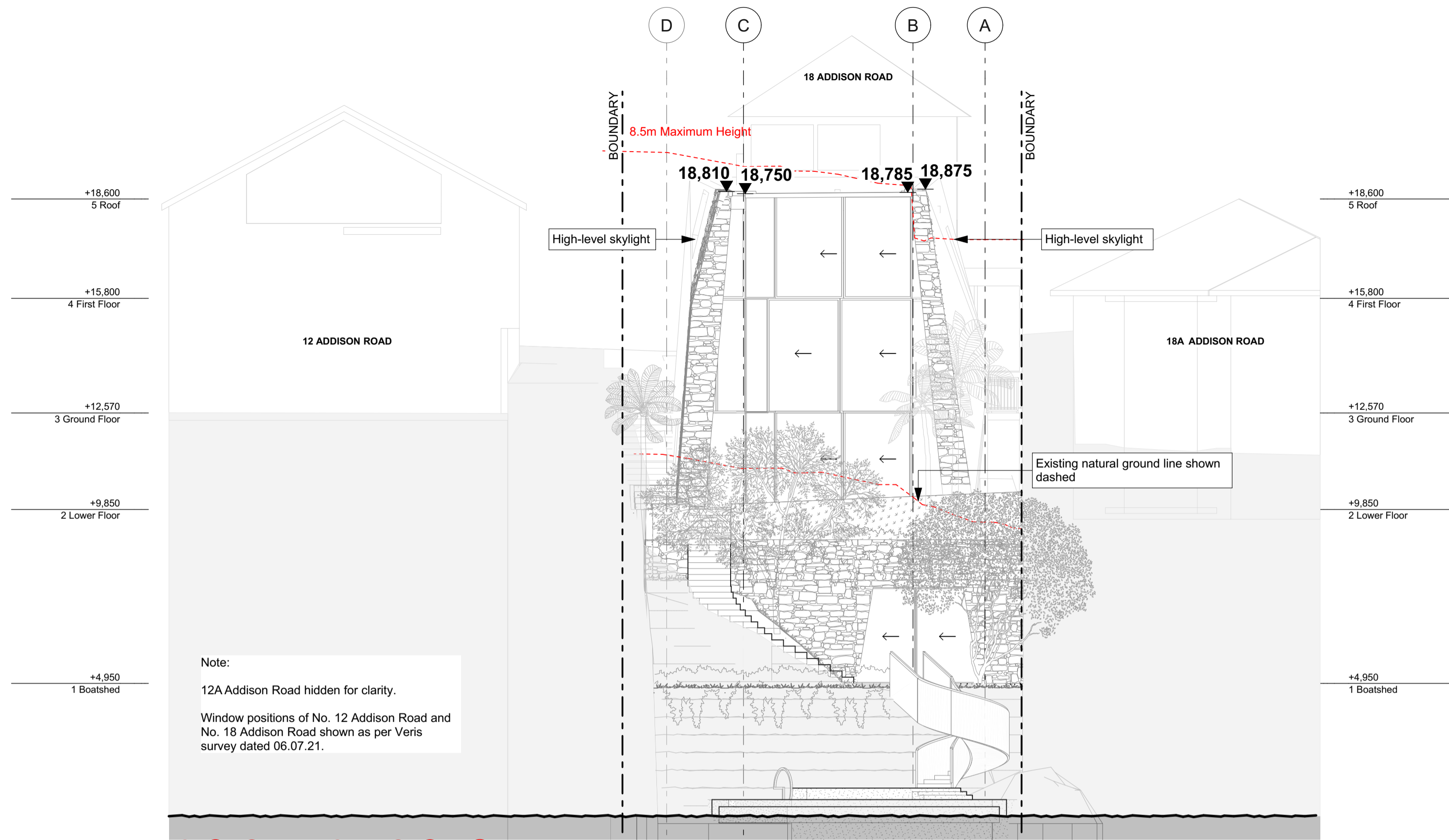
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1.7 A

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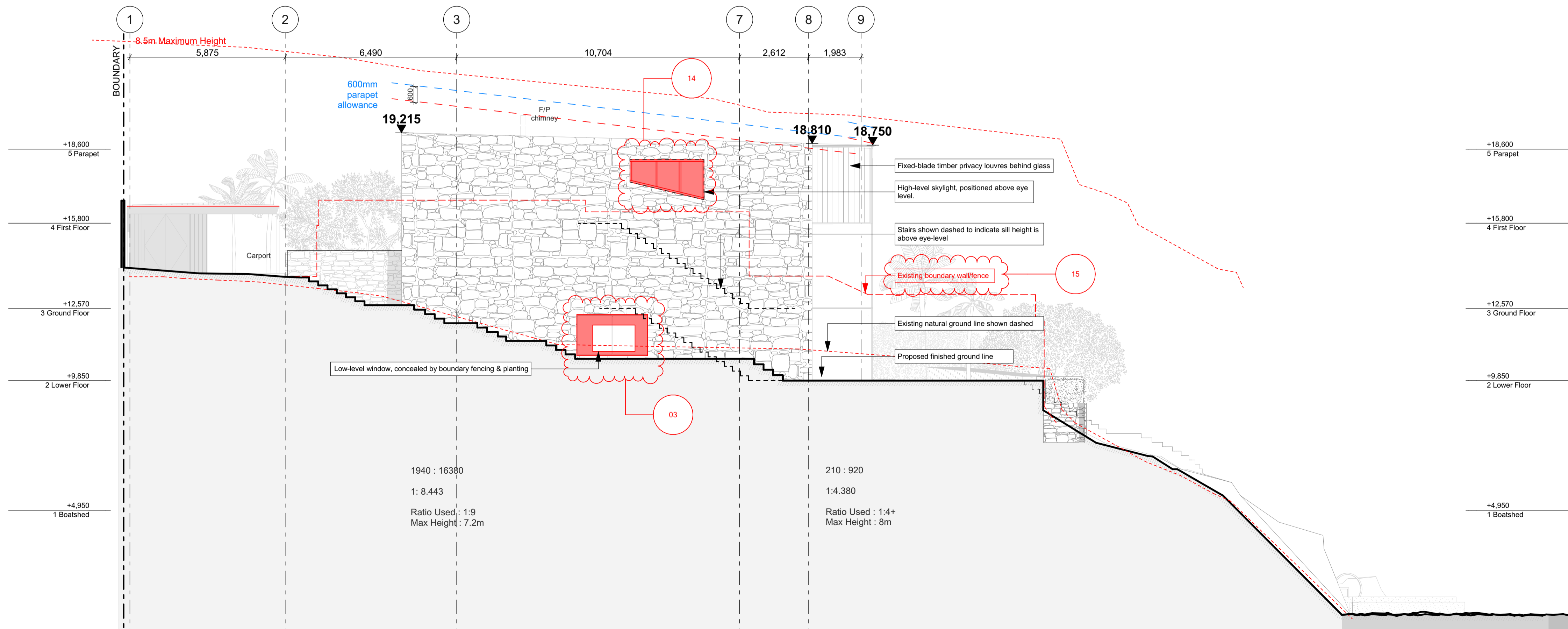
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Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	17	Carport levels adjusted to suit existing services requirements
			14	Relocated skylight in west facade, same size
			13	Additional skylight in roof
			12	Relocated skylight in roof
			11	PV solar panels added to roof
			10	East facade skylight widened
			05	Direction of roof slope adjusted

Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	01	NO CHANGE
			03	Increased window in western facade
			14	Relocated skylight in west facade, same size
			15	Line of existing boundary wall / fence added to drawings



SOUTH ELEVATION 1:100 01



WEST ELEVATION 1:100



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title
Elevations - 1:200 @ A3

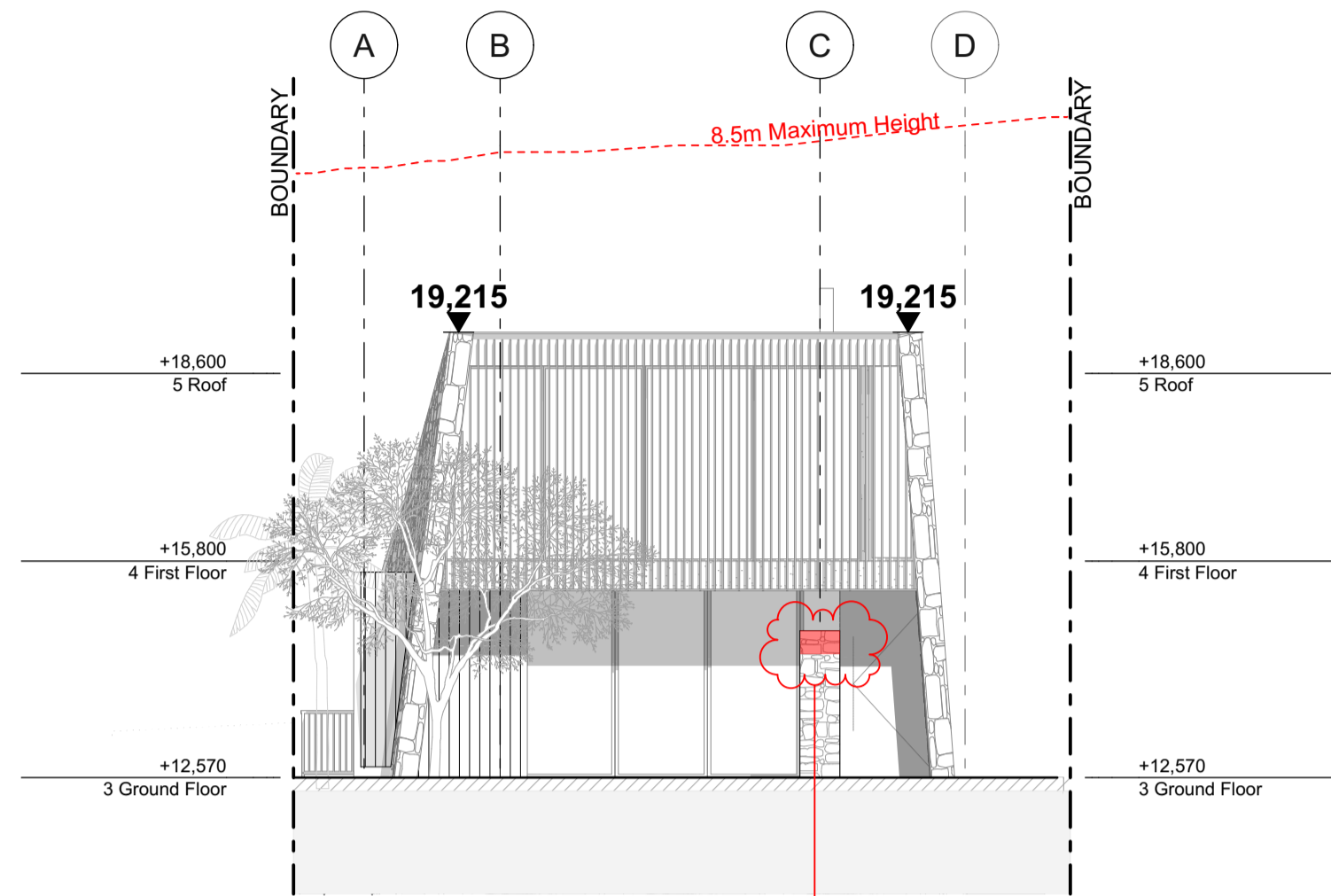
drawing set

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 sheet no. **2.1** rev. **A**

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Rev	Date	Reason for issue	Change no.	Description of change
A	19/09/2023	DA Modification	04	Increase height of landscape wall 400mm
			06	Northern ground level glazing & front door relocated
			07	Small extension of external wall to new powder room, opaque glass to window
			10	East facade skylight widened
			15	Line of existing boundary wall / fence added to drawings
17	Carpport levels adjusted to suit existing services requirements			

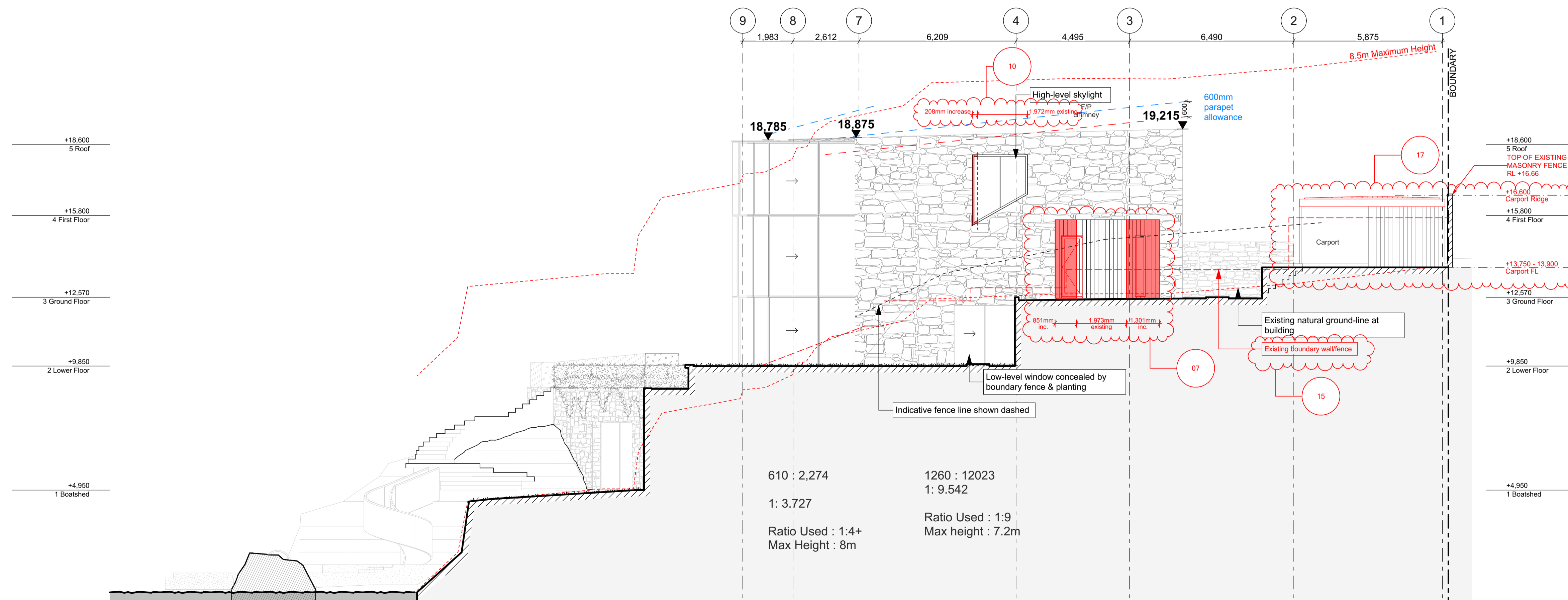


NORTH ELEVATION 1:100

04



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EAST ELEVATION 1:100

610 : 2,274
1: 3.727
Ratio Used : 1:4+
Max Height : 8m

1260 : 12023
1: 9.542
Ratio Used : 1:9
Max height : 7.2m

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designed ** peer review **
drawn ** checked **

scale 1:100 @ A1 date 19/09/2023

title
Elevations - 1:200 @ A3

drawing set

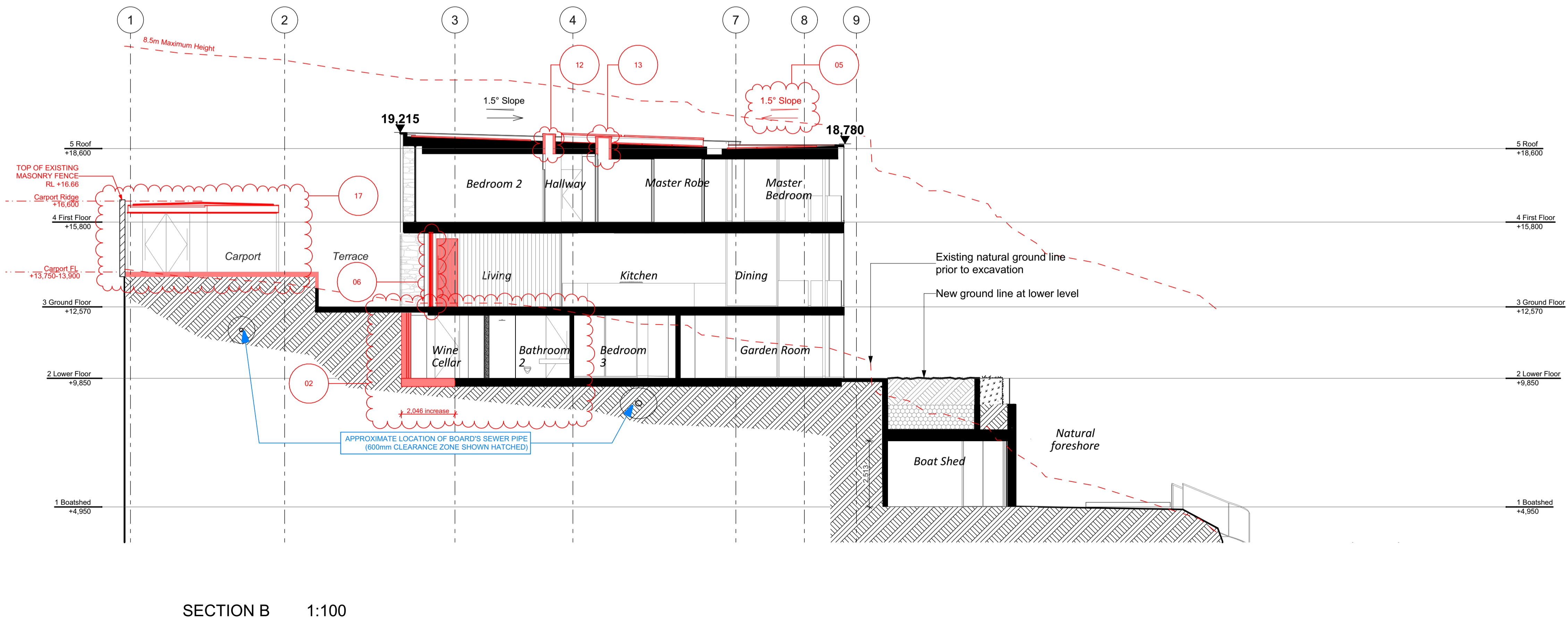
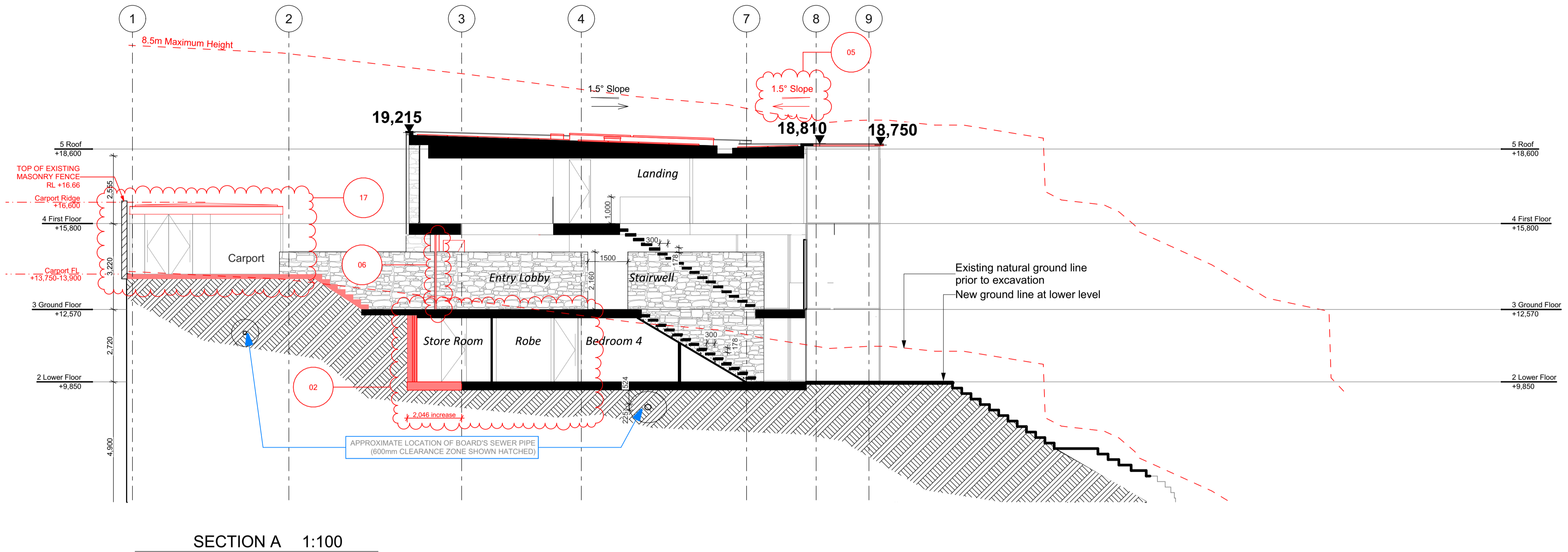
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A	19/09/2023	DA Modification	02	Basement excavation extended for plant equipment, internal layout altered
			05	Direction of roof slope adjusted
			06	Northern ground level glazing & front door relocated
			12	Relocated skylight in roof
			13	Additional skylight in roof
			17	Carport levels adjusted to suit existing services requirements



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 Sections - 1:200 @ A3

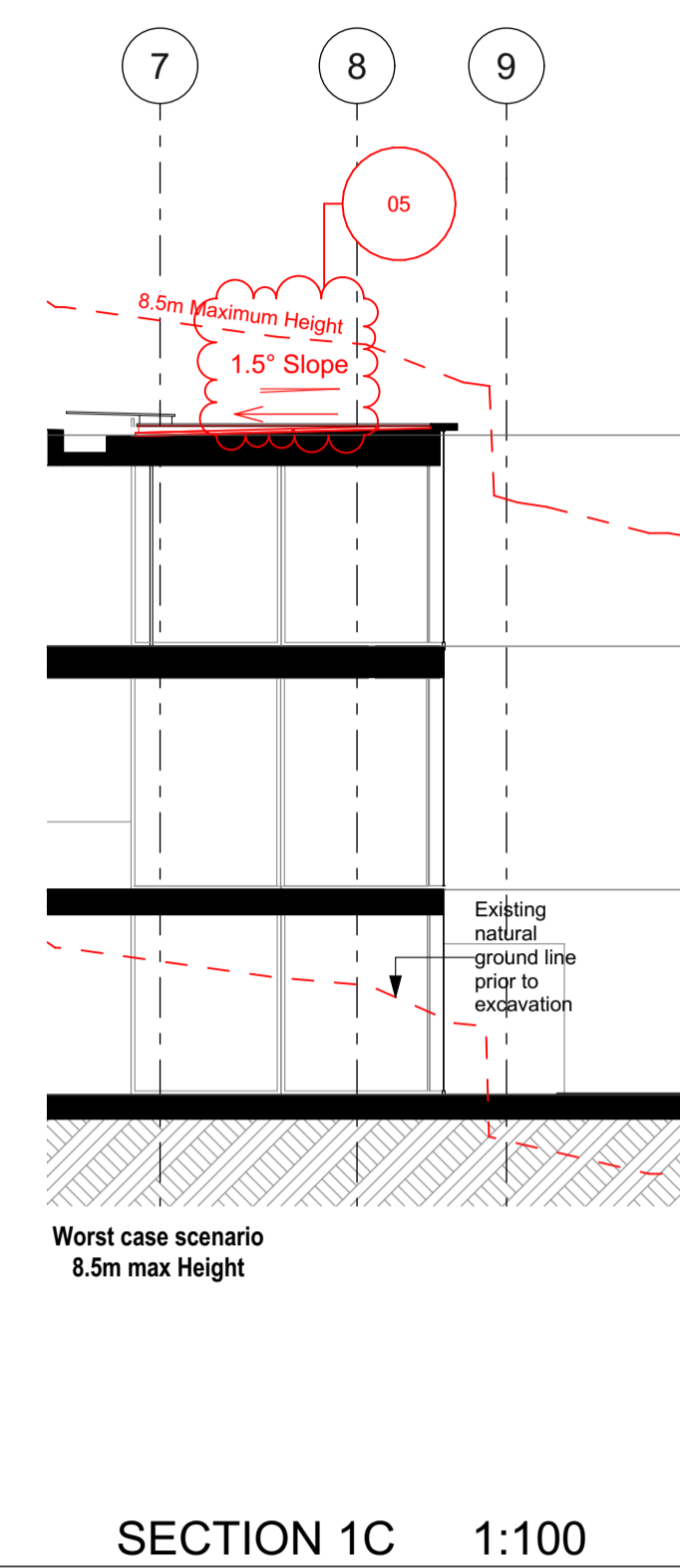
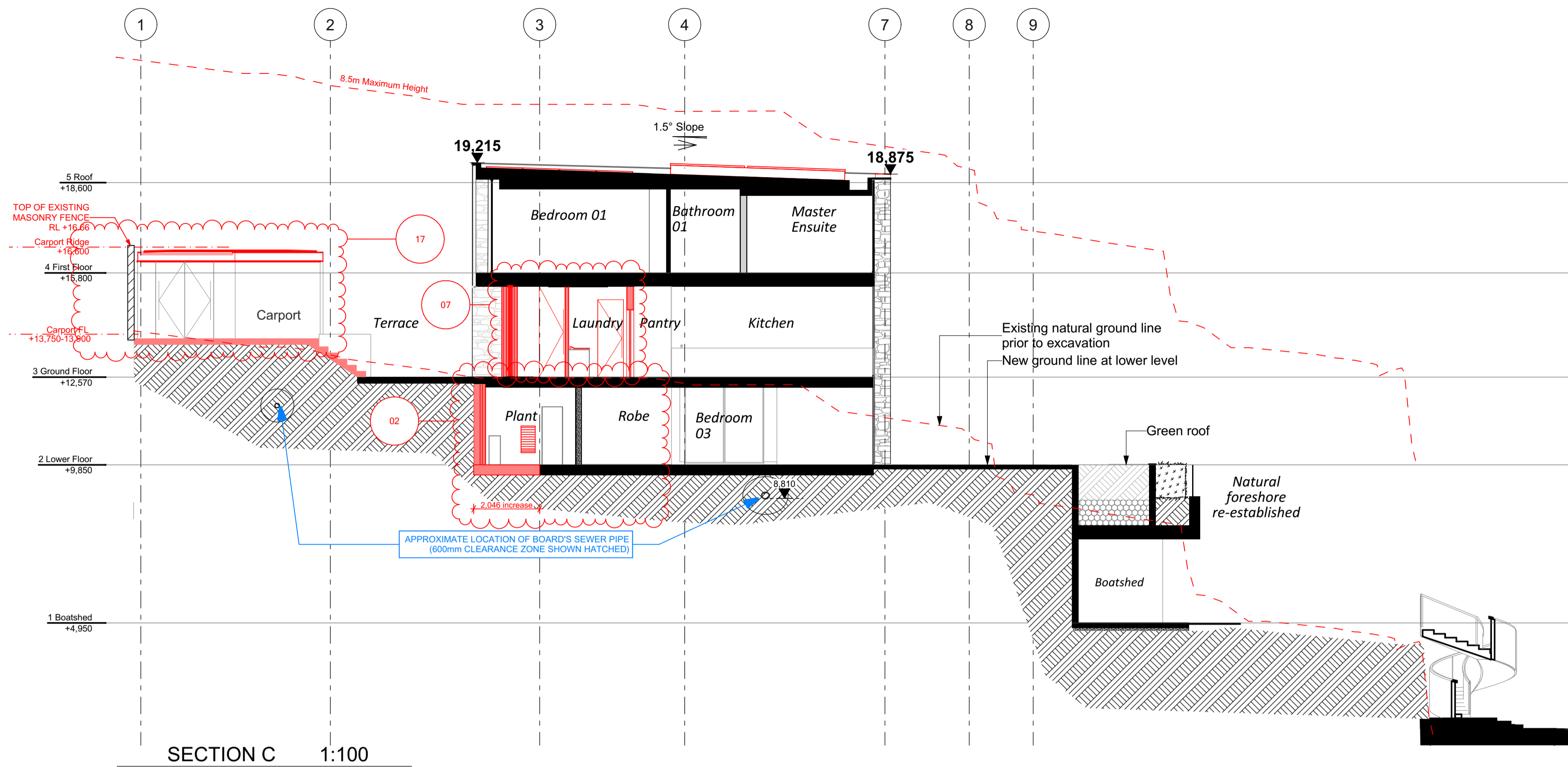
drawing set

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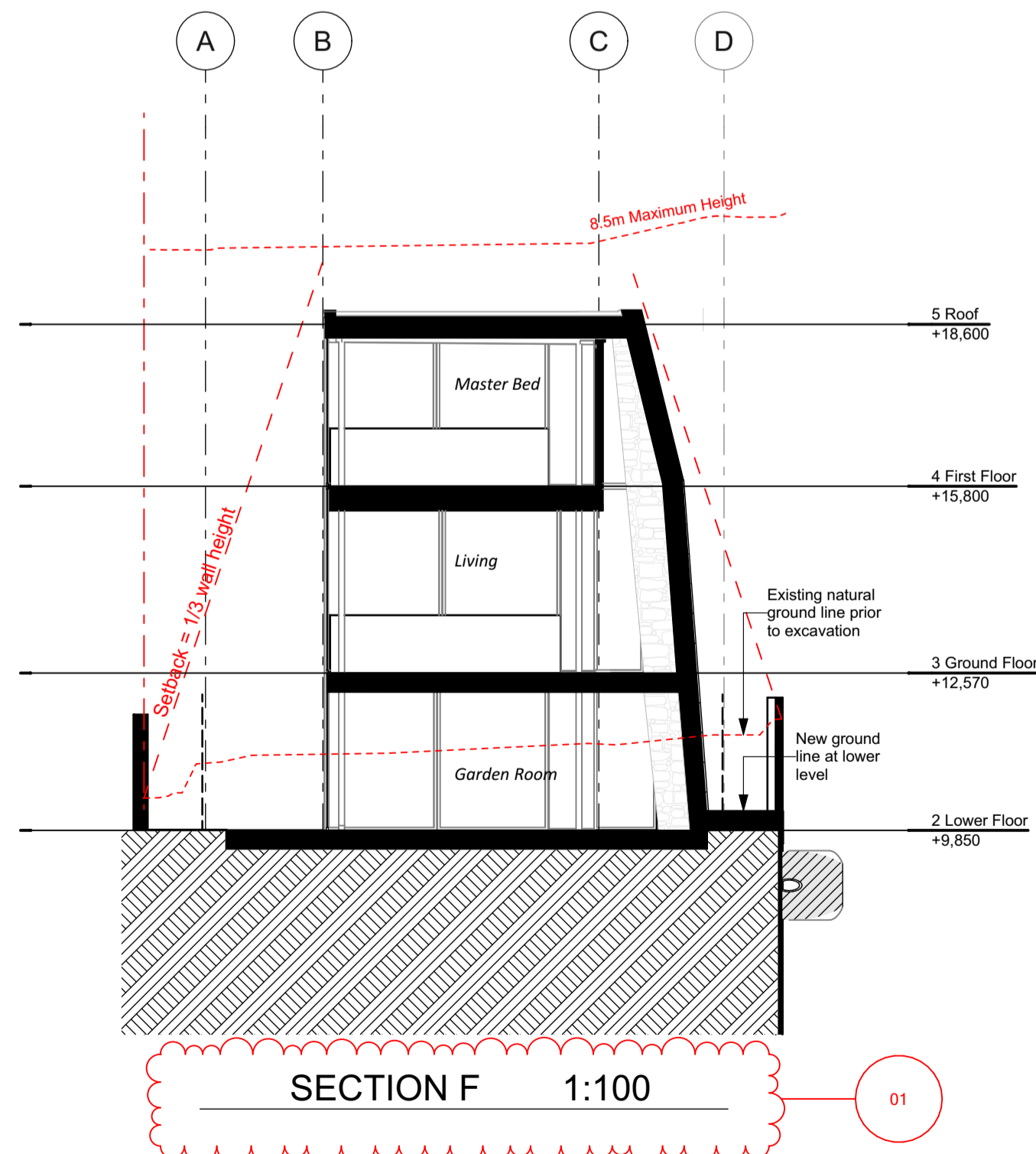
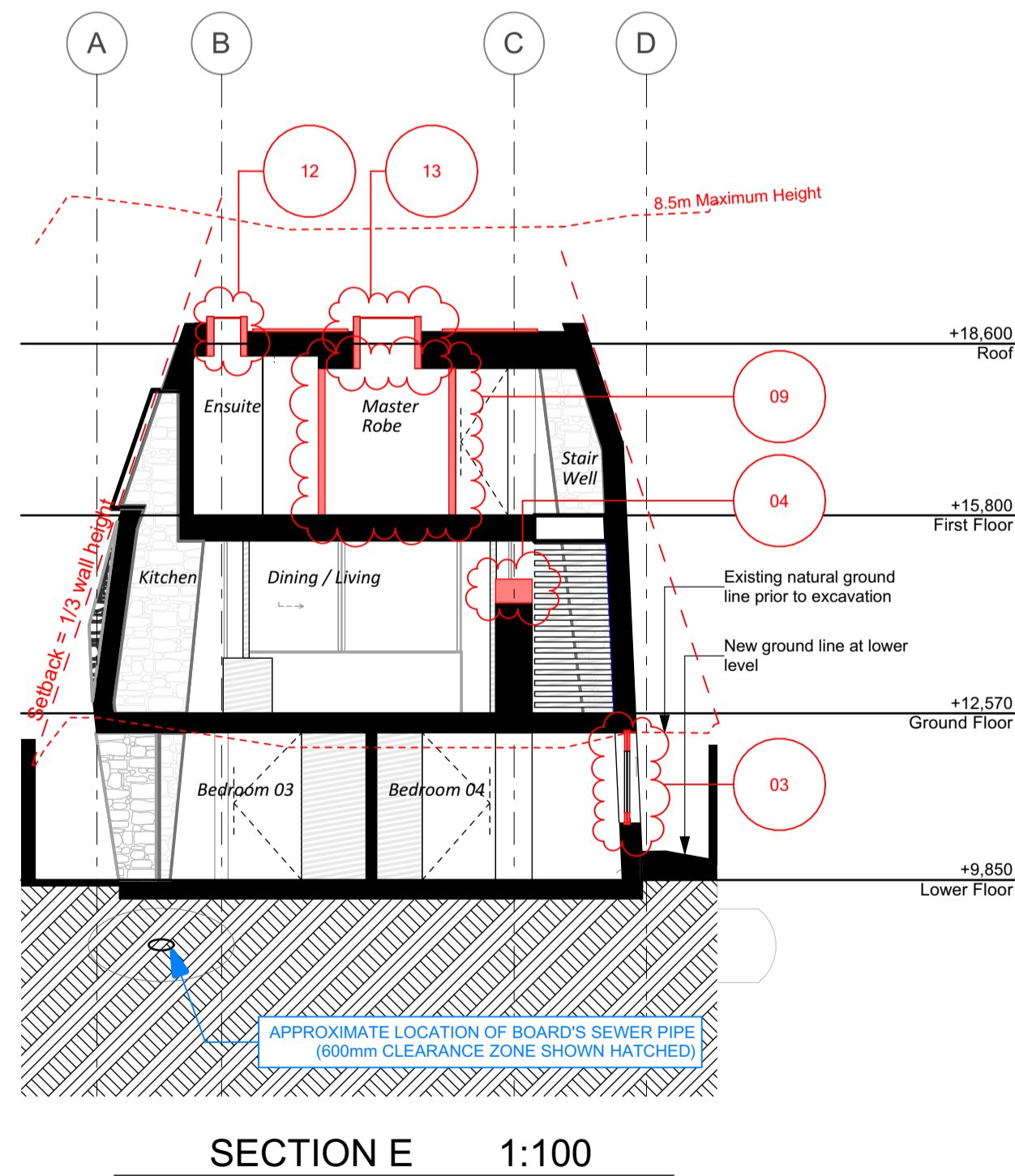
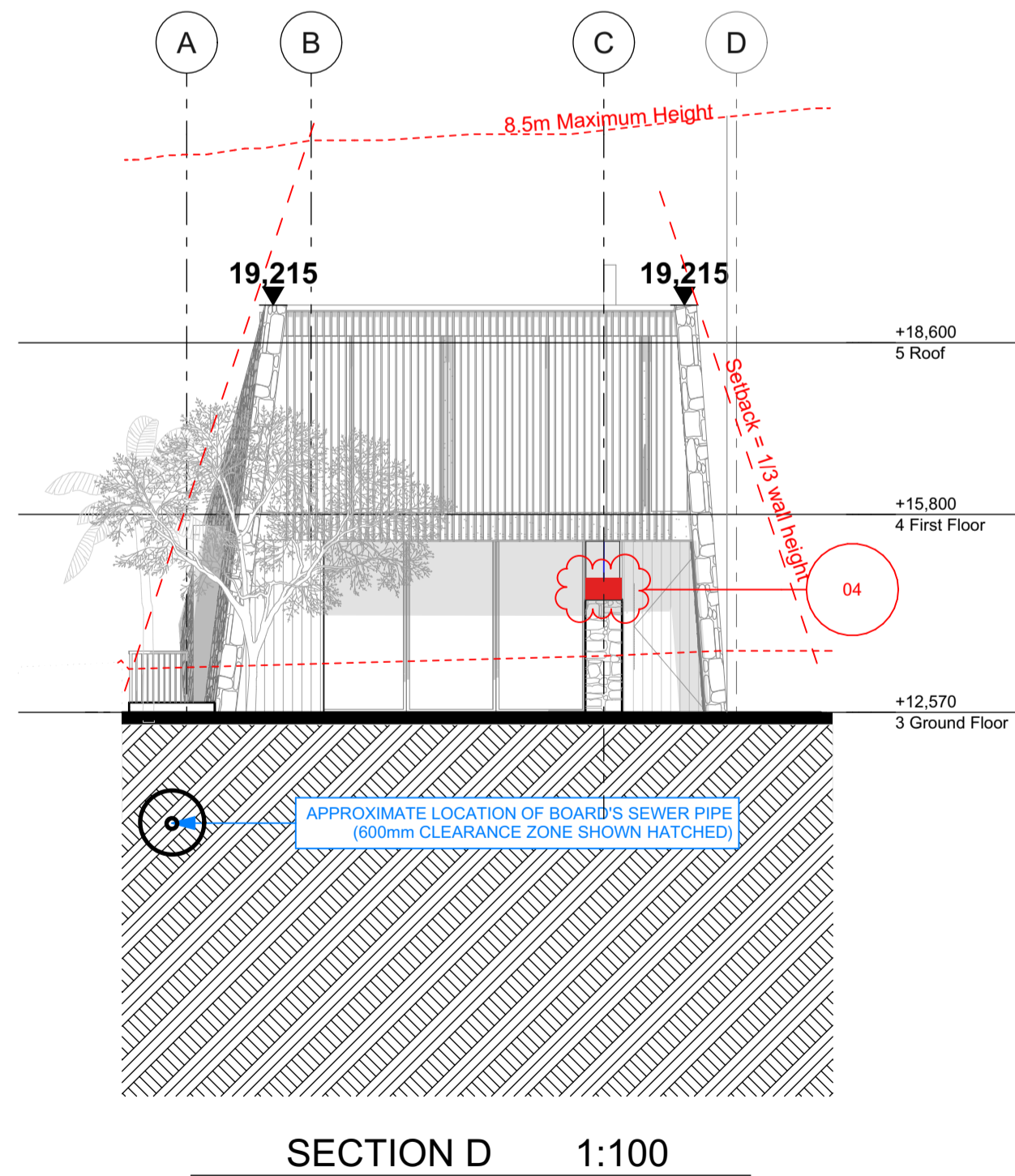
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 drawn ** checked **
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title
 Sections - 1:200 @ A3

drawing set
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 sheet no. rev.
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BASIX Project Commitments **BASIX Number: 11839125_04**

Proposed: Single Dwelling
 Address: 16 Addison Rd Manly
 Lot No / DP: 2/325220



Water	
Fixtures	Specification
Shower head rating	4 star (> 6 but <= 7.5 L/min)
Toilet rating	3 star
Kitchen taps rating	3 star
Bathroom taps rating	3 star

Alternative water details			
Rainwater tank size	Individual	4000L	
Connected to:	Garden and lawn areas	Yes	
	All toilets	Yes	
	Laundry	No	

Thermal Comfort	Accreditation Number:	HERA 10056	NatHERS Number:	0009007907-04
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Requirements			
External walls	Stone, lined	Medium colour R2.7	Bulk + Anti-glare foil
	Tilt up concrete, lined	Medium colour R2.7	Bulk + Anti-glare foil
	Weatherboard	Medium colour R2.7	Bulk + Anti-glare foil
	Metal clad	Medium colour R2.7	Bulk + Anti-glare foil

Internal walls		
Cavity wall, direct fix plasterboard		R1.8 Bulk Insulation
Concrete block		No Insulation
Stone		No Insulation

Ceiling		
External ceiling - Plasterboard		R5.0 Bulk insulation
Internal ceiling - Plasterboard		No insulation

Roof		
Waterproofing membrane		Medium Colour (solar absorptance 0.475-0.7) No insulation

Floors		
Concrete slab on ground		No insulation
Suspended concrete slab	Exposed areas only	No insulation

Windows		
Aluminium frame ALM-006-04		Performance glazing with U-value 4.8 and SHGC 0.34 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)
Aluminium frame ALM-005-04		Performance glazing with U-value 4.8 and SHGC 0.34 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)
Aluminium frame ALM-003-01		Performance glazing with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)

Skylights		
Double Glazed Skylight		

Ceiling Penetrations		
Downlight Covers		Approved fireproof downlight covers must be installed to all downlights in ceilings where insulation is installed.
Lighting specification		Dwelling is rated without downlight
Ceiling fans	Bedroom 1	Ceiling fans of 900mm must be installed in the rooms mentioned in the NatHERS report
Overshadowing details		Adjoining units calculated into model calculations

Site		
Orientation of nominal north elevation		As shown on plans

Energy

Hot water	Specification	Rating
Individual system	Electric storage	N/A

Ventilation		
Bathroom exhaust	Individual fan, ducted to façade or roof	
Control switch	Manual switch on/off	
Kitchen exhaust	Individual fan, ducted to façade or roof	
Control switch	Manual switch on/off	
Laundry	Individual fan, ducted to façade or roof	
Control switch	Manual switch on/off	

Cooling		
Individual systems - living areas	1-phase airconditioning	EER < 2.5
Individual systems - bedroom areas	1-phase airconditioning	EER < 2.5

Heating		
Individual systems - living areas	1-phase airconditioning	EER < 2.5
Individual systems - bedroom areas	1-phase airconditioning	EER < 2.5

Appliances		
Cooktop/oven	Induction cooktop & electric oven	
Ventilated fridge space	No	
Private outdoor clothes drying line	Yes	
Private indoor or sheltered clothes drying line	No	
Zoned Air-conditioning	No	

Alternative Energy		
Photovoltaic System		15kW