



LEGEND

- BS - BOTTOM OF STEP
BW - BOTTOM OF WALL
DH - DOOR HEAD LEVEL
DS - DOOR SILL LEVEL
FL - FLOOR LEVEL
GFL - GARAGE FLOOR LEVEL
KI - KERB INVERT LEVEL
PA - PARAPET
PC - PEDESTRIAN CROSSING
SO - STORMWATER OUTLET
TF - TOP OF FENCE
TG - TOP OF GUTTER
TS - TOP OF STAIRS
TW - TOP OF WALL
VC - VEHICLE CROSSING
WH - WINDOW HEAD
WS - WINDOW SILL

SYM	CODE	DESCRIPTION
	BM	BENCH MARK
	BOL	BOLLARD
	GAS	GAS SERVICE/METER
	HYD	HYDRANT
	IC	INSPECTION CAP
	LP	LIGHT POLE
	PIT	SERVICE PIT
	PP	POWER POLE
	SGN	SIGN
	SLH	SEWER LAMP/VENT HOLE
	SMH	SEWER MANHOLE
	SV	STOP VALVE
	TEL	TELECOM SERVICE
	WM	WATER METER
	US	UNKNOWN SERVICE

LAYER	LINE TYPE
BUILDING & STRUCTURES	
CONTOURS	
EDGE OF PAVING AND CONCRETE	
ELECTRICITY OVERHEAD	
FENCE	
GARDEN	
ROAD	
ROOF LINE	
ROCK OUTCROP	
WALLS AND RETAINING WALLS	
WINDOWS AND DOORS	

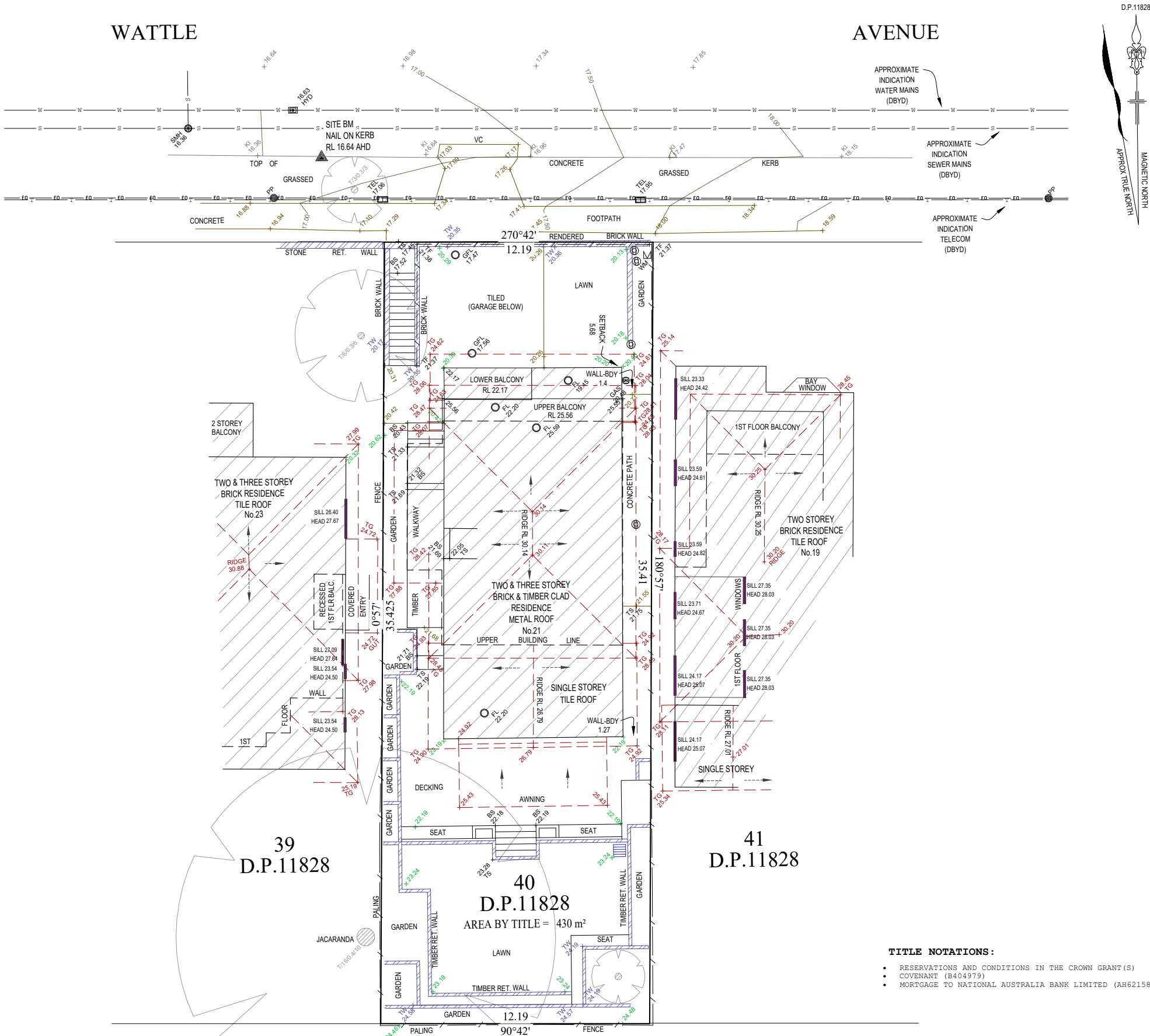
- PALM
P/CANOPY/TRUNK DIAMETER/HEIGHT
- TREE
T/CANOPY/TRUNK DIAMETER/HEIGHT
- ROOF FALL INDICATOR
- DENOTES STONE RETAINING WALL
- DENOTES COLUMN
- DENOTES STAIRS

NOTES:

- BOUNDARIES HAVE BEEN DETERMINED BY FIELD SURVEY.
- ORIGIN OF LEVELS PM999, RL 22.375 AHD.
- CONTOUR INTERVAL, 0.5 METRES.
- CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED PRIOR TO ANY DESIGN OR CONSTRUCTION.
- THIS DRAWING MUST BE PRINTED IN COLOUR.
- TOP OF WALLS AND FENCES ARE INDICATIVE IN NATURE AND AS SUCH ARE ONLY RELIABLE AT THE LOCATIONS INDICATED.
- ONLY VISIBLE SERVICES HAVE BEEN SURVEYED. THE POSITION OF UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED. IF EXCAVATION IS REQUIRED IT IS RECOMMENDED A FULL UTILITY INVESTIGATION BE UNDERTAKEN SUBJECT TO S149 OF THE EP&A, IN CONJUNCTION WITH A LOCATION SURVEY BEFORE CONSTRUCTION COMMENCES.
- PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.
- TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- THE POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY.
- COPYRIGHT (2021) H&S LAND SURVEYORS PTY LTD. "ALL RIGHTS RESERVED".

WATTLE

AVENUE



TITLE NOTATIONS:

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- COVENANT (B404979)
- MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED (AH621586)

DUNCAN ROBERT EARL & REBECCA JANE BAKER

SURVEY PLAN SHOWING DETAIL, LEVELS
& BOUNDARY IDENTIFICATION
OVER LOT 40 IN D.P.11828
No. 21 WATTLE AVENUE, FAIRLIGHT



DATE OF REVISION: 11/08/2022	LGA: NORTHERN BEACHES
REVISION: A	SURVEYED: GH
DATE OF SURVEY: 01/08/2022	DRAWN: GH
HORIZONTAL DATUM: N/A	CHECKED: AB
VERTICAL DATUM: AHD	SCALE @ A3 - 1:200
SHEET 1 OF 1 SHEETS	SCALE @ A1 - 1:100

SITE AREA: 430m²
REFERENCE: 22111
 JASON SHELDRAKE REG'D SURVEYOR ID No.9132

H & S
LAND SURVEYORS . PTY LTD
ABN: 90 631 354 286
E-MAIL: info@hslandsurveyors.com.au

PROPOSED

POS

PRIVATE OPEN SPACE (EXISTING)

ED

EXISTING DWELLING

MS

MATERIAL STOCKPILE

EXISTING LEVELS

CAR ENTRY POINT

GARAGE ENTRY POINT

BOUNDARY

WM

WASTE MANAGEMENT

LEGEND

A. New Vergola Roof

B. Replace tiled roof with Colorbond

C. New BBQ

Site Analysis Plan
1:200

sketchArc

TN

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc

Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 21 Wattle Avenue, Fairlight, 2094, NSW
Alterations & Additions
LOT 40 in DP 11828 - 431.8m2

CLIENT: Private

Proposed Work

Demolition

Existing

STATUS: DA

DATE: 210222

STAGE: DA

DRAWING NO: DA3

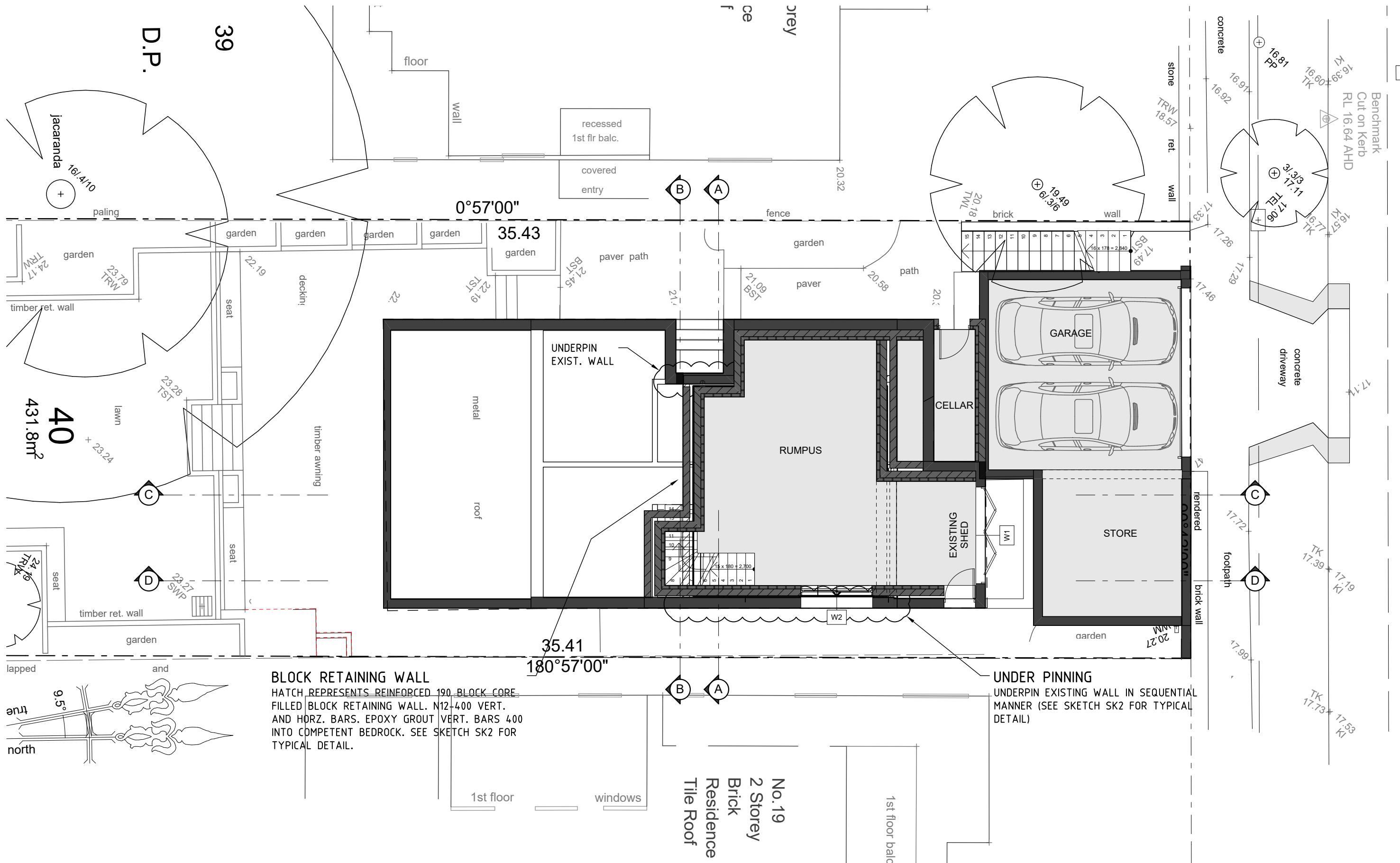
SCALE: 1:200@A3

DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 1712

ISSUE:

WATTLE AVENUE



BLOCK RETAINING WALL
HATCH REPRESENTS REINFORCED 190 BLOCK CORE FILLED BLOCK RETAINING WALL. N12-400 VERT. AND HORZ. BARS. EPOXY GROUT VERT. BARS 400 INTO COMPETENT BEDROCK. SEE SKETCH SK2 FOR TYPICAL DETAIL.

UNDER PINNING
UNDERPIN EXISTING WALL IN SEQUENTIAL MANNER (SEE SKETCH SK2 FOR TYPICAL DETAIL)

Lower Floor Plan
1:100

sketchArc

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.		
REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

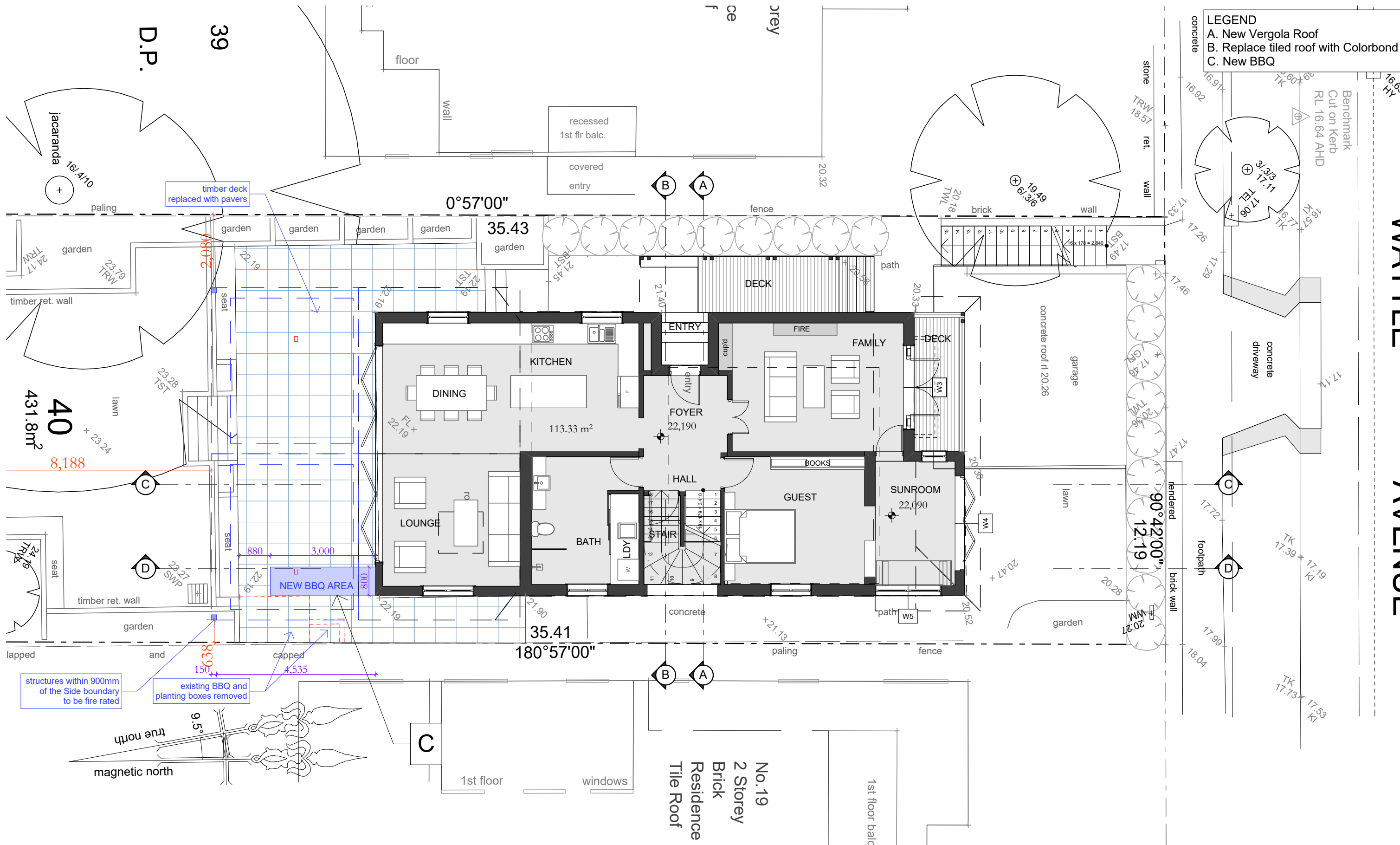
PROJECT: 21 Wattle Avenue, Fairlight, 2094, NSW
Alterations & Additions
LOT 40 in DP 11828 - 431.8m2

CLIENT: Private

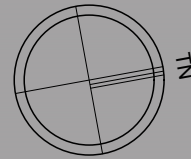
= Proposed Work
 = Demolition
 = Existing

STATUS: DA		
DATE: 210222	SCALE: 1:100@A3	PROJECT NUMBER: 1712
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA4		

WATTLE AVENUE



Ground Floor Plan
1:100



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 21 Wattle Avenue, Fairlight, 2094, NSW
Alterations & Additions
LOT 40 in DP 11828 - 431.8m2

CLIENT: Private

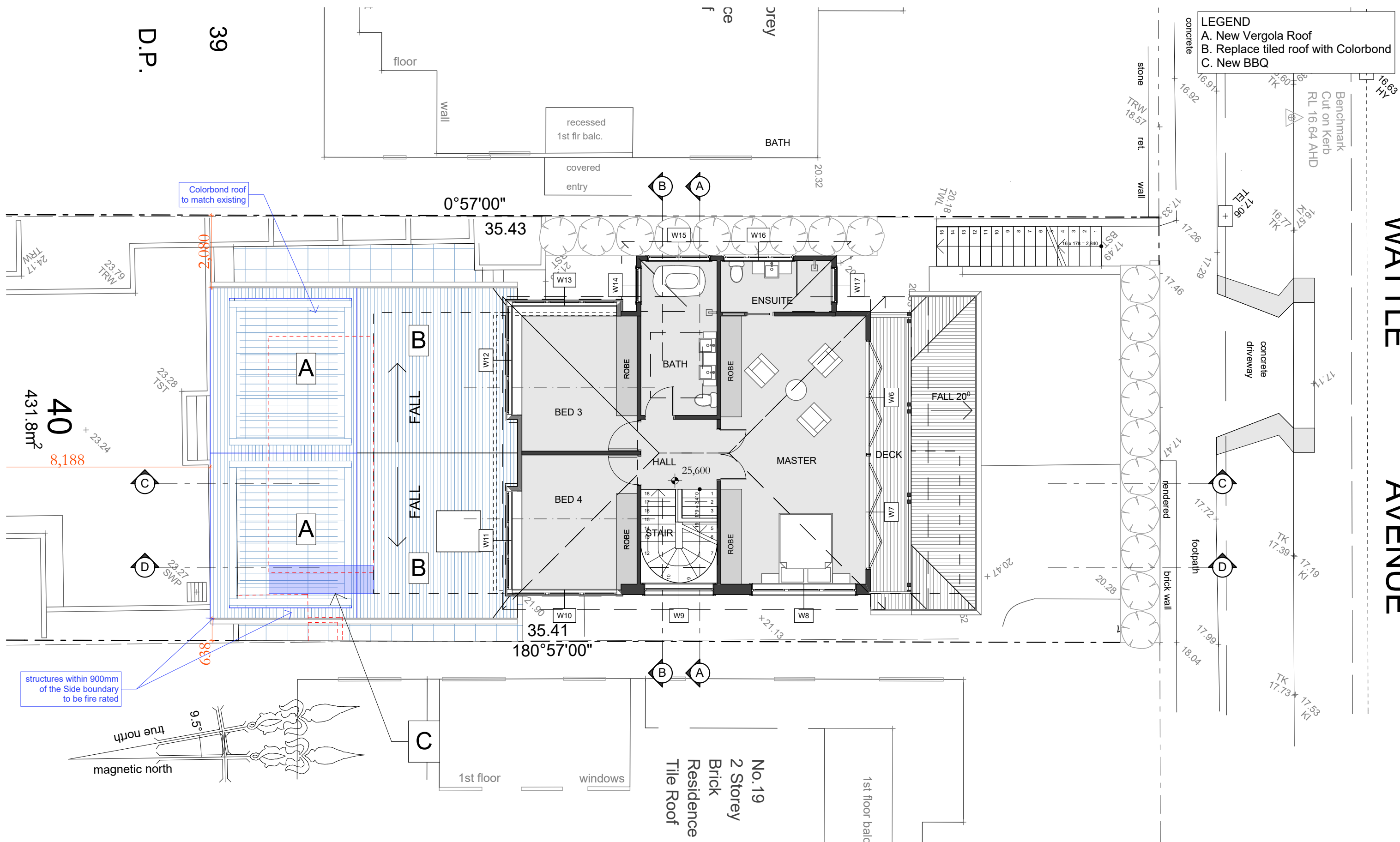
 = Proposed Work	 = Demolition	 = Existing

STATUS: DA
DATE: 210222
STAGE: DA
DRAWING NO: DA5

SCALE: 1:100@A3
DRAWN/DESIGNED: PB / MP

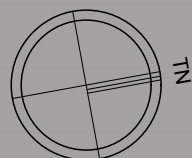
PROJECT NUMBER: 1712
ISSUE:

WATTLE AVENUE



First Floor Plan
1:100

sketchArc



**DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.**

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION
-----	------	-------------

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 21 Wattle Avenue, Fairlight,
2094, NSW
Alterations & Additions
LOT 40 in DP 11828 - 431.8m2

CLIENT: **Private**

 = Proposed Work
 = Demolition
 = Existing

STATUS: DA		
DATE: 210222	SCALE: 1:100@A3	PROJECT NUMBER: 1712
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA6		

16.63
HY

concrete

TEL 17.06





8,188

9.

୧୩

REV	DATE	DESCRIPTION
-----	------	-------------

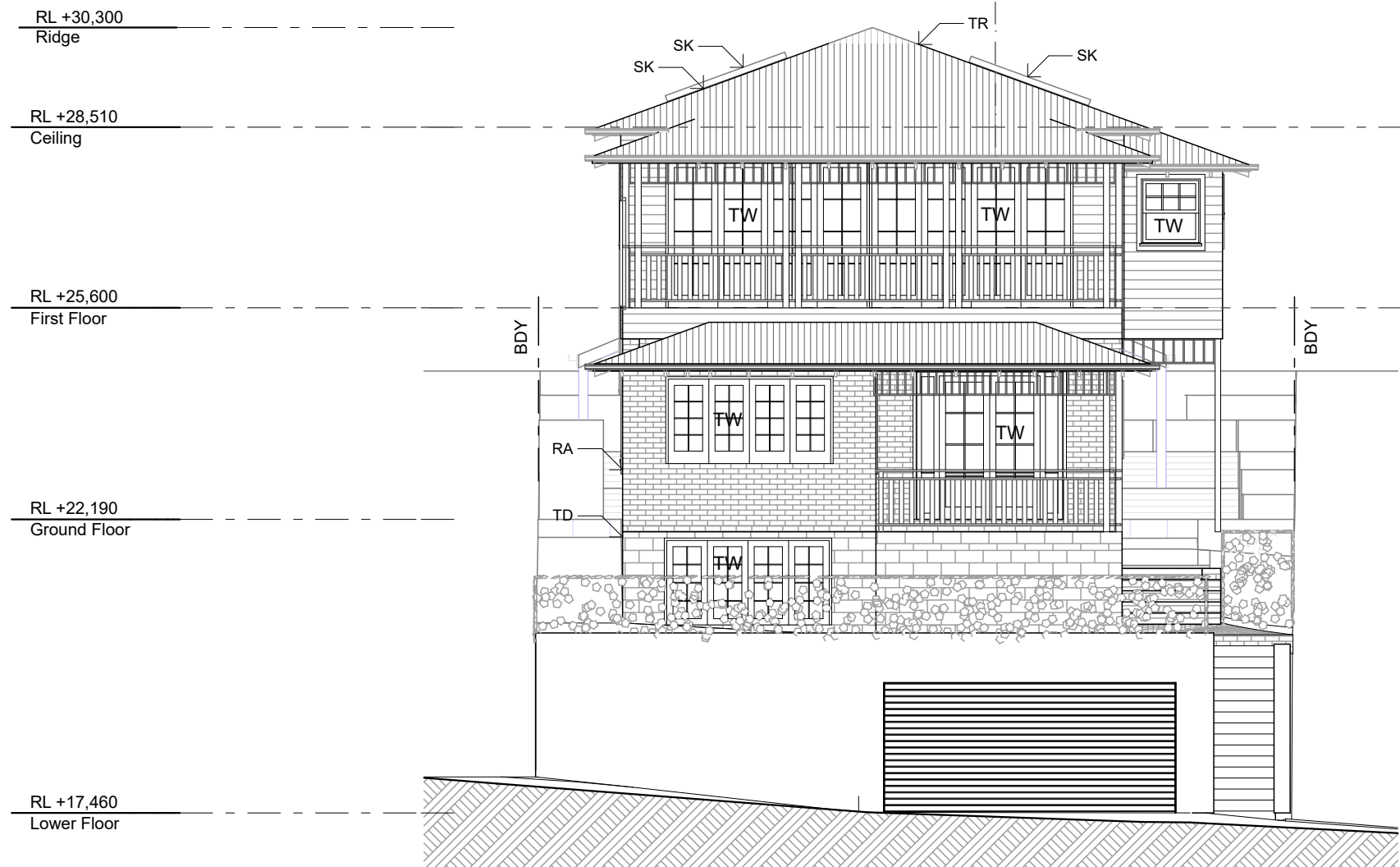
Private

  = Existing

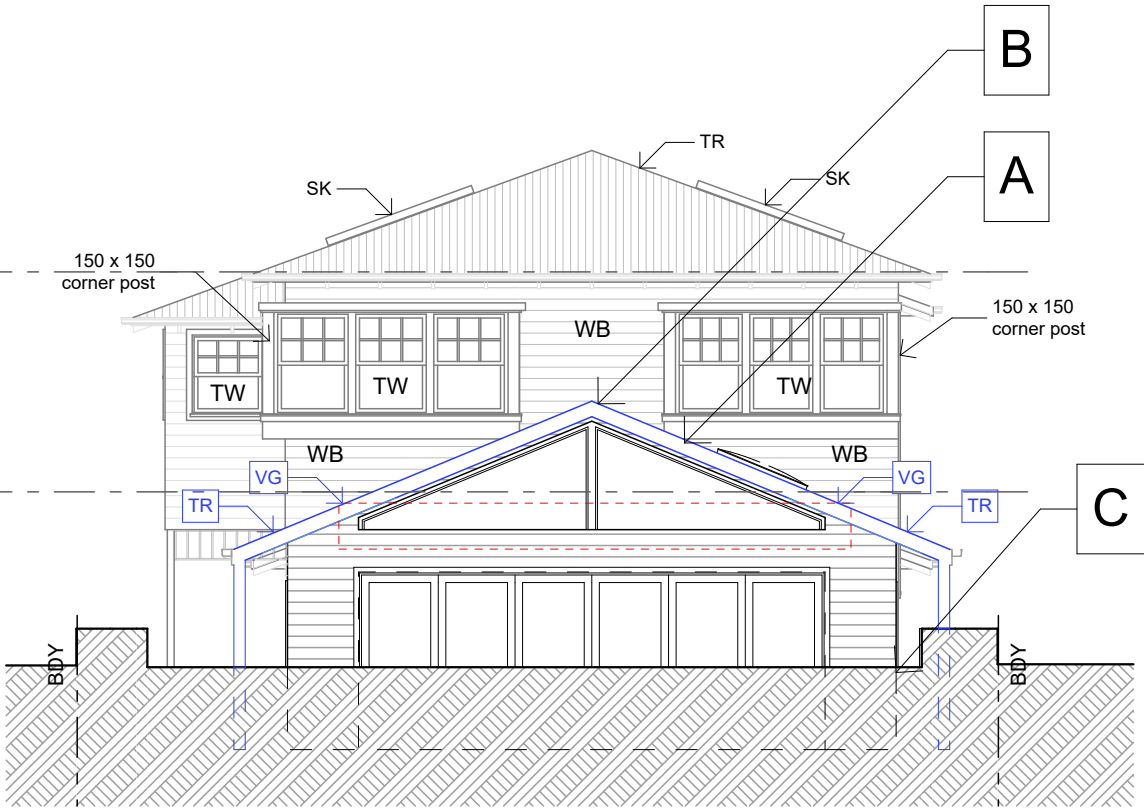
[illegible]

Roof Plan
1:100

LEGEND
A. New Vergola Roof
B. Replace tiled roof with Colorbond
C. New BBQ



North Elevation
1:100



South Elevation
1:100

LEGEND

- TR timber framed roof with Colorbond cladding
WB timber framed wall with weatherboard cladding
PB painted brick wall
TW timber window
TD timber framed deck to engineers details
SK skylight
RA rail to BCA
VG vergola
RR reclad roof to match existing Colorbond roof



sketchArc

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 21 Wattle Avenue, Fairlight,
2094, NSW
Alterations & Additions
LOT 40 in DP 11828 - 431.8m2

CLIENT:
Private

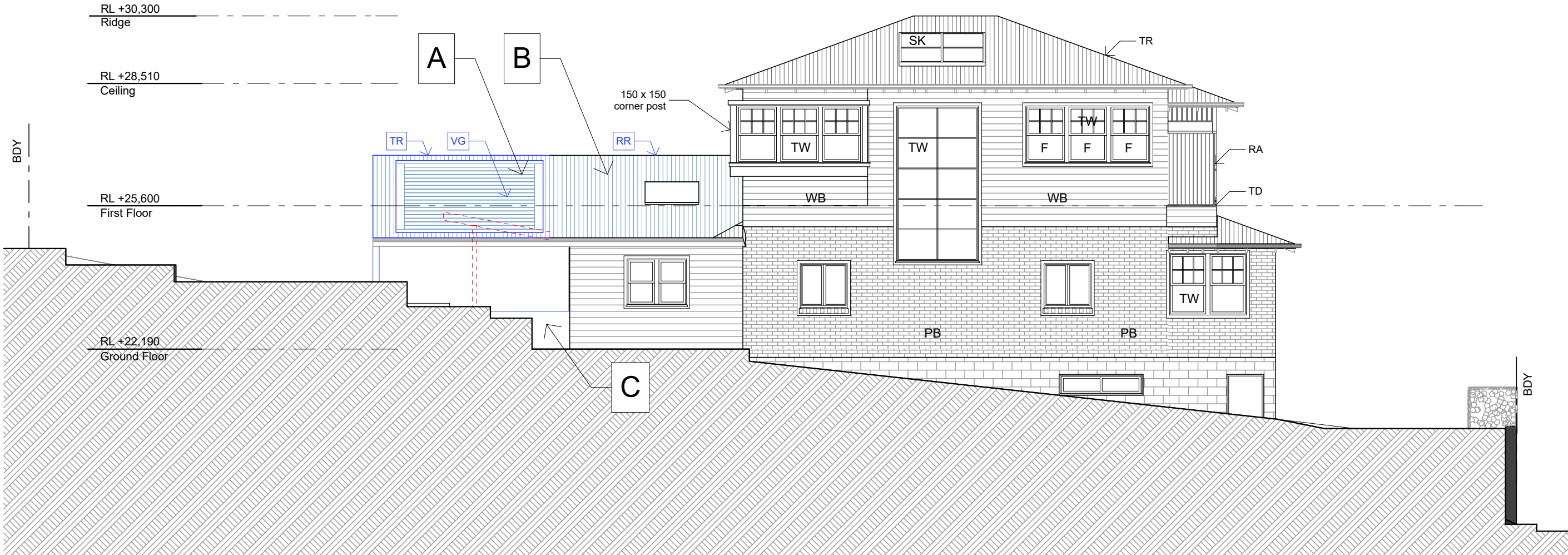
- = Proposed Work
■ = Demolition
■ = Existing

STATUS: DA		
DATE: 210222	SCALE: 1:100@A3	PROJECT NUMBER: 1712
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA8		

LEGEND
A. New Vergola Roof
B. Replace tiled roof with Colorbond
C. New BBQ

LEGEND

TR timber framed roof with Colorbond cladding
WB timber framed wall with weatherboard cladding
PB painted brick wall
TW timber window
TD timber framed deck to engineers details
SK skylight
RA rail to BCA
VG vergola
RR reclad roof to match existing Colorbond roof



East Elevation
1:100



sketchArc

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 21 Wattle Avenue, Fairlight,
2094, NSW
Alterations & Additions
LOT 40 in DP 11828 - 431.8m2

CLIENT:
Private

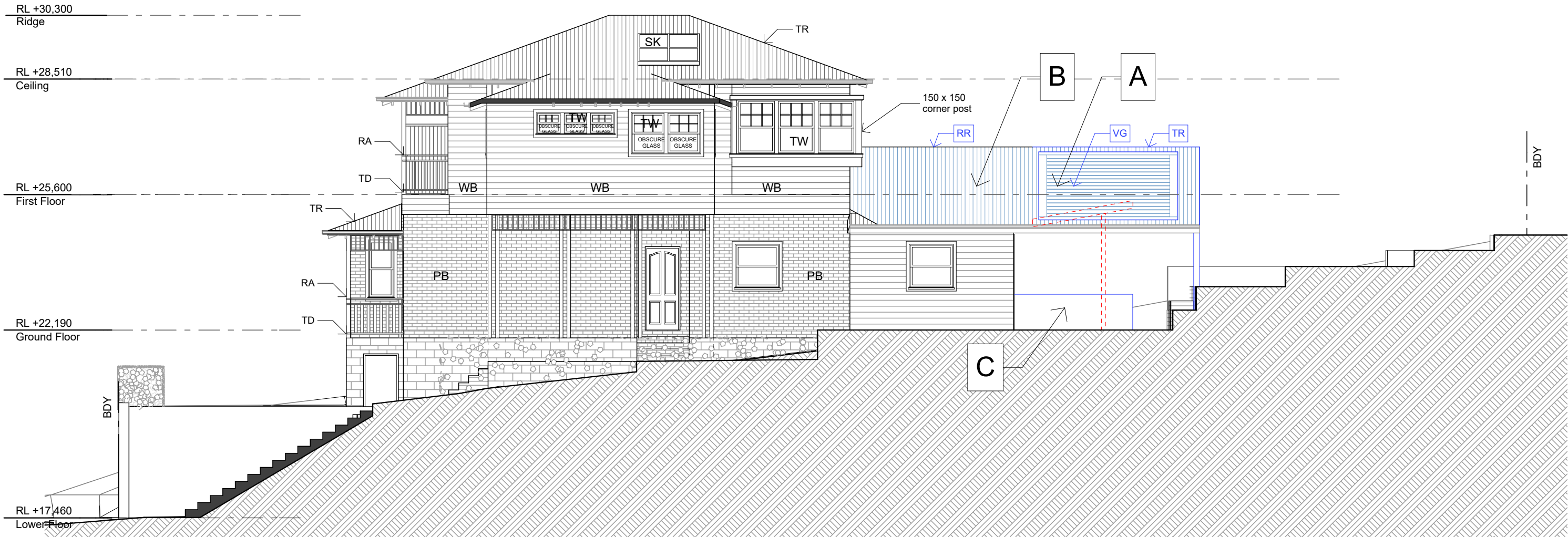
 = Proposed Work
 = Demolition
 = Existing

STATUS: DA		
DATE: 210222	SCALE: 1:100@A3	PROJECT NUMBER: 1712
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA9		

LEGEND
A. New Vergola Roof
B. Replace tiled roof with Colorbond
C. New BBQ

LEGEND

TR timber framed roof with Colorbond cladding
WB timber framed wall with weatherboard cladding
PB painted brick wall
TW timber window
TD timber framed deck to engineers details
SK skylight
RA rail to BCA
VG vergola
RR reclad roof to match existing Colorbond roof



West Elevation
1:100



sketchArc

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc

Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 21 Wattle Avenue, Fairlight, 2094, NSW
Alterations & Additions
LOT 40 in DP 11828 - 431.8m2

CLIENT: Private

= Proposed Work

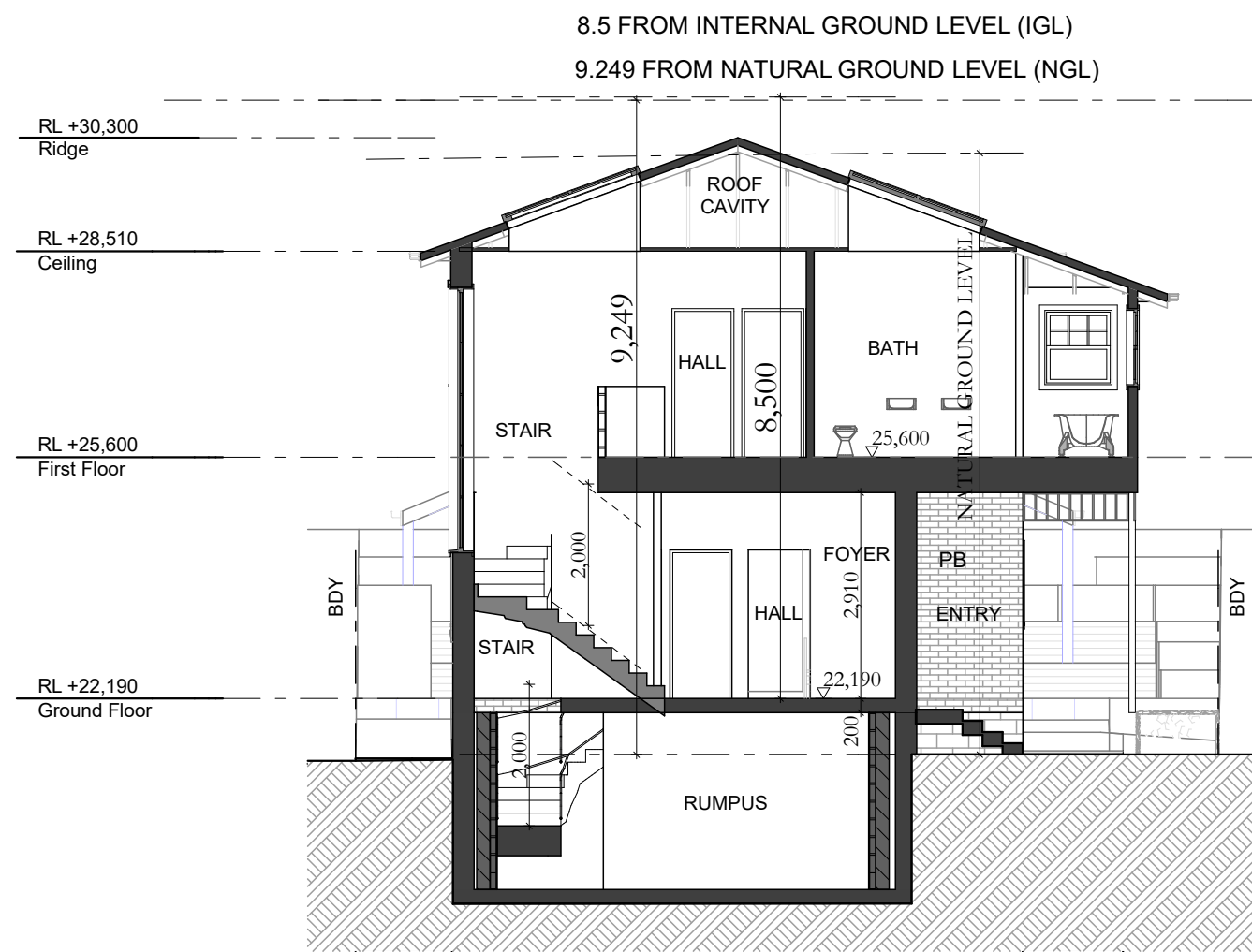
= Demolition

= Existing

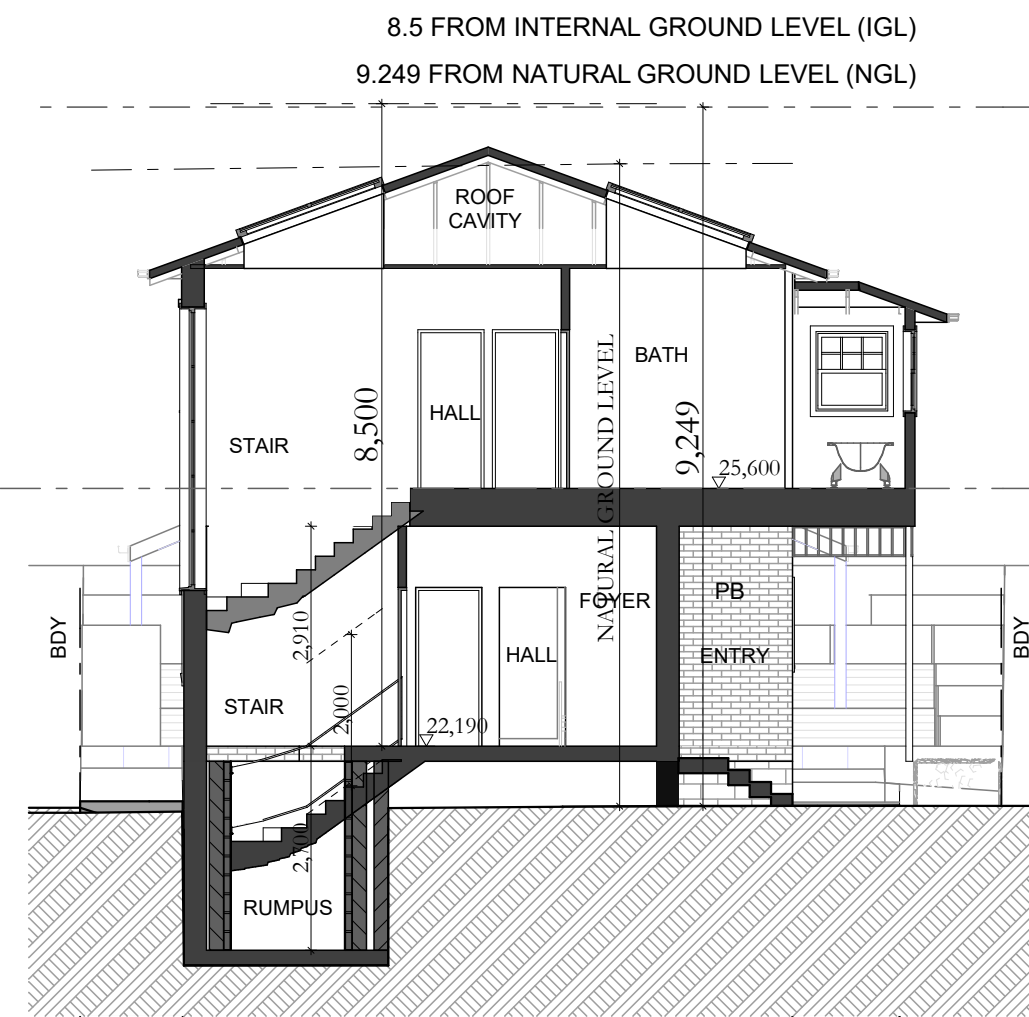
STATUS: DA
DATE: 210222
STAGE: DA
DRAWING NO: DA10

SCALE: 1:100@A3
DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 1712
ISSUE:



Section A-A
1:100



Section B-B
1:100



sketchArc

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

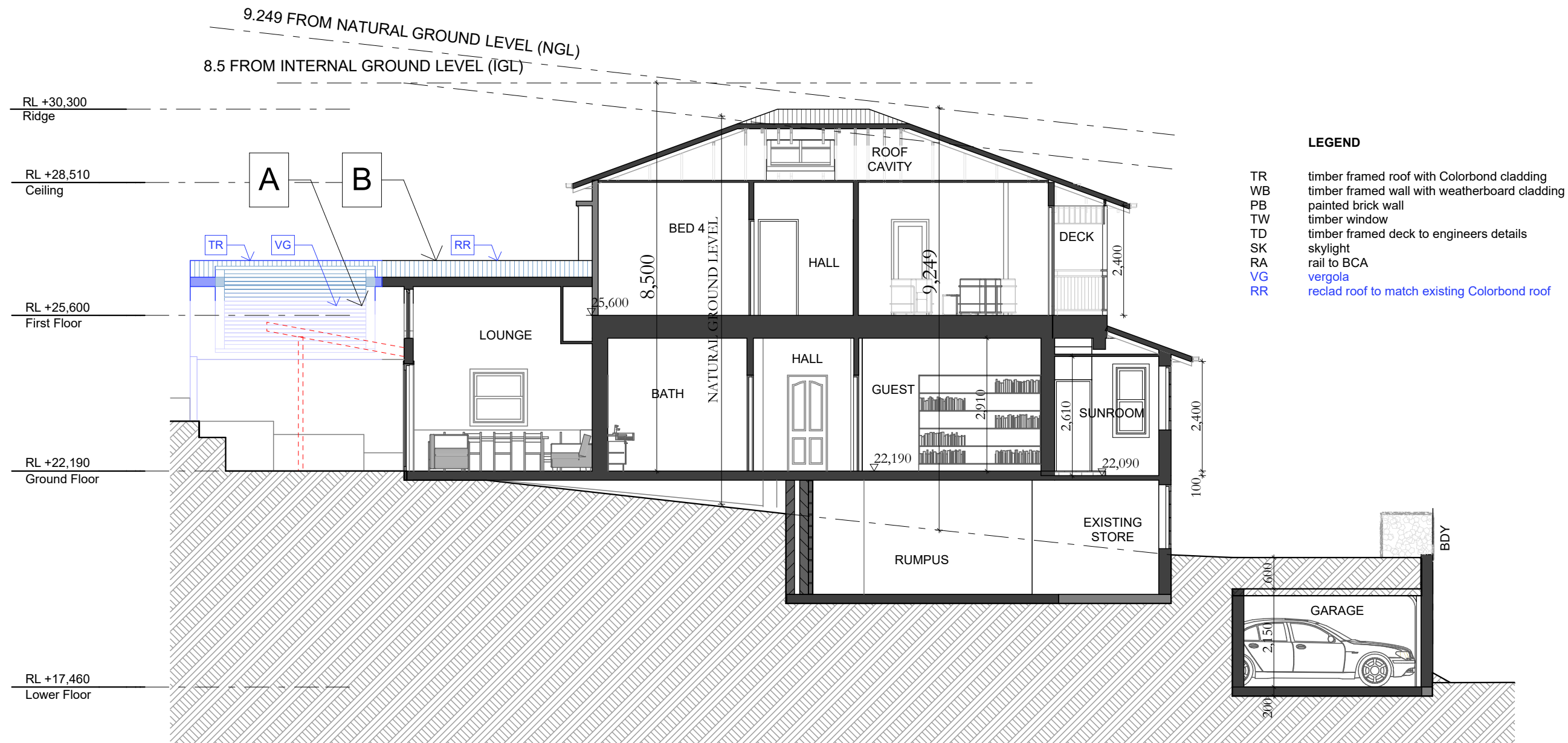
PROJECT: 21 Wattle Avenue, Fairlight,
2094, NSW
Alterations & Additions
LOT 40 in DP 11828 - 431.8m2

CLIENT:
Private

■ = Proposed Work
■ = Demolition
■ = Existing

STATUS: DA		
DATE: 210222	SCALE: 1:100@A3	PROJECT NUMBER: 1712
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA11		

LEGEND
A. New Vergola Roof
B. Replace tiled roof with Colorbond
C. New BBQ



Section C-C
1:100



sketchArc

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

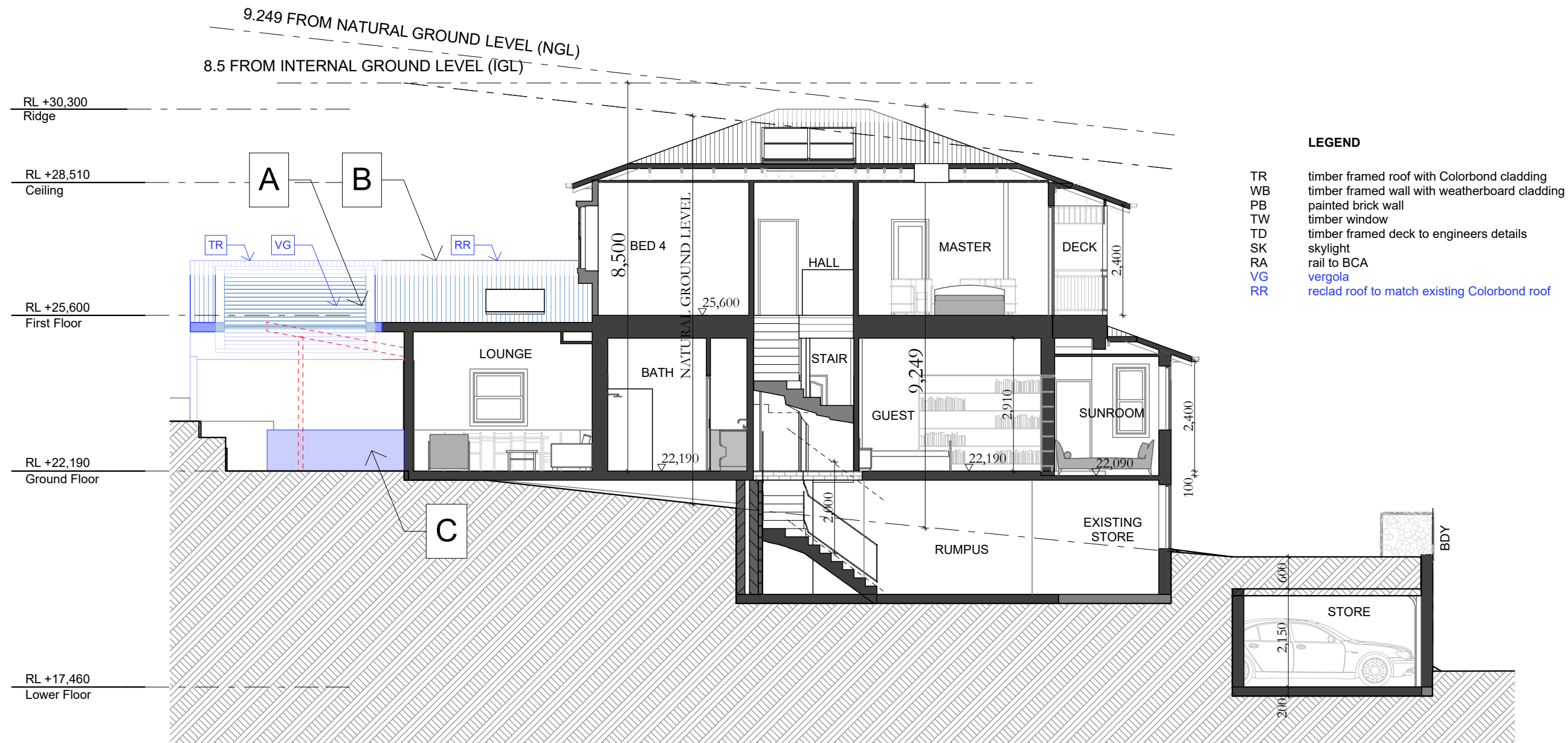
PROJECT: 21 Wattle Avenue, Fairlight,
2094, NSW
Alterations & Additions
LOT 40 in DP 11828 - 431.8m2

CLIENT:
Private

 = Proposed Work
 = Demolition
 = Existing

STATUS: DA		
DATE: 210222	SCALE: 1:100@A3	PROJECT NUMBER: 1712
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA12		

LEGEND
A. New Vergola Roof
B. Replace tiled roof with Colorbond
C. New BBQ



sketchArc

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 21 Wattle Avenue, Fairlight,
2094, NSW
Alterations & Additions
LOT 40 in DP 11828 - 431.8m2

CLIENT:
Private

 = Proposed Work
 = Demolition
 = Existing

STATUS: DA		
DATE: 210222	SCALE: 1:100@A3	PROJECT NUMBER: 1712
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA13		