

Site Calculations m2- Existing	
Site Area	588.0m ²
<u>Total Open Space >3m wide</u> Proposed (30.26%)	177.95m²
Required (60% of site area)	352.8m ²
<u>Total Landscaped Area</u> Proposed (11.42%)	40.29m²
Required (40% of total open space)	141.12m ²
<u>Private OpenSpace</u> Proposed (30.26%)	177.95m ²
Required (12m ² per Dwelling)	24m ²

Site Calculations m2- Proposed (unchanged)	
Site Area	588.0m ²
<u>Total Open Space >3m wide</u> Proposed (30.26%)	177.95m²
Required (60% of site area)	352.8m ²
<u>Total Landscaped Area</u> Proposed (11.42%)	40.29m²
Required (40% of total open space)	141.12m ²
<u>Private OpenSpace</u> Proposed (30.26%)	177.95m ²
Required (12m ² per Dwelling)	24m ²



HERMOSA
Design
BEAUTY IS IN THE DETAIL

PREPARED BY ARIANNA ROSNELL
136 Owen Stanley Avenue, Allambie Heights
NSW 2100
Mobile: 0400 598 382
Email: Arianna.rosnell@outlook.com
ABN:30 894 082 124

BASIX INFORMATION REQUIREMENTS:

LIGHTING:
A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D lamps

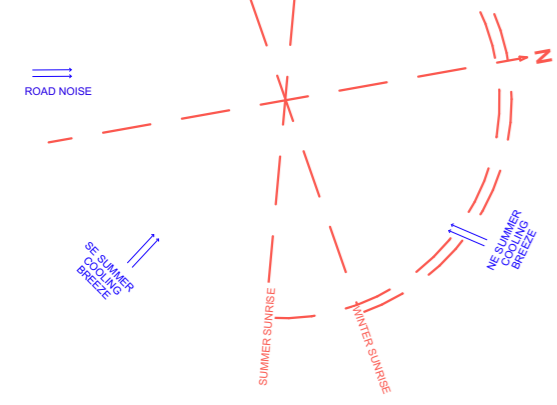
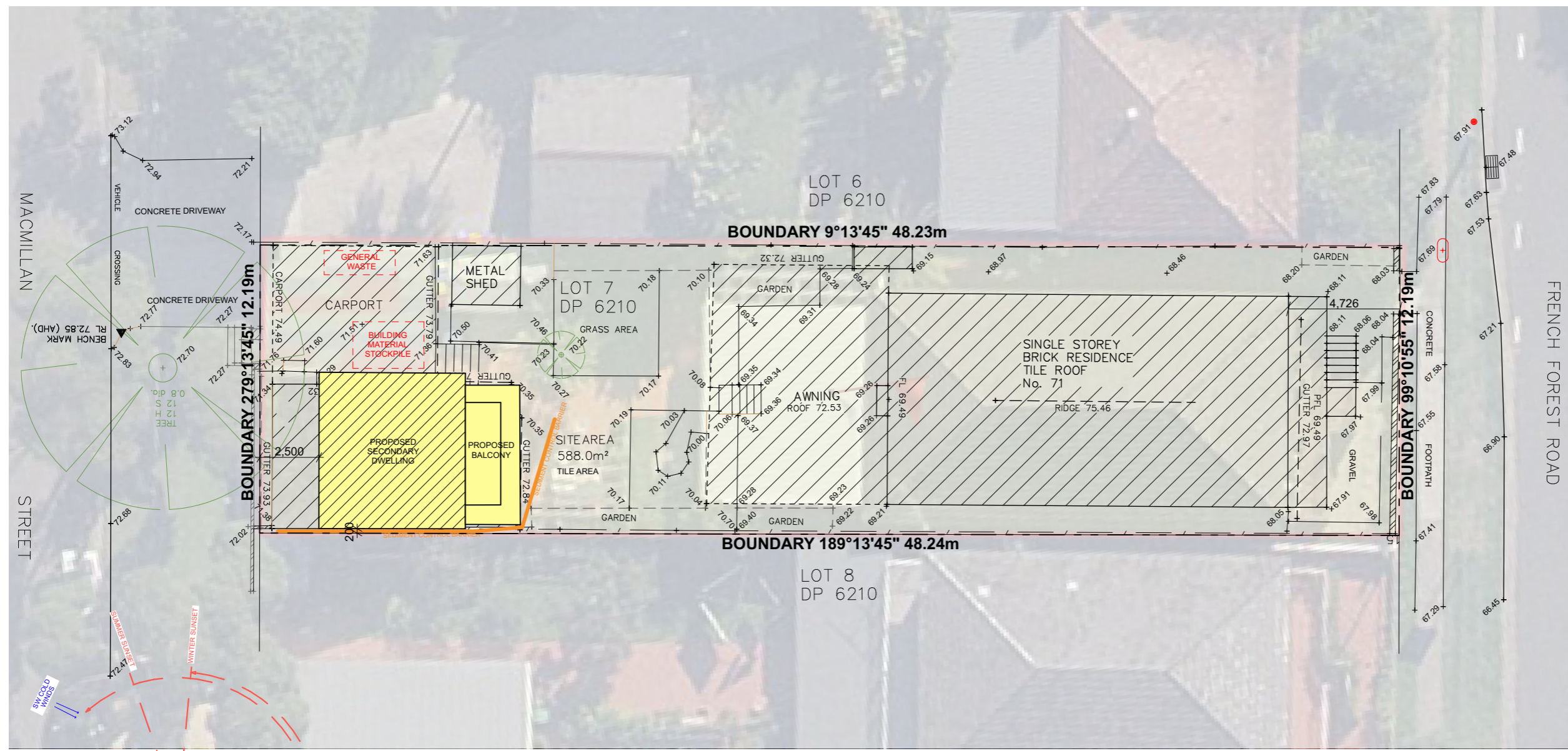
WATER COMMITMENTS:
Landscape: The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.
Fixtures: All new shower heads, toilets and taps shall have a minimum 4 star rating
Alternative Water: a rainwater tank is to be installed with a minimum of 2000L. rainwater is to be collected from at least 59.38m² of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank

INSULATION REQUIREMENTS:
External walls: The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction.
Concrete Slab: Nil
Floor Framed: Nil
Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up).
Roof: The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window/ door numbers shown in the Basix certificate.

Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.
Shading devices: Shading devices shall be installed in accordance with the Basix certificate.
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate.

ENERGY COMMITMENTS:
Hot Water: The applicant must install the following hot water system or higher, a Gas instantaneous hot water system with as performance of 5.5 stars



SITE PLAN 1:200 & SITE ANALYSIS/ ENVIRONMENTAL SITE MANAGEMENT

NB: CONNECT ALL NEW STORMWATER PIPEWORK TO EXISTING SYSTEM ALONG SOUTH BOUNDARY

DRAWING TITLE :
SITE ANALYSIS

DRAWING NO:
DA 1

CLIENT:
MR JACOB HIMO

PROJECT NAME :
PROPOSED ALTERATIONS + ADDITIONS
42 MACMILLAN STREET
LOT 7, DP 6210
SEAFORTH NSW 2092

Checked By: Arianna Rosnell
Plot Date: 29/8/2022
Project No. 220805 DA42
Project Status DA SUBMISSION

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.



HERMOSA
Design
BEAUTY IS IN THE DETAIL

PREPARED BY ARIANNA ROSNELL
136 Owen Stanley Avenue, Allambie Heights
NSW 2100
Mobile: 0400 598 382
Email: Arianna.rosnell@outlook.com
ABN:30 894 082 124

BASIX INFORMATION REQUIREMENTS:

LIGHTING:
A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D lamps

WATER COMMITMENTS:
Landscape: The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.
Fixtures: All new shower heads, toilets and taps shall have a minimum 4 star rating
Alternative Water: a rainwater tank is to be installed with a minimum of 2000L. rainwater is to be collected from at least 59.38m² of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank

INSULATION REQUIREMENTS:
External walls: The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction.
Concrete Slab: Nil
Floor Framed: Nil
Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up).
Roof: The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window/ door numbers shown in the Basix certificate.

Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.
Shading devices: Shading devices shall be installed in accordance with the Basix certificate.
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate.

ENERGY COMMITMENTS:
Hot Water: The applicant must install the following hot water system or higher, a Gas instantaneous hot water system with as performance of 5.5 stars



Project North

DRAWING TITLE :
DEMOLITION GROUND FLOOR PLAN

DRAWING NO:
DA 2

CLIENT:
MR JACOB HIMO
PROJECT NAME :
PROPOSED ALTERATIONS + ADDITIONS
42 MACMILLAN STREET
LOT 7, DP 6210
SEAFORTH NSW 2092

Checked By: Arianna Rosnell
Plot Date: 29/8/2022
Project No. 220805 DA42
Project Status DA SUBMISSION

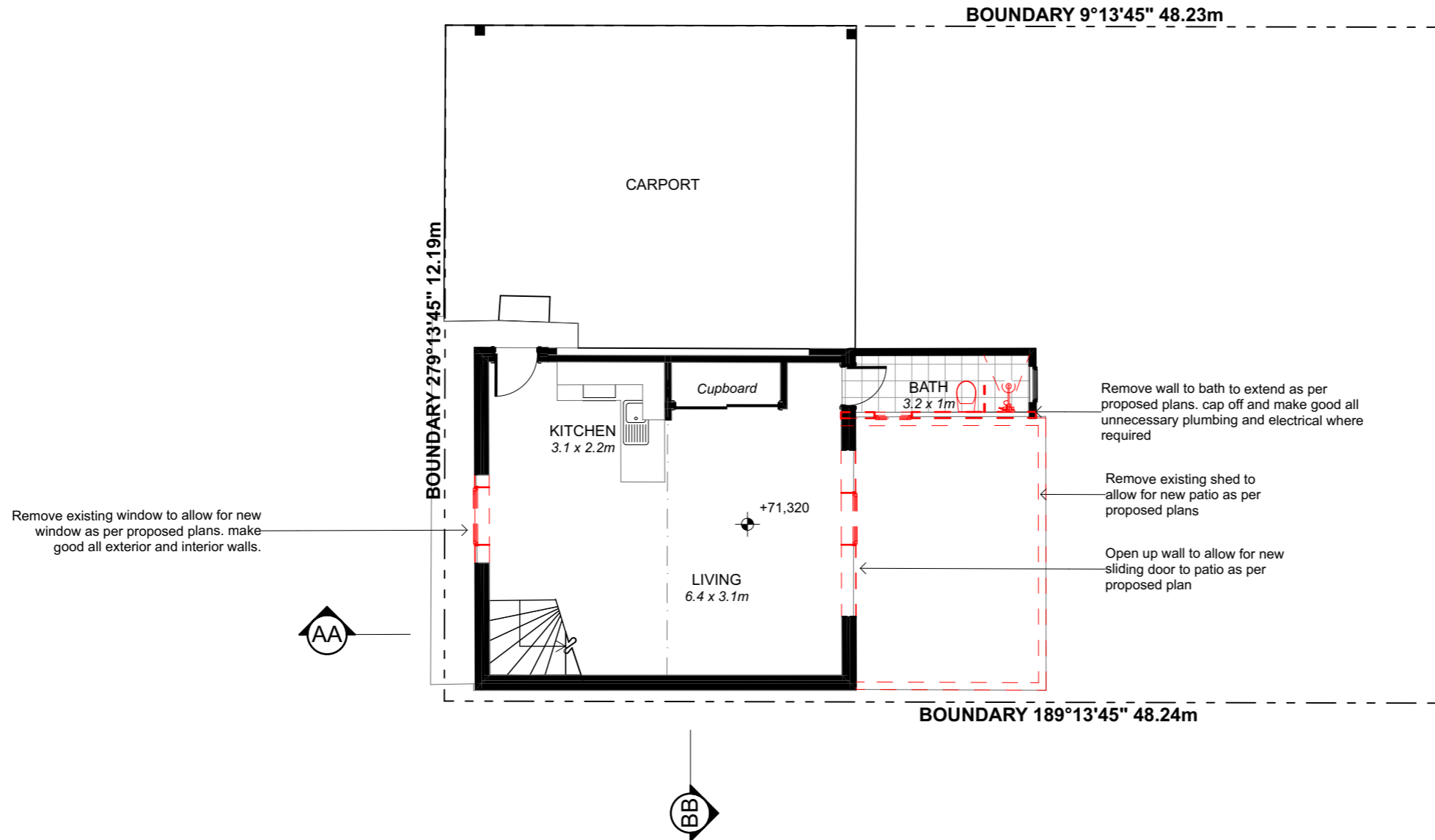
DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.



1 DEMOLITION GROUND FLOOR PLAN 1:100



HERMOSA
Design
BEAUTY IS IN THE DETAIL

PREPARED BY ARIANNA ROSNELL
136 Owen Stanley Avenue, Allambie Heights
NSW 2100
Mobile: 0400 598 382
Email: Arianna.rosnell@outlook.com
ABN:30 894 082 124

BASIX INFORMATION REQUIREMENTS:
LIGHTING: A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D lamps

WATER COMMITMENTS:
Landscape: The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.
Fixtures: All new shower heads, toilets and taps shall have a minimum 4 star rating
Alternative Water: a rainwater tank is to be installed with a minimum of 2000L. rainwater is to be collected from at least 59.38m² of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank

INSULATION REQUIREMENTS:
External walls: The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction.
Concrete Slab: Nil
Floor Framed: Nil
Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up).
Roof: The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window/ door numbers shown in the Basix certificate.

Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.
Shading devices: Shading devices shall be installed in accordance with the Basix certificate.
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate.

ENERGY COMMITMENTS:
Hot Water: The applicant must install the following hot water system or higher, a Gas instantaneous hot water system with as performance of 5.5 stars



DRAWING TITLE :
DEMOLITION FIRST FLOOR

DRAWING NO:
DA 3

CLIENT:
MR JACOB HIMO

PROJECT NAME :
PROPOSED ALTERATIONS + ADDITIONS
42 MACMILLAN STREET
LOT 7, DP 6210
SEAFORTH NSW 2092

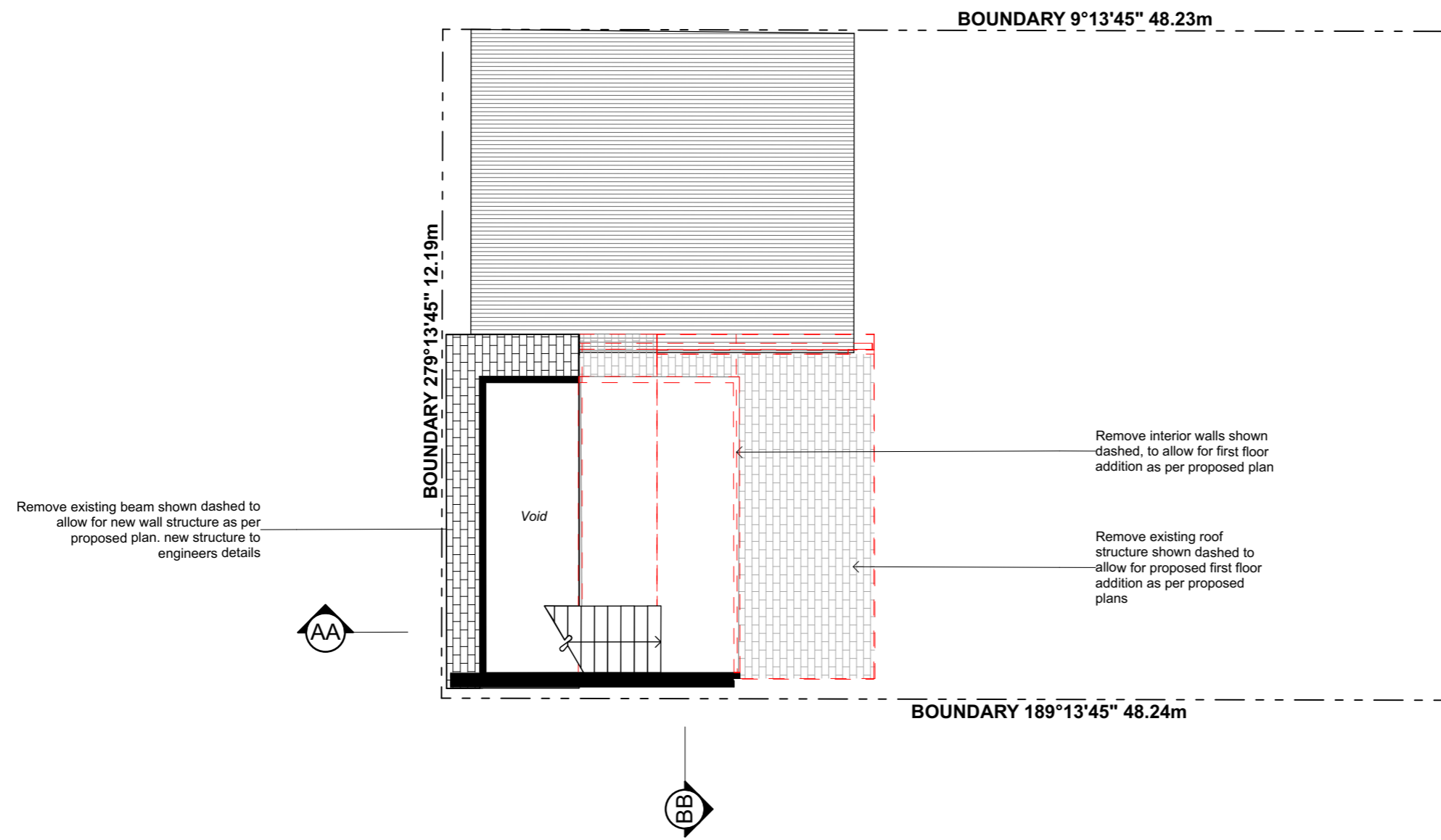
Checked By: Arianna Rosnell
Plot Date: 29/8/2022
Project No. 220805 DA42
Project Status DA SUBMISSION

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.



Remove existing beam shown dashed to allow for new wall structure as per proposed plan. new structure to engineers details

Remove interior walls shown dashed, to allow for first floor addition as per proposed plan

Remove existing roof structure shown dashed to allow for proposed first floor addition as per proposed plans

DOOR/WINDOW SCHEDULE

WD1	3000w x 2100h	Selected Aluminium Framed Sliding Door
WD2	3000w x 2100h	Selected Aluminium Framed Sliding Door
W 1	1600w x 1450h	Selected Aluminium Framed Double Pane Window- Sliding
W 2	1000w x 500h	Selected Aluminium Framed Awning Window
W 3	1400w x 500h	Selected Aluminium Framed Double Pane Window- Sliding
W 4	1400w x 500h	Selected Aluminium Framed Double Pane Window- Sliding
W 5	1000w x 500h	Selected Aluminium Framed Awning Window
W 6	900w x 1250h	Selected Aluminium Framed Awning Window
SK1	780w x 900h	Selected Aluminium Framed Fixed Skylight
SK2	780w x 900h	Selected Aluminium Framed Fixed Skylight

Note: The Builder shall check measure all windows and doors on site prior to ordering. Windows and doors to be checked against the requirement of the approved BASIX Certificate.



HERMOSA
Design
BEAUTY IS IN THE DETAIL

PREPARED BY ARIANNA ROSNELL
136 Owen Stanley Avenue, Allambie Heights
NSW 2100
Mobile: 0400 598 382
Email: Arianna.rosnell@outlook.com
ABN:30 894 082 124

BASIX INFORMATION REQUIREMENTS:

LIGHTING:
A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D lamps

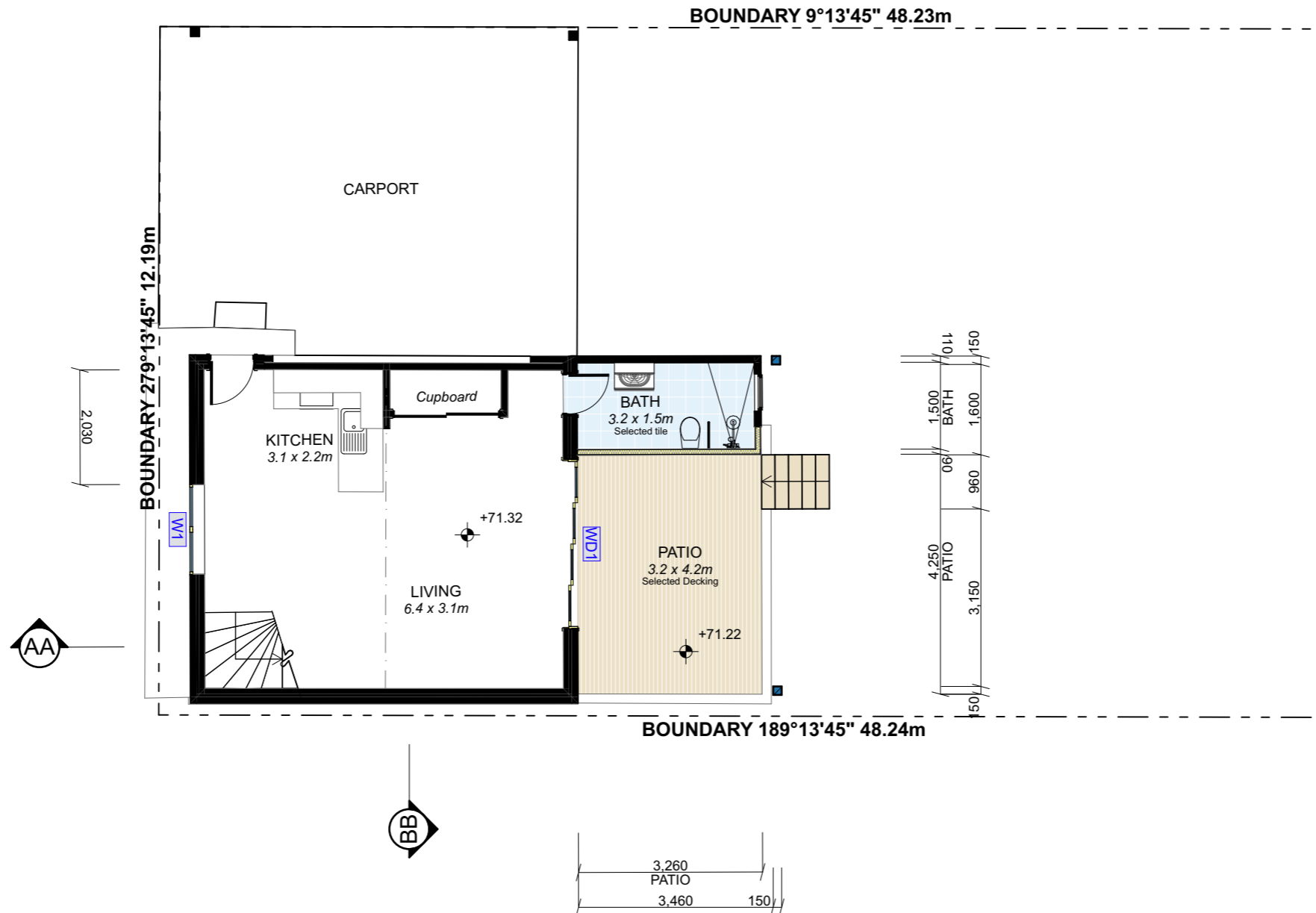
WATER COMMITMENTS:
Landscape: The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.
Fixtures: All new shower heads, toilets and taps shall have a minimum 4 star rating
Alternative Water: a rainwater tank is to be installed with a minimum of 2000L. rainwater is to be collected from at least 59.38m² of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank

INSULATION REQUIREMENTS:
External walls: The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction.
Concrete Slab: Nil
Floor Framed: Nil
Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up).
Roof: The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window/ door numbers shown in the Basix certificate.

Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.
Shading devices: Shading devices shall be installed in accordance with the Basix certificate.
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate.

ENERGY COMMITMENTS:
Hot Water: The applicant must install the following hot water system or higher, a Gas instantaneous hot water system with as performance of 5.5 stars



DRAWING TITLE :
PROPOSED GROUND FLOOR PLAN

DRAWING NO:
DA 4

CLIENT:
MR JACOB HIMO

PROJECT NAME :
PROPOSED ALTERATIONS + ADDITIONS
42 MACMILLAN STREET
LOT 7, DP 6210
SEAFORTH NSW 2092

Checked By: Arianna Rosnell
Plot Date: 29/8/2022
Project No. 220805 DA42
Project Status DA SUBMISSION

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.

1 PROPOSED GROUND FLOOR PLAN 1:100

DOOR/WINDOW SCHEDULE

WD1	3000w x 2100h	Selected Aluminium Framed Sliding Door
WD2	3000w x 2100h	Selected Aluminium Framed Sliding Door
W 1	1600w x 1450h	Selected Aluminium Framed Double Pane Window- Sliding
W 2	1000w x 500h	Selected Aluminium Framed Awning Window
W 3	1400w x 500h	Selected Aluminium Framed Double Pane Window- Sliding
W 4	1400w x 500h	Selected Aluminium Framed Double Pane Window- Sliding
W 5	1000w x 500h	Selected Aluminium Framed Awning Window
W 6	900w x 1250h	Selected Aluminium Framed Awning Window
SK1	780w x 900h	Selected Aluminium Framed Fixed Skylight
SK2	780w x 900h	Selected Aluminium Framed Fixed Skylight

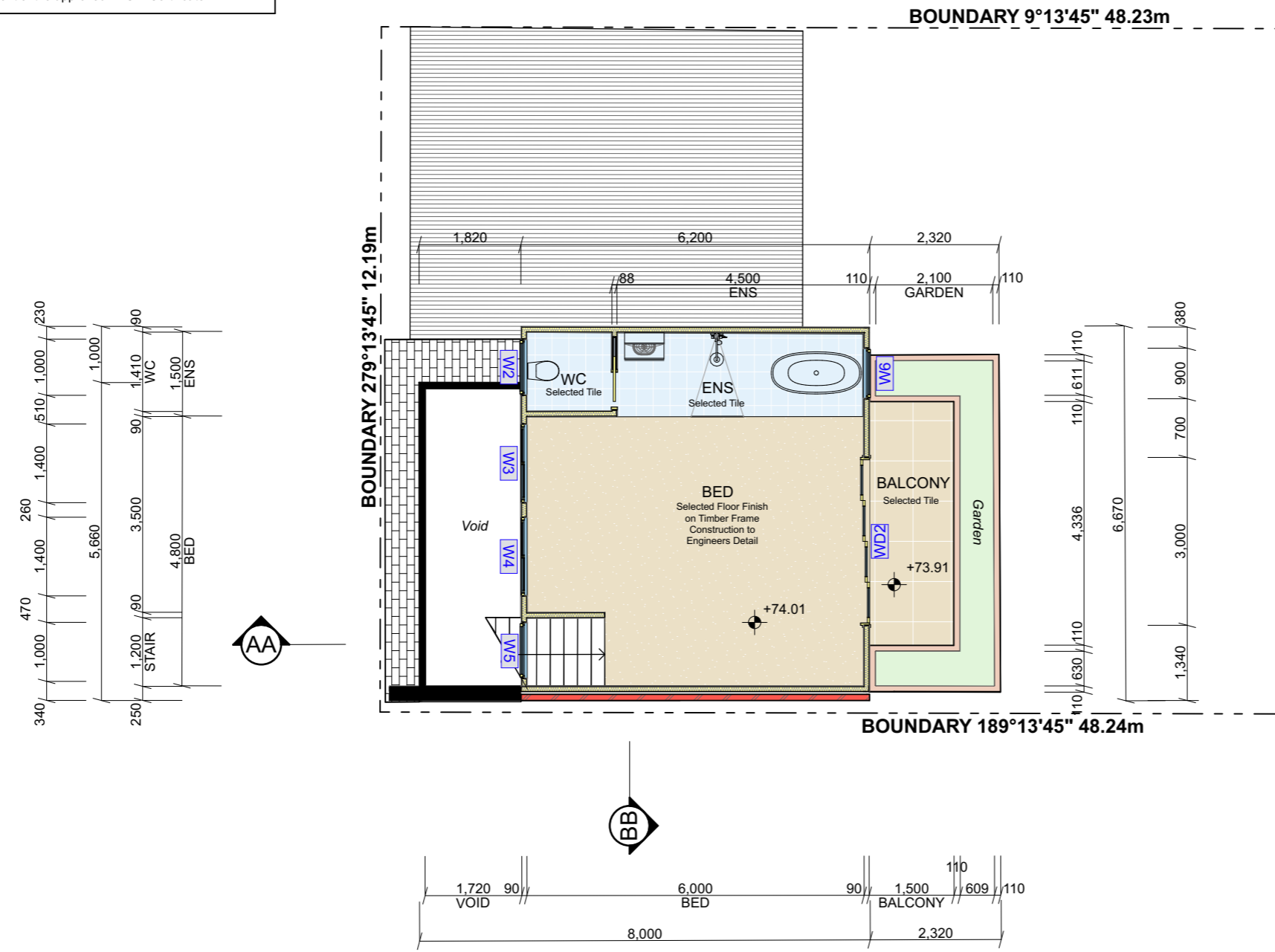
Note: The Builder shall check measure all windows and doors on site prior to ordering. Windows and doors to be checked against the requirement of the approved BASIX Certificate.



HERMOSA
Design
BEAUTY IS IN THE DETAIL

PREPARED BY ARIANNA ROSNELL
136 Owen Stanley Avenue, Allambie Heights
NSW 2100
Mobile: 0400 598 382
Email: Arianna.rosnell@outlook.com
ABN:30 894 082 124

BASIX INFORMATION REQUIREMENTS:
LIGHTING: A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D lamps
WATER COMMITMENTS: The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site. All new shower heads, toilets and taps shall have a minimum 4 star rating a rainwater tank is to be installed with a minimum of 2000L rainwater is to be collected from at least 59.38m2 of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank
INSULATION REQUIREMENTS: External walls: The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction. Concrete Slab: Nil Floor Framed: Nil Ceilings: Nil The new raked roof ceilings shall meet minimum R3.50 (up). Roof: The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).
WINDOWS & GLAZED DOORS: All window and door numbers shown on the window and door schedule correspond to matching window/ door numbers shown in the Basix certificate.
Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.
Shading devices: Shading devices shall be installed in accordance with the Basix certificate.
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate.
ENERGY COMMITMENTS: Hot Water: The applicant must install the following hot water system or higher, a Gas instantaneous hot water system with as performance of 5.5 stars



DRAWING TITLE :
PROPOSED FIRST FLOOR PLAN

DRAWING NO.:
DA 5

CLIENT:
MR JACOB HIMO

PROJECT NAME :
PROPOSED ALTERATIONS + ADDITIONS
42 MACMILLAN STREET
LOT 7, DP 6210
SEAFORTH NSW 2092

Checked By: Arianna Rosnell
Plot Date: 29/8/2022
Project No. 220805 DA42
Project Status DA SUBMISSION

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.
All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.

DOOR/WINDOW SCHEDULE

WD1	3000w x 2100h	Selected Aluminium Framed Sliding Door
WD2	3000w x 2100h	Selected Aluminium Framed Sliding Door
W 1	1600w x 1450h	Selected Aluminium Framed Double Pane Window- Sliding
W 2	1000w x 500h	Selected Aluminium Framed Awning Window
W 3	1400w x 500h	Selected Aluminium Framed Double Pane Window- Sliding
W 4	1400w x 500h	Selected Aluminium Framed Double Pane Window- Sliding
W 5	1000w x 500h	Selected Aluminium Framed Awning Window
W 6	900w x 1250h	Selected Aluminium Framed Awning Window
SK1	780w x 900h	Selected Aluminium Framed Fixed Skylight
SK2	780w x 900h	Selected Aluminium Framed Fixed Skylight

Note: The Builder shall check measure all windows and doors on site prior to ordering. Windows and doors to be checked against the requirement of the approved BASIX Certificate.



HERMOSA
Design
BEAUTY IS IN THE DETAIL

PREPARED BY ARIANNA ROSNELL
136 Owen Stanley Avenue, Allambie Heights
NSW 2100
Mobile: 0400 598 382
Email: Arianna.rosnell@outlook.com
ABN:30 894 082 124

BASIX INFORMATION REQUIREMENTS:

LIGHTING:
A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D lamps

WATER COMMITMENTS:
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.
Fixtures
All new shower heads, toilets and taps shall have a minimum 4 star rating

Alternative Water
A rainwater tank is to be installed with a minimum of 2000L. rainwater is to be collected from at least 59.38m2 of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank

INSULATION REQUIREMENTS:

External walls:
The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction.

Concrete Slab:
Nil

Floor Framed:
Nil

Ceilings:
The new raked roof ceilings shall meet minimum R3.50 (up).

Roof:
The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window/ door numbers shown in the Basix certificate.

Window sizes:
The total area of glazing for each window shall be no greater than that shown on the Basix certificate.

Shading devices:
Shading devices shall be installed in accordance with the Basix certificate.

Frames and glazing:
Frame and glazing types shall meet the requirements of the Basix certificate.

ENERGY COMMITMENTS:

Hot Water:
The applicant must install the following hot water system or higher, a Gas instantaneous hot water system with as performance of 5.5 stars



Project North

DRAWING TITLE :

PROPOSED ROOF PLAN

DRAWING NO:

DA 6

CLIENT:

MR JACOB HIMO

PROJECT NAME :

PROPOSED ALTERATIONS + ADDITIONS
42 MACMILLAN STREET
LOT 7, DP 6210
SEAFORTH NSW 2092

Checked By: Arianna Rosnell

Plot Date: 29/8/2022

Project No. 220805 DA42

Project Status DA SUBMISSION

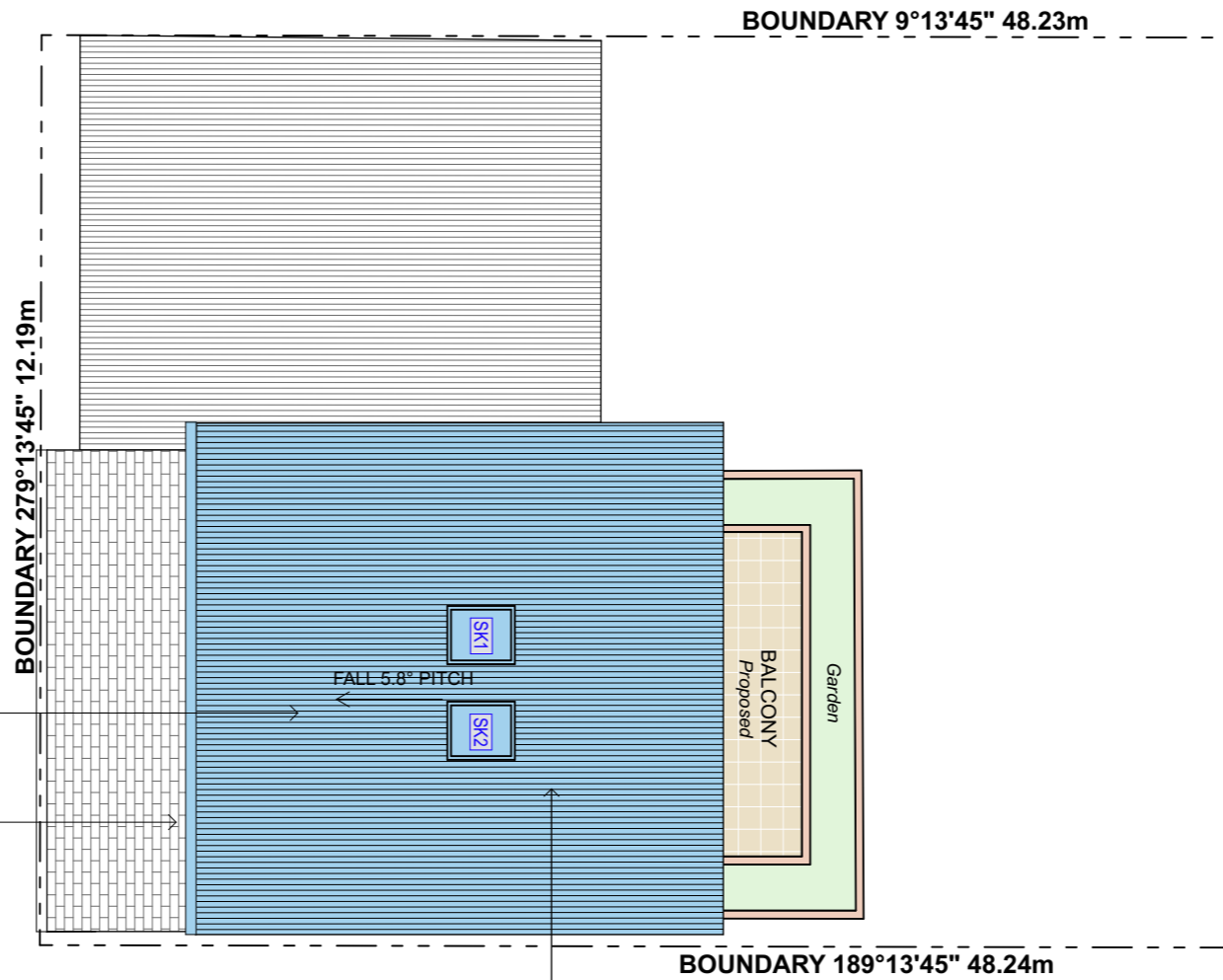
DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.



Selected colorbond roof sheet on timber framed construction to engineers details

Selected gutters and downpipes to match existing

Selected aluminium framed fixed skylights to new roof structure



HERMOSA
Design
BEAUTY IS IN THE DETAIL

PREPARED BY ARIANNA ROSNELL
136 Owen Stanley Avenue, Allambie Heights
NSW 2100
Mobile: 0400 598 382
Email: Arianna.rosnell@outlook.com
ABN:30 894 082 124

BASIX INFORMATION REQUIREMENTS:
LIGHTING: A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D lamps
WATER COMMITMENTS: Landscape: The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site. All new shower heads, toilets and taps shall have a minimum 4 star rating
Fixtures: a rainwater tank is to be installed with a minimum of 2000L rainwater is to be collected from at least 59.38m² of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank
Alternative Water:
INSULATION REQUIREMENTS: External walls: The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction.
Concrete Slab: Nil
Floor Framed: Nil
Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up).
Roof: The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).
WINDOWS & GLAZED DOORS: All window and door numbers shown on the window and door schedule correspond to matching window/ door numbers shown in the Basix certificate.
Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.
Shading devices: Shading devices shall be installed in accordance with the Basix certificate.
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate.
ENERGY COMMITMENTS: Hot Water: The applicant must install the following hot water

DRAWING TITLE :
SECTIONS

DRAWING NO:
DA 7

CLIENT:
MR JACOB HIMO
PROJECT NAME :
PROPOSED ALTERATIONS + ADDITIONS
42 MACMILLAN STREET
LOT 7, DP 6210
SEAFORTH NSW 2092

Checked By: Arianna Rosnell
Plot Date: 29/8/2022
Project No. 220805 DA42
Project Status DA SUBMISSION

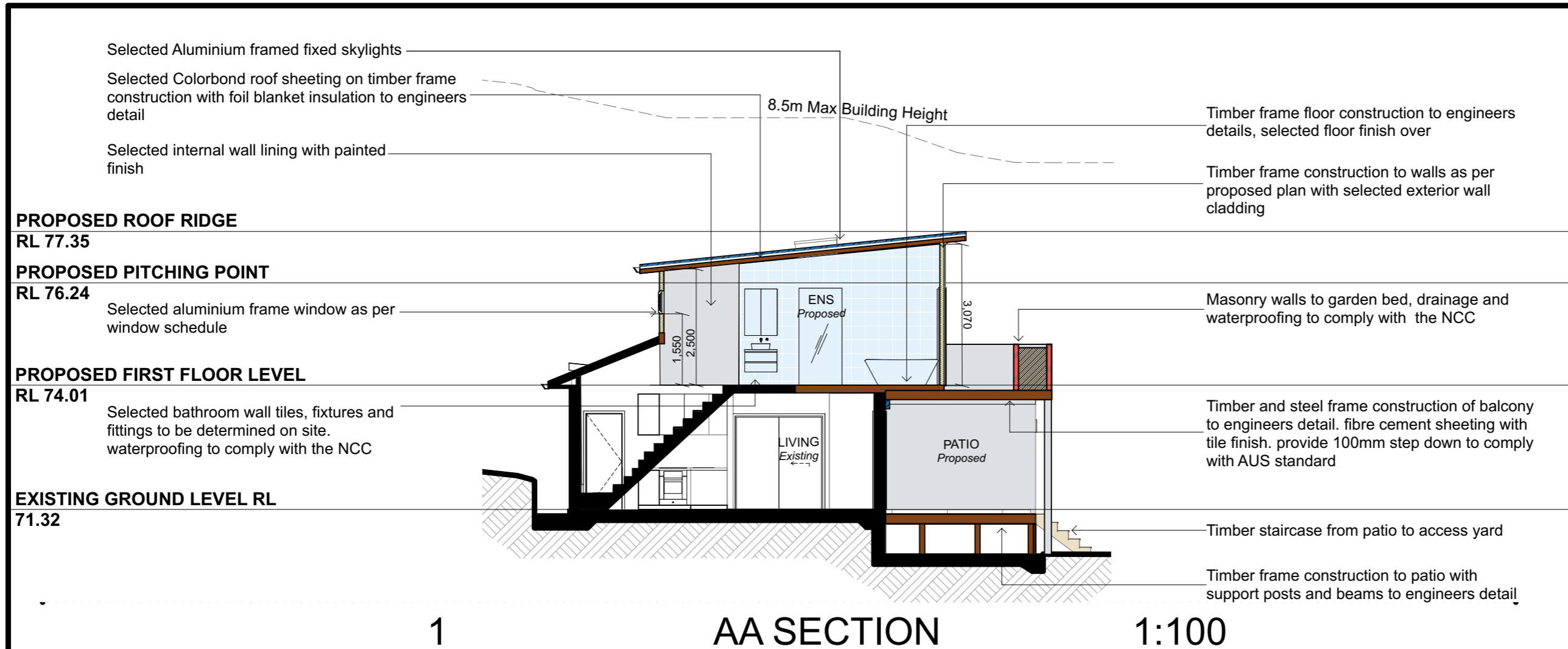
DA APPLICATION ONLY

NOT FOR CONSTRUCTION

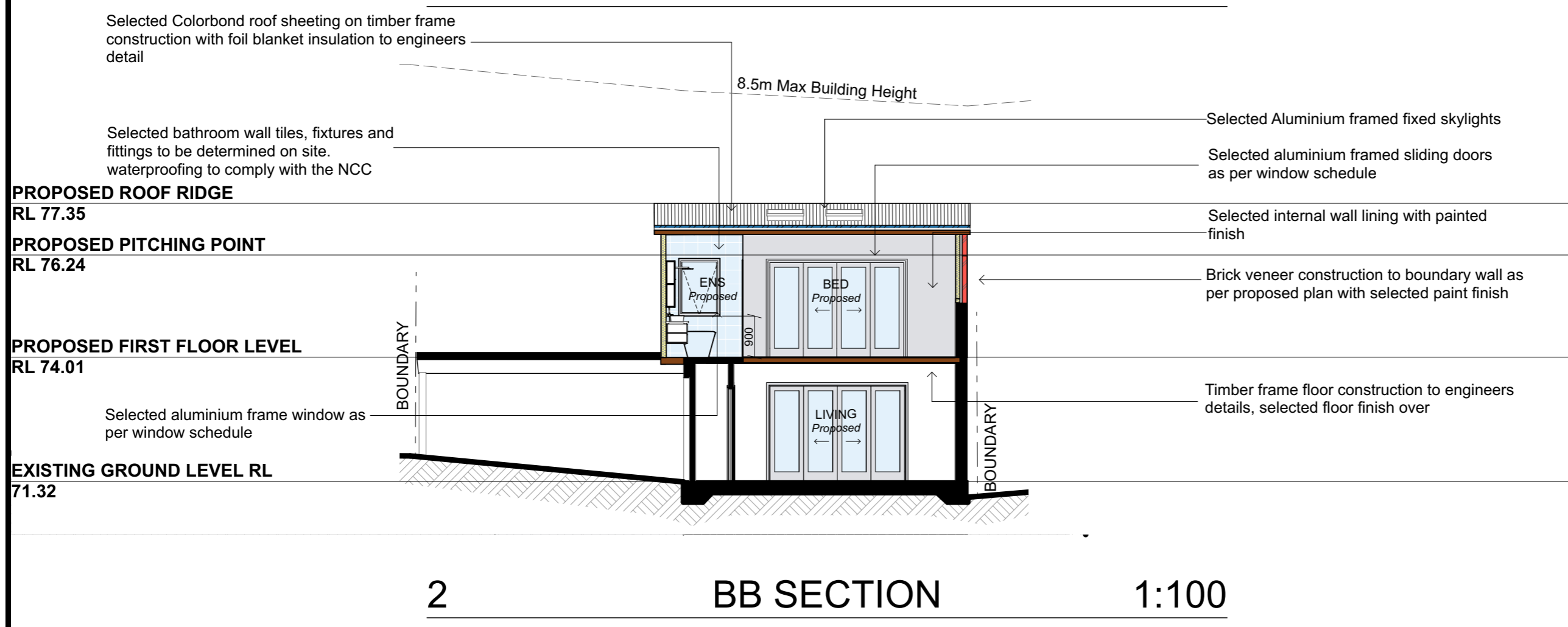
NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

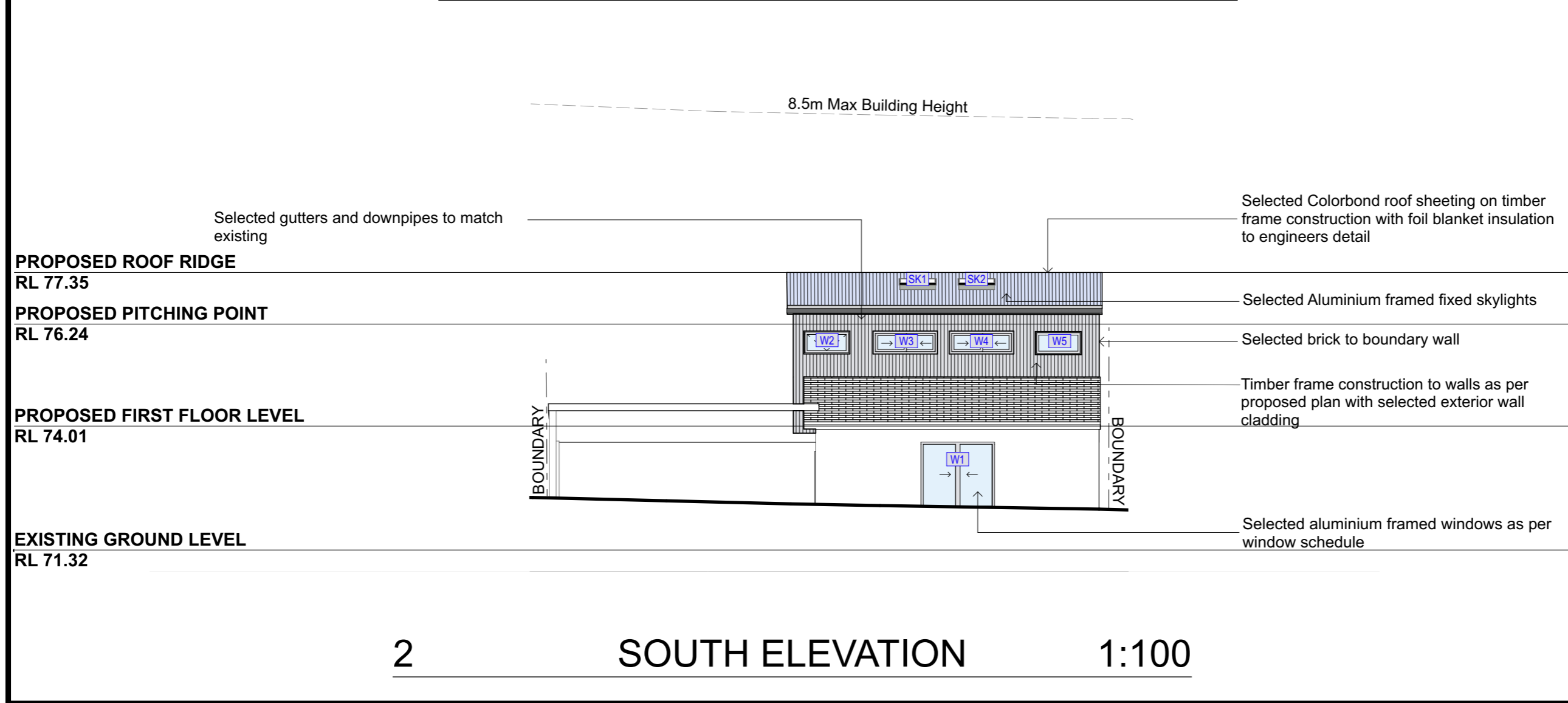
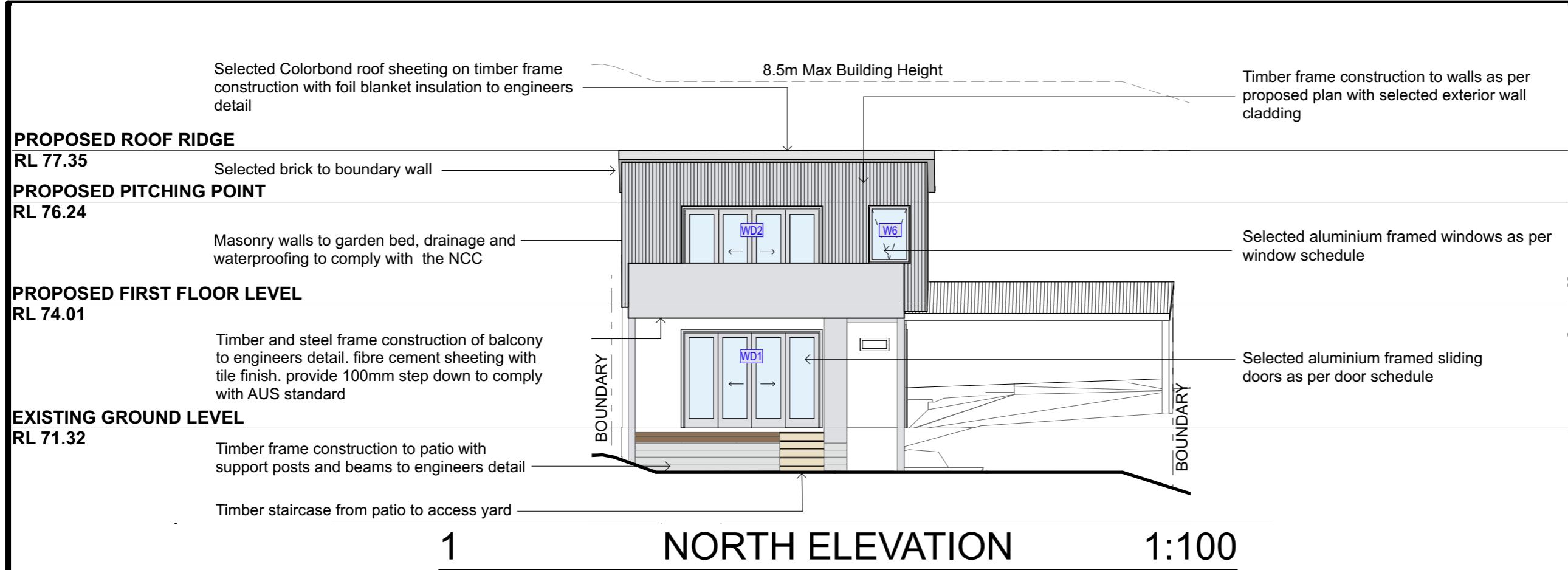
All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.




1 AA SECTION 1:100



2 BB SECTION 1:100





HERMOSA
Design
BEAUTY IS IN THE DETAIL

PREPARED BY ARIANNA ROSNELL
136 Owen Stanley Avenue, Allambie Heights
NSW 2100
Mobile: 0400 598 382
Email: Arianna.rosnell@outlook.com
ABN:30 894 082 124

BASIX INFORMATION REQUIREMENTS:

LIGHTING:
A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D lamps

WATER COMMITMENTS:
Landscape: The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.
Fixtures: All new shower heads, toilets and taps shall have a minimum 4 star rating
Alternative Water: a rainwater tank is to be installed with a minimum of 2000L. rainwater is to be collected from at least 59.38m² of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank

INSULATION REQUIREMENTS:
External walls: The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction.
Concrete Slab: Nil
Floor Framed: Nil
Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up).
Roof: The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window/ door numbers shown in the Basix certificate.

Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.
Shading devices: Shading devices shall be installed in accordance with the Basix certificate.
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate.

ENERGY COMMITMENTS:
Hot Water: The applicant must install the following hot water

DRAWING TITLE :
NORTH + SOUTH ELEVATION

DRAWING NO:
DA 8

CLIENT:
MR JACOB HIMO

PROJECT NAME :
PROPOSED ALTERATIONS + ADDITIONS
42 MACMILLAN STREET
LOT 7, DP 6210
SEAFORTH NSW 2092

Checked By: Arianna Rosnell
Plot Date: 29/8/2022
Project No. 220805 DA42
Project Status DA SUBMISSION

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

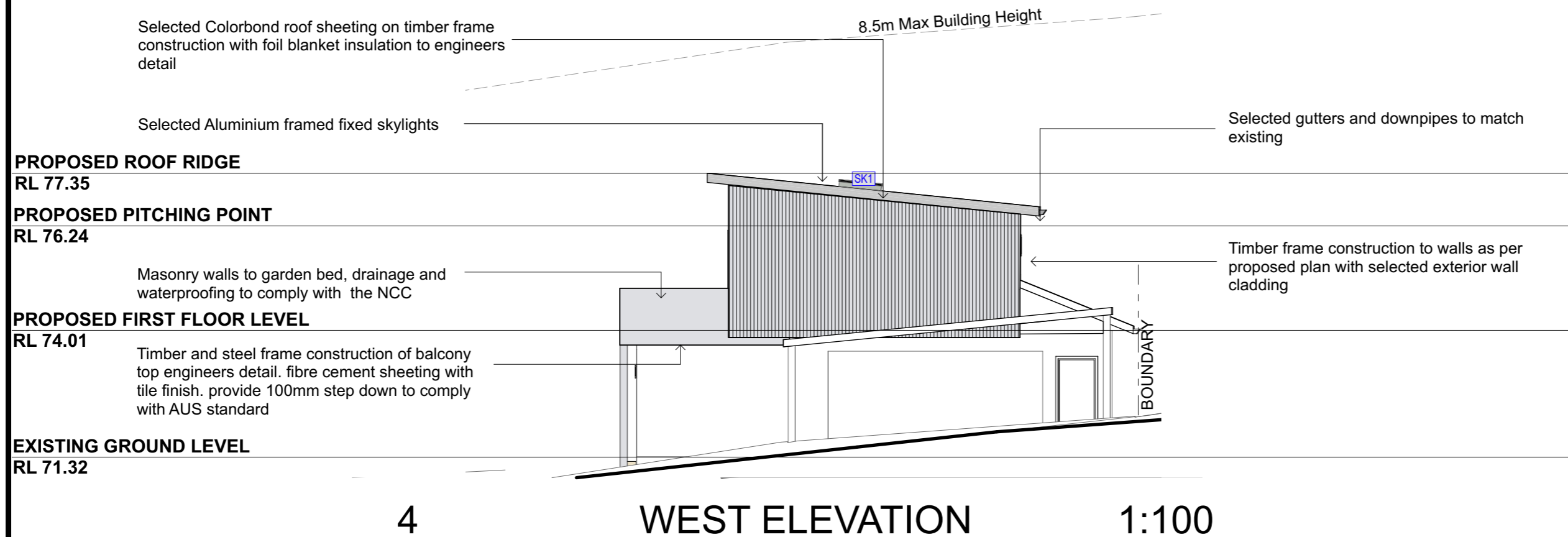
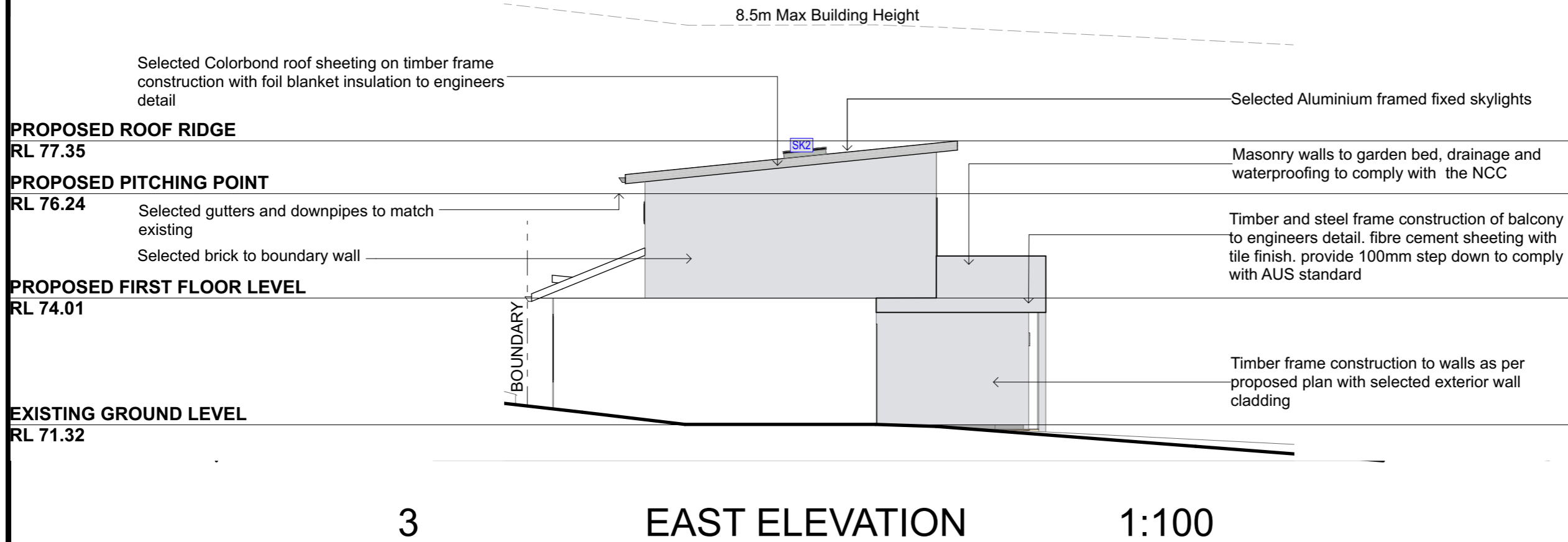
All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.



HERMOSA
Design
BEAUTY IS IN THE DETAIL

PREPARED BY ARIANNA ROSNELL
136 Owen Stanley Avenue, Allambie Heights
NSW 2100
Mobile: 0400 598 382
Email: Arianna.rosnell@outlook.com
ABN:30 894 082 124

BASIX INFORMATION REQUIREMENTS:
LIGHTING: A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D lamps
WATER COMMITMENTS:
Landscape: The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.
Fixtures: All new shower heads, toilets and taps shall have a minimum 4 star rating
Alternative Water: a rainwater tank is to be installed with a minimum of 2000L. rainwater is to be collected from at least 59.38m² of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank
INSULATION REQUIREMENTS:
External walls: The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction.
Concrete Slab: Nil
Floor Framed: Nil
Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up).
Roof: The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).
WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window/ door numbers shown in the Basix certificate.
Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.
Shading devices: Shading devices shall be installed in accordance with the Basix certificate.
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate.
ENERGY COMMITMENTS:
Hot Water: The applicant must install the following hot water



DRAWING TITLE :
EAST + WEST ELEVATION

DRAWING NO:
DA 9

CLIENT:
MR JACOB HIMO

PROJECT NAME :
PROPOSED ALTERATIONS + ADDITIONS
42 MACMILLAN STREET
LOT 7, DP 6210
SEAFORTH NSW 2092

Checked By: Arianna Rosnell
Plot Date: 29/8/2022
Project No. 220805 DA42
Project Status DA SUBMISSION

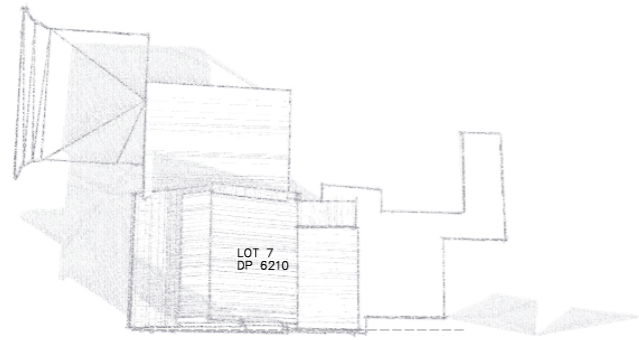
DA APPLICATION ONLY

NOT FOR CONSTRUCTION

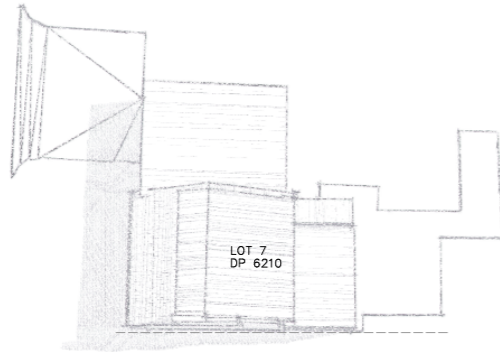
NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

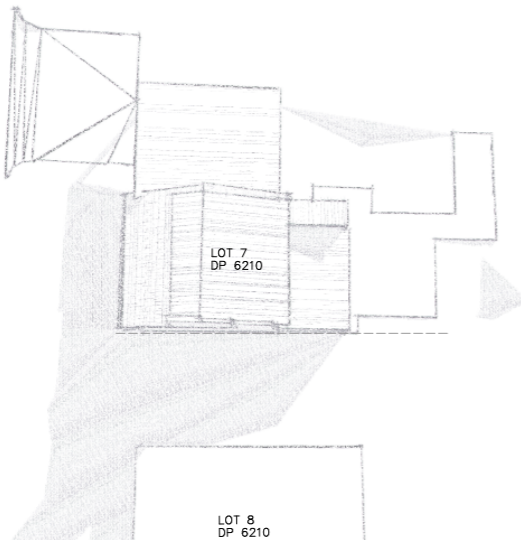
All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.



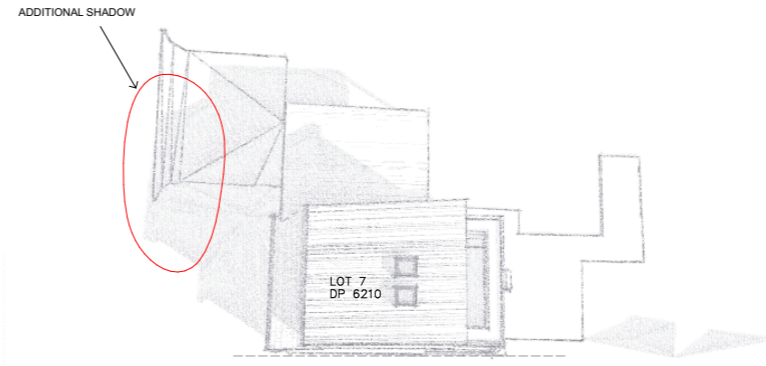
LOT 8
DP 6210
**21ST JUNE EXISTING
SHADOW- 9AM**



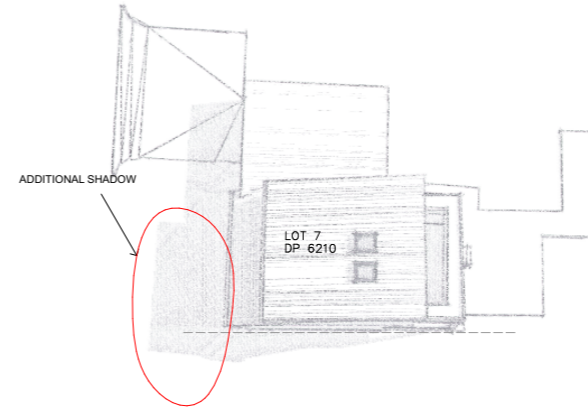
LOT 8
DP 6210
**21ST JUNE EXISTING
SHADOW- 12PM**



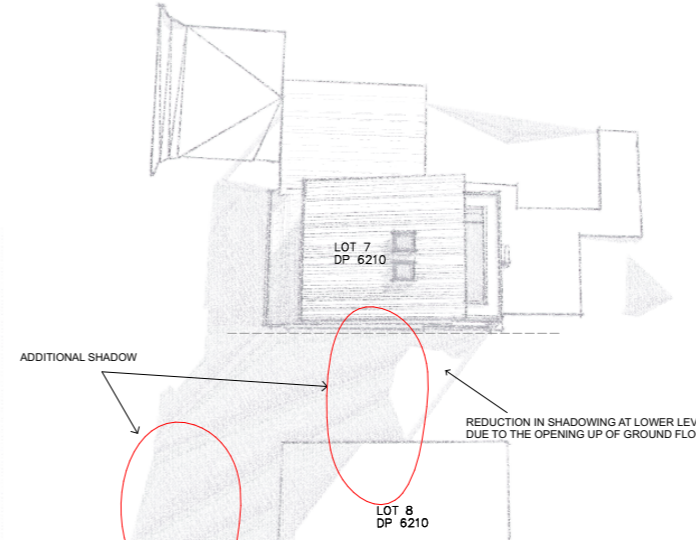
LOT 8
DP 6210
**21ST JUNE EXISTING
SHADOW- 3PM**



LOT 8
DP 6210
**21ST JUNE PROPOSED
SHADOW- 9AM**



LOT 8
DP 6210
**21ST JUNE PROPOSED
SHADOW- 12PM**



LOT 8
DP 6210
**21ST JUNE PROPOSED
SHADOW- 3PM**



HERMOSA
Design
BEAUTY IS IN THE DETAIL

PREPARED BY ARIANNA ROSNELL
136 Owen Stanley Avenue, Allambie Heights
NSW 2100
Mobile: 0400 598 382
Email: Arianna.rosnell@outlook.com
ABN:30 894 082 124

BASIX INFORMATION REQUIREMENTS:
LIGHTING: A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D lamps
WATER COMMITMENTS: The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site. All new shower heads, toilets and taps shall have a minimum 4 star rating
Alternative Water: a rainwater tank is to be installed with a minimum of 2000L. rainwater is to be collected from at least 59.38m² of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank
INSULATION REQUIREMENTS: External walls: The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction.
Concrete Slab: Nil
Floor Framed: Nil
Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up).
Roof: The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).
WINDOWS & GLAZED DOORS: All window and door numbers shown on the window and door schedule correspond to matching window/ door numbers shown in the Basix certificate.
Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.
Shading devices: Shading devices shall be installed in accordance with the Basix certificate.
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate.
ENERGY COMMITMENTS: Hot Water: The applicant must install the following hot water

DRAWING TITLE :
SHADOW DIAGRAMS

DRAWING NO:
DA 10

CLIENT:
MR JACOB HIMO
PROJECT NAME :
PROPOSED ALTERATIONS +
ADDITIONS
42 MACMILLAN STREET
LOT 7, DP 6210
SEAFORTH NSW 2092

Checked By: Arianna Rosnell
Plot Date: 29/8/2022
Project No. 220805 DA42
Project Status DA SUBMISSION

**DA APPLICATION
ONLY**

NOT FOR CONSTRUCTION

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.