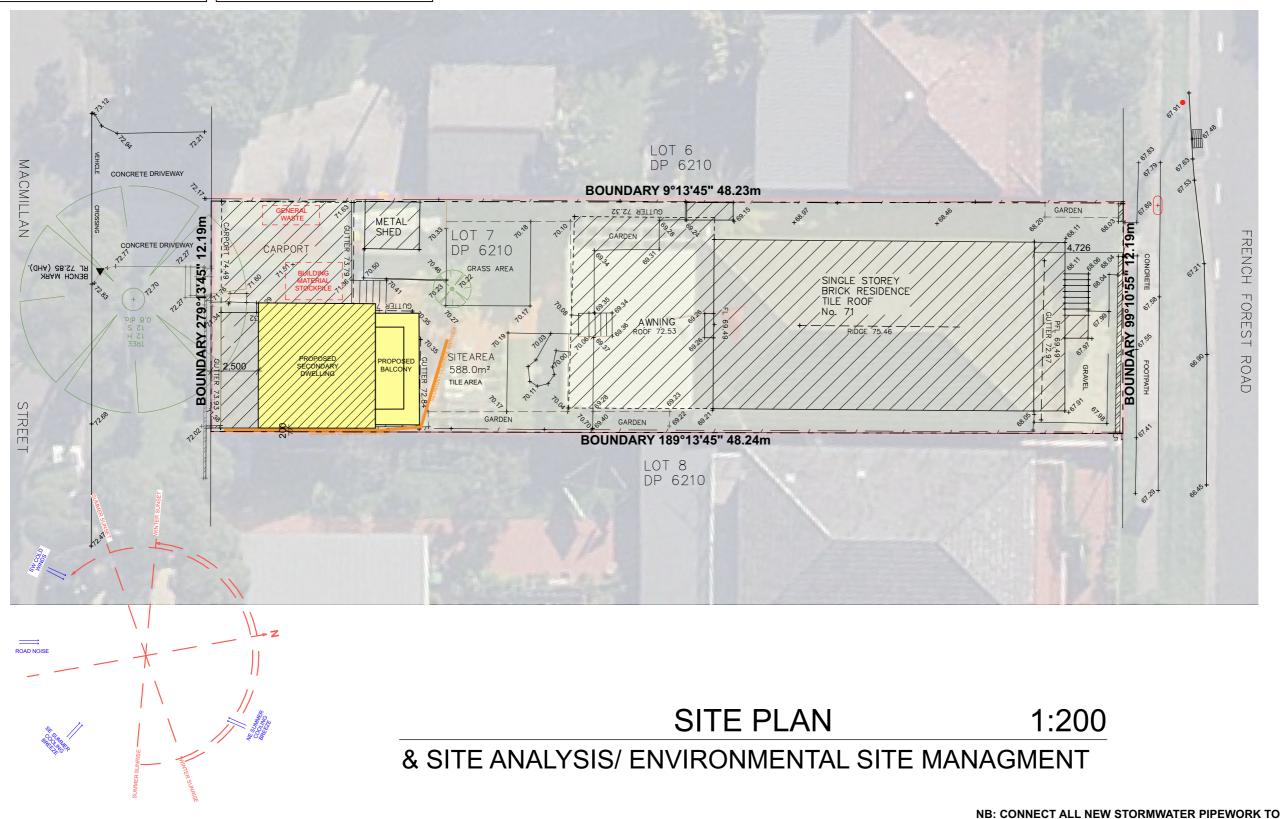
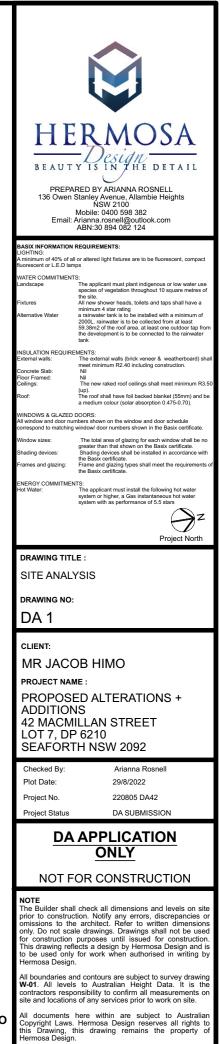
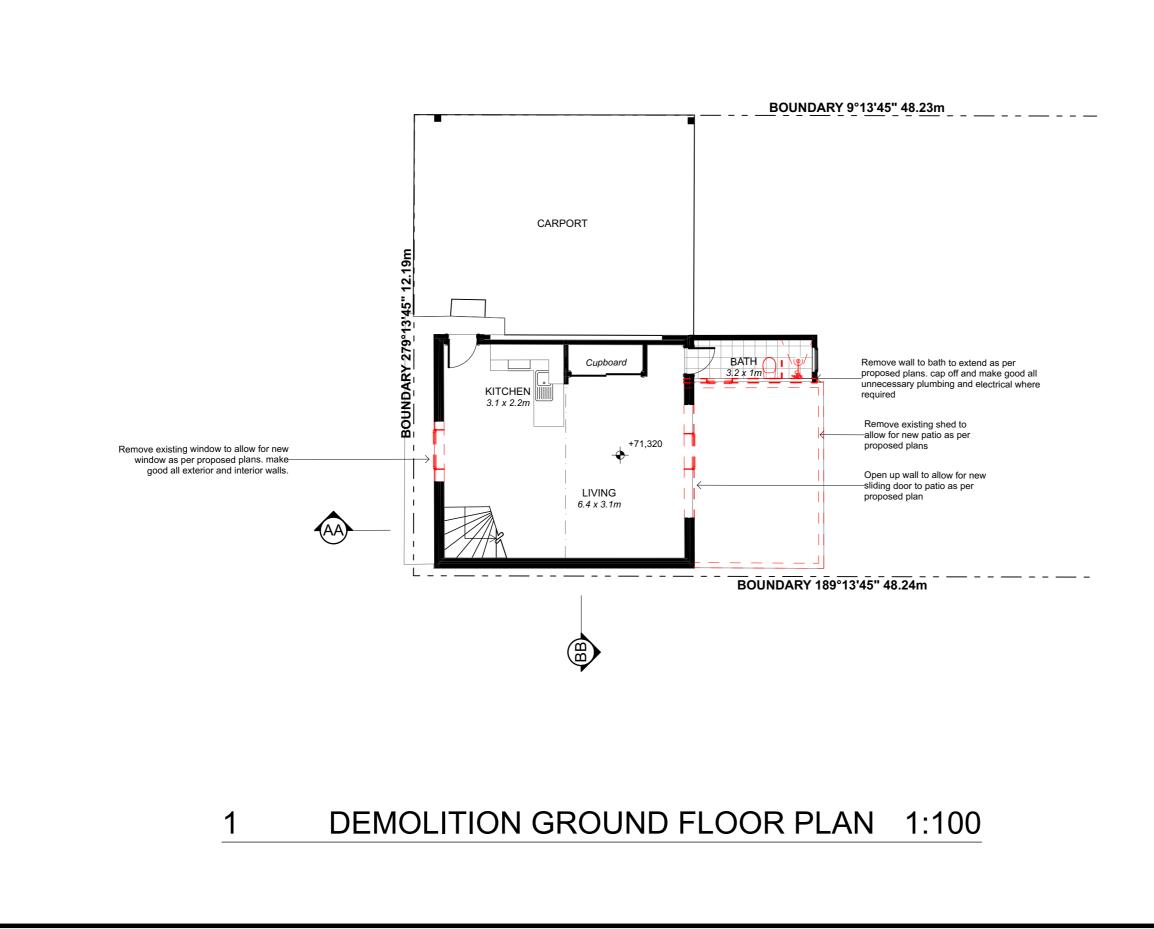
Site Calculations m2- Exis	sting	Site Calculations m2- Proposed (unchanged)
Site Area	588.0m2	Site Area	588.0m2
<u>Total Open Space >3m wide</u> Proposed (30.26%)	177.95m2	Total Open Space >3m wide Proposed (30.26%)	177.95m2
Required (60% of site area)	352.8m2	Required (60% of site area)	352.8m2
Total Landscaped Area Proposed (11.42%)	40.29m2	<u>Total Landscaped Area</u> Proposed (11.42%)	40.29m2
Required (40% of total open space)	141.12m2	Required (40% of total open space)	141.12m2
Private OpenSpace Proposed (30.26%)	177.95m2	Private OpenSpace Proposed (30.26%)	177.95m2
Required (12m2 per Dwelling)	24m2	Required (12m2 per Dwelling)	24m2

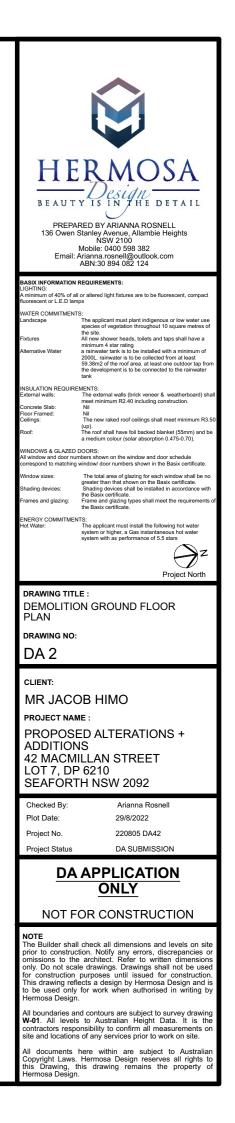


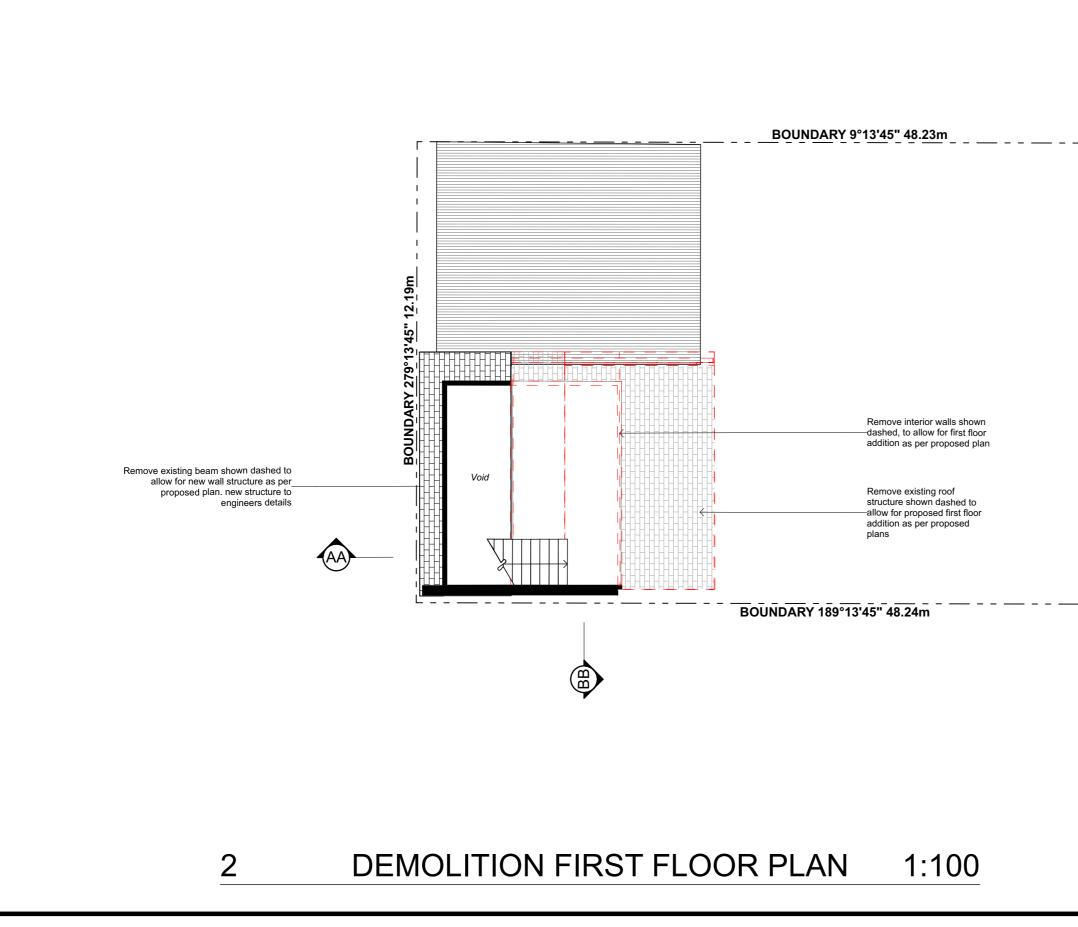
EXISTING SYSTEM ALONG SOUTH BOUNDARY

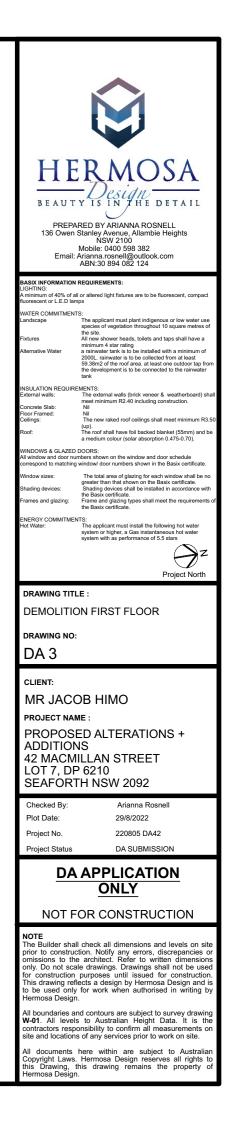


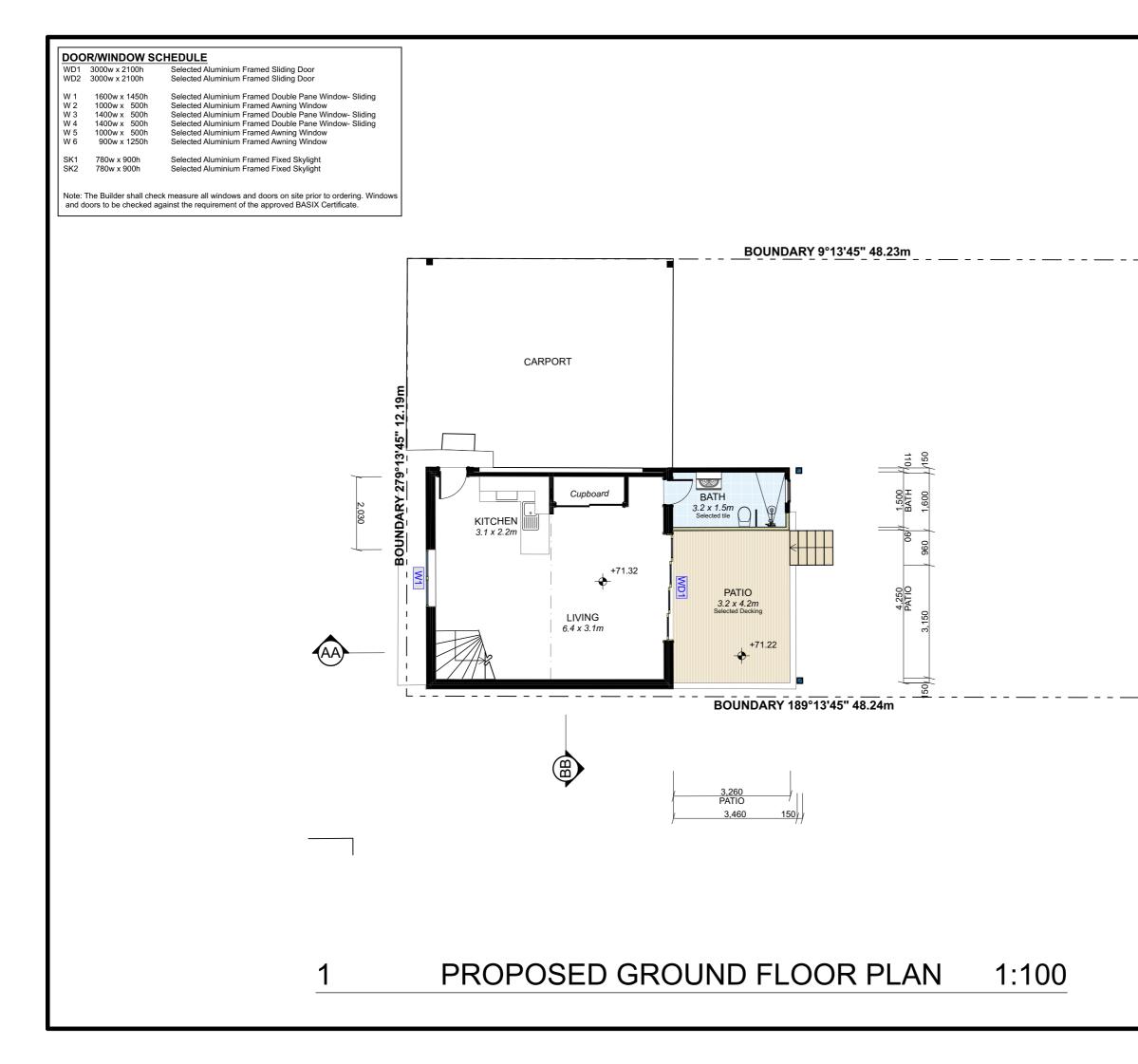


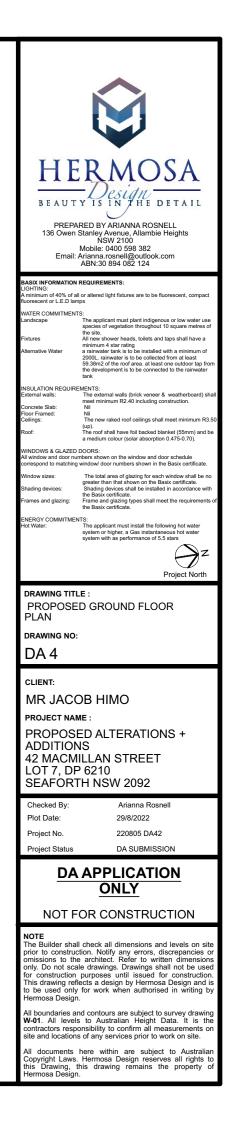


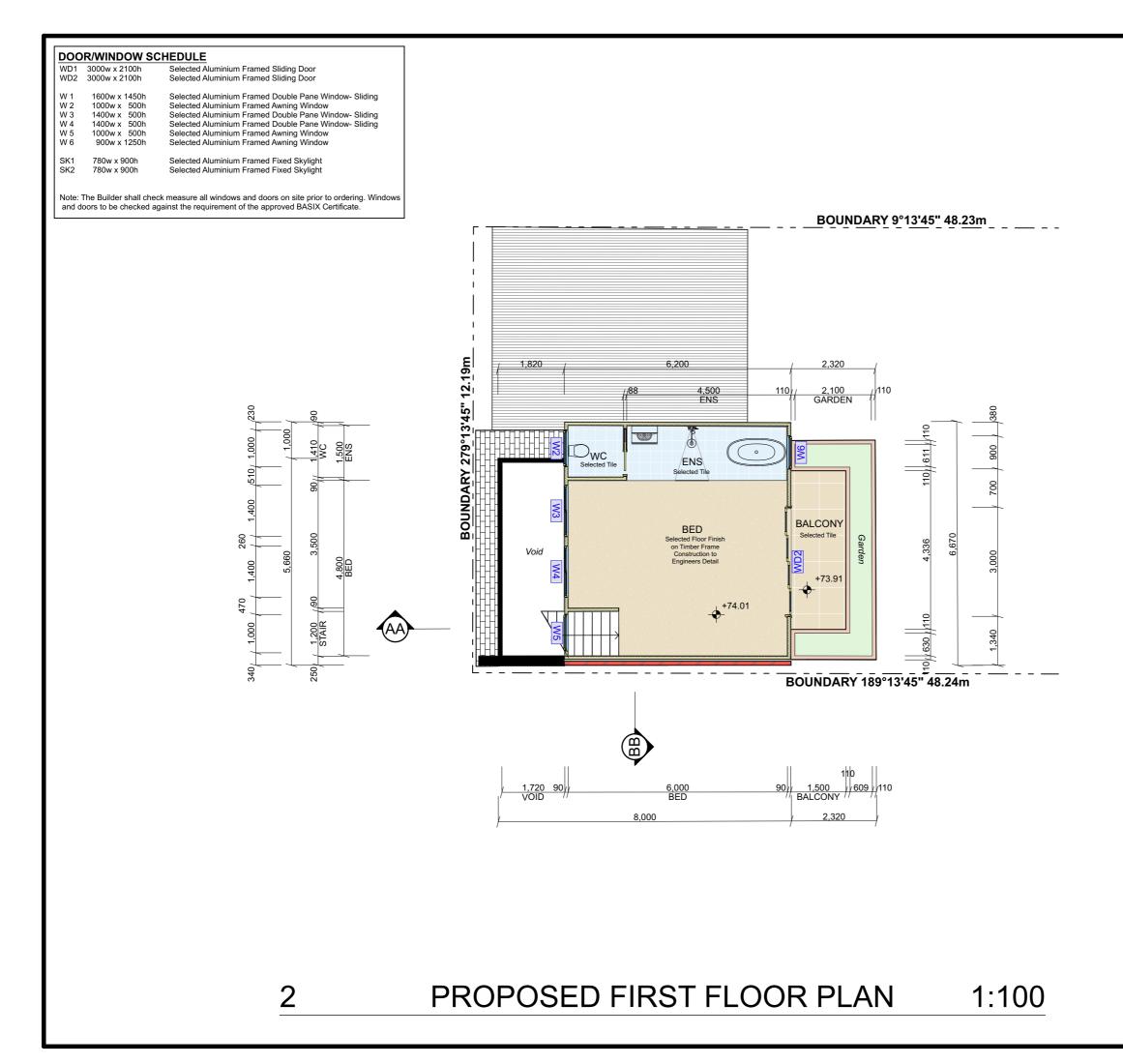


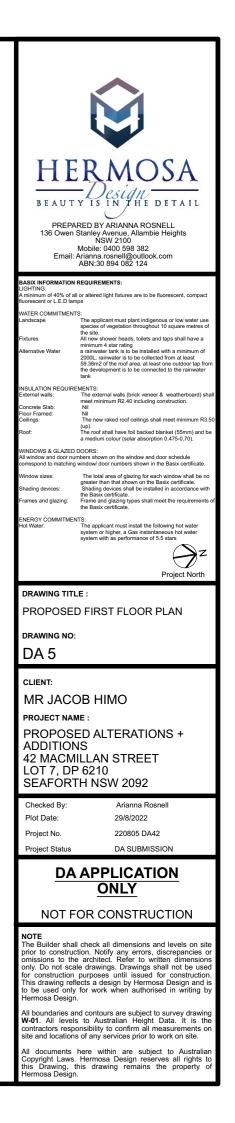


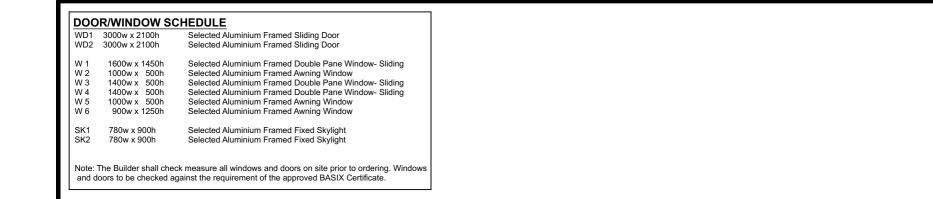


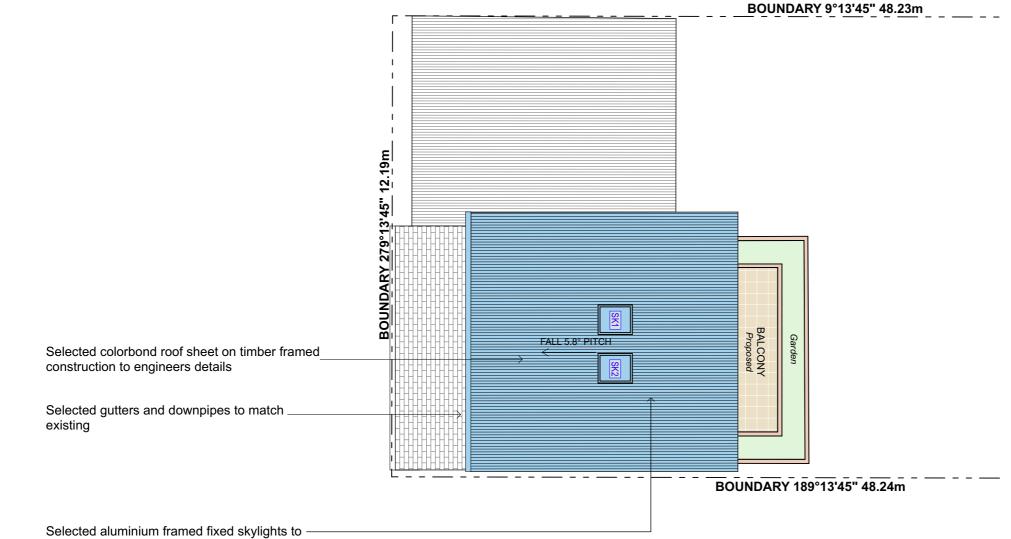










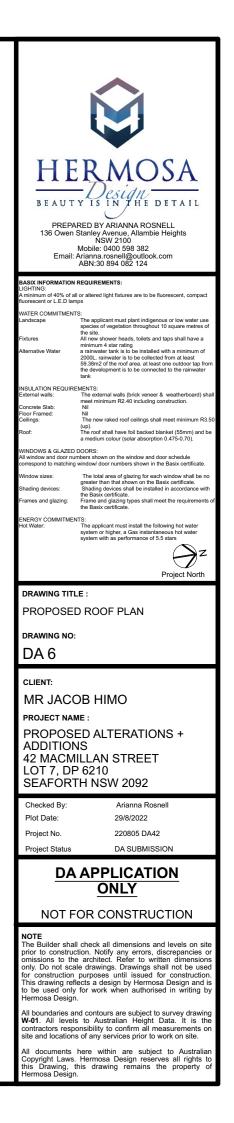


new roof structure

3

PROPOSED ROOF PLAN

1:100



RL 74.01	Selected aluminium frame window as per window schedule	LIVING Proposed t	
RL 74.01 EXISTING	per window schedule		Timber frame floor construct details, selected floor finish
	Z		Timber from the second
	ED FIRST FLOUR LEVEL \triangleleft		
		Proposed Proposed →	per proposed plan with sele
RL 76.24			Brick veneer construction to
	ED PITCHING POINT		finish
PROPOS RL 77.35	ED ROOF RIDGE		Selected internal wall lining
	Selected bathroom wall tiles, fixtures and fittings to be determined on site. waterproofing to comply with the NCC		Selected aluminium framed as per window schedule
	Selected bethroom well tiles firtures and	8.5m Max Building Height	Selected Aluminium framed
	Selected Colorbond roof sheeting on timber frame construction with foil blanket insulation to engineers detail		
	Selected Colorband roof chapting on timber frame	AA SECTION	1:100
• • • • •			Timber frame construction support posts and beams to
71.32			Timber staircase from patio
	G GROUND LEVEL RL		
	fittings to be determined on site. waterproofing to comply with the NCC	LIVING PATIO Existing Proposed	to engineers detail. fibre ce tile finish. provide 100mm s with AUS standard
RL 74.01	Selected bathroom wall tiles, fixtures and		Timber and steel frame cor
PROPOS	ED FIRST FLOOR LEVEL		
RL 76.24	Selected aluminium frame window as per window schedule	Proposed	Masonry walls to garden be waterproofing to comply wi
PROPOS	ED PITCHING POINT		
PROPOS RL 77.35	SED ROOF RIDGE		
	Selected internal wall lining with painted		Timber frame construction proposed plan with selecter cladding
	detail	8.5m Max Building Height	Timber frame floor construct details, selected floor finish
	construction with foil blanket insulation to engineers	9 Em 14	
	Selected Colorbond roof sheeting on timber frame		

ction to engineers		
to walls as per d exterior wall	HERMOSA BEAUTY IS IN THE DETAIL PREPARED BY ARIANNA ROSNELL	
	136 Owen Stanley Avenue, Allambie Heights NSW 2100 Mobile: 0400 598 382 Email: Arianna.rosnell@outlook.com ABN:30 894 082 124	
ed, drainage and th the NCC	BASIX INFORMATION REQUIREMENTS: LICHTING: A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or LE D lamps WATER COMMITMENTS: Landscape The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site. Fixtures All new shower heads, toilets and taps shall have a minimum 4 star rating Internative Water a rating	
nstruction of balcony ement sheeting with step down to comply	2000L. rainwater is to be collected from at least 59.38m2 of the roof area. at least no outdoor tap from the development is to be connected to the rainwater tank INSULATION REQUIREMENTS: External walls: The external walls (brick veneer & weatherboard) shall meet trainimum R2.40 including construction. Concrete Slab: Ni Floor Framed: Ni Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up). Roof: The roof shall have foil backed blanket (S5mm) and be a medium colour (solar absorption 0.475-0.70).	
o to access yard to patio with o engineers detai <u>l</u>	WINDOWS & GLAZED DOORS: All window and door numbers shown on the window and door schedule correspond to matching window door numbers shown in the Basix certificate. Window sizes: The total area of glazing for each window shall be no groater than that shown on the Basix certificate. Shading devices: Shading devices shall be installed in accordance with Frames and glazing: Frames and glazing to prove shall be installed in accordance with the Basix certificate. ENERGY COMMITMENTS: Hot Water: The applicant must install the following hot water	
d fixed skylights	DRAWING TITLE : SECTIONS DRAWING NO: DA 7 CLIENT:	
d sliding doors g with painted	MR JACOB HIMO PROJECT NAME : PROPOSED ALTERATIONS + ADDITIONS	
o boundary wall as	42 MACMILLAN STREET LOT 7, DP 6210 SEAFORTH NSW 2092	
ected paint finish	Checked By: Arianna Rosnell Plot Date: 29/8/2022 Project No. 220805 DA42 Project Status DA SUBMISSION	
ected paint finish	Plot Date: 29/8/2022 Project No. 220805 DA42	
ction to engineers	Plot Date: 29/8/2022 Project No. 220805 DA42 Project Status DA SUBMISSION DA APPLICATION	
ction to engineers	Plot Date: 29/8/2022 Project No. 220805 DA42 Project Status DA SUBMISSION DA APPLICATION ONLY NOT FOR CONSTRUCTION NOTE The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by	

PROPOSED ROOF RID	Selected Colorbond roof sheeting on timber frame construction with foil blanket insulation to engineers detail	8.5m Max Building Height	Timber frame construction to walls as per proposed plan with selected exterior wall cladding	
RL 77.35	Selected brick to boundary wall	\rightarrow		HERMOSA
PROPOSED PITCHING RL 76.24	POINT			- BEAUTY IS IN THE DETAIL
	Masonry walls to garden bed, drainage and ———— waterproofing to comply with the NCC	$ \begin{array}{c} & & & & \\ & & & & \\ & & & & \\ & & & \\ & & & & & \\ & & & & \\ & & & & \\ & & & & & \\ & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & $	Selected aluminium framed windows as per window schedule	PREPARED BY ARIANNA ROSNELL 136 Owen Stanley Avenue, Allambie Heights NSW 2100 Mobile: 0400 598 382 Email: Arianna.rosnell@outlook.com ABN:30 894 082 124
PROPOSED FIRST FLC RL 74.01	DOR LEVEL			BASIX INFORMATION REQUIREMENTS: LIGHTING: A minimum of 40% of all or altered light fixtures are to be fluorescent, compact
	Timber and steel frame construction of balcony to engineers detail. fibre cement sheeting with tile finish. provide 100mm step down to comply with AUS standard		Selected aluminium framed sliding doors as per door schedule	fluorescent or LE D lamps VMTER COMMITMENTS: Landscape Fixtures All new shower heads, tollets and taps shall have a minimum 4 star afting Alternative Water a rainwater tank is to be collected from at least for a rainwater tank is to be collected from at least for a rainwater tank is to be connected from at least for a rainwater tank is to be connected from at least for a rainwater tank is to be connected from at least for a rainwater tank is to be connected from at least for a rainwater tank is to be connected from at least for a rainwater tank is to be connected from at least for a rainwater tank is to be connected to the rainwater for tank
EXISTING GROUND LE RL 71.32	Timber frame construction to patio with			INSULATION REQUIREMENTS: External walls: The external walls (brick veneer & weatherboard) shall meet minimum R2.40 including construction.
	support posts and beams to engineers detail			Concrete Slab: Nil Floor Framed: Nil Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up). The nori shall have foil backed blanket (55mm) and be
	Timber staircase from patio to access yard —			a medium colour (solar absorption 0.475-0.70). WINDOWS & GLAZED DOORS: All window and door numbers shown on the window and door schedule
-	1	NORTH ELEVATION	1:100	correspond to matching window/ door numbers shown in the Basix certificate. Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate. Shading devices shall be installed in accordance with
	<u> </u>	NORTH LEEVATION	1.100	the Basix certificate. Frame and glazing: Frame and glazing types shall meet the requirements of the Basix certificate. ENERGY COMMITMENTS:
		8.5m Max Building Height	~	DRAWING TITLE : NORTH + SOUTH ELEVATION
	Selected gutters and downpipes to match		Selected Colorbond roof sheeting on timber frame construction with foil blanket insulation	DA 8
	existing		to engineers detail	MR JACOB HIMO
PROPOSED ROOF RID RL 77.35)GE			PROJECT NAME : PROPOSED ALTERATIONS +
PROPOSED PITCHING				ADDITIONS 42 MACMILLAN STREET
RL 76.24			Selected brick to boundary wall	 LOT 7, DP 6210 SEAFORTH NSW 2092
PROPOSED FIRST FLO			Timber frame construction to walls as per proposed plan with selected exterior wall cladding	Checked By:Arianna RosnellPlot Date:29/8/2022Project No.220805 DA42Project StatusDA SUBMISSION
RL 74.01	BOUNDA			DA APPLICATION ONLY NOT FOR CONSTRUCTION
EXISTING GROUND LE	EVEL		Selected aluminium framed windows as per window schedule	NOTE The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or
RL 71.32				 omissions to the archited. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design.
	2	SOUTH ELEVATION 1:	100	All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site. All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to
				this Drawing, this drawing remains the property of Hermosa Design.

1	8.5m Max Building Height	
	Selected Colorbond roof sheeting on timber frame construction with foil blanket insulation to engineers detail	Selected Aluminium framed
PROPOSED RL 77.35	ROOF RIDGE	Macana wells to gordon be
		Masonry walls to garden be waterproofing to comply wit
RL 76.24	PITCHING POINT	
	Selected gutters and downpipes to match	Timber and steel frame con- to engineers detail. fibre cer tile finish. provide 100mm st
	FIRST FLOOR LEVEL	with AUS standard
RL 74.01		
		Timber frame construction t proposed plan with selected cladding
EXISTING GI RL 71.32	ROUND LEVEL	
NE / 1.92		
	3 EAST ELEVATION 1:	100
	Selected Colorbond roof sheeting on timber frame construction with foil blanket insulation to engineers detail	-
	construction with foil blanket insulation to engineers	Selected gutters and downp
PROPOSED	construction with foil blanket insulation to engineers detail Selected Aluminium framed fixed skylights DROOF RIDGE	Selected gutters and downp existing
PROPOSED RL 77.35	construction with foil blanket insulation to engineers detail Selected Aluminium framed fixed skylights	
RL 77.35 PROPOSED	construction with foil blanket insulation to engineers detail Selected Aluminium framed fixed skylights DROOF RIDGE	
RL 77.35	construction with foil blanket insulation to engineers detail Selected Aluminium framed fixed skylights D ROOF RIDGE D PITCHING POINT Masonry walls to garden bed, drainage and	Timber frame construction to proposed plan with selected
RL 77.35 PROPOSED RL 76.24	construction with foil blanket insulation to engineers detail Selected Aluminium framed fixed skylights D ROOF RIDGE D PITCHING POINT Masonry walls to garden bed, drainage and waterproofing to comply with the NCC	
RL 77.35 PROPOSED RL 76.24 PROPOSED	construction with foil blanket insulation to engineers detail Selected Aluminium framed fixed skylights D ROOF RIDGE D PITCHING POINT Masonry walls to garden bed, drainage and waterproofing to comply with the NCC D FIRST FLOOR LEVEL	Timber frame construction to proposed plan with selected
RL 77.35 PROPOSED RL 76.24 PROPOSED RL 74.01	construction with foil blanket insulation to engineers detail Selected Aluminium framed fixed skylights D ROOF RIDGE D PITCHING POINT Masonry walls to garden bed, drainage and waterproofing to comply with the NCC D FIRST FLOOR LEVEL Timber and steel frame construction of balcony top engineers detail. fibre cement sheeting with tile finish. provide 100mm step down to comply with AUS standard	Timber frame construction to proposed plan with selected
RL 77.35 PROPOSED RL 76.24 PROPOSED RL 74.01 EXISTING G	construction with foil blanket insulation to engineers detail Selected Aluminium framed fixed skylights D ROOF RIDGE D PITCHING POINT Masonry walls to garden bed, drainage and waterproofing to comply with the NCC D FIRST FLOOR LEVEL Timber and steel frame construction of balcony top engineers detail. fibre cement sheeting with tile finish. provide 100mm step down to comply	Timber frame construction to proposed plan with selected
RL 77.35 PROPOSED RL 76.24 PROPOSED RL 74.01	construction with foil blanket insulation to engineers detail Selected Aluminium framed fixed skylights D ROOF RIDGE D PITCHING POINT Masonry walls to garden bed, drainage and waterproofing to comply with the NCC D FIRST FLOOR LEVEL Timber and steel frame construction of balcony top engineers detail. fibre cement sheeting with tile finish. provide 100mm step down to comply with AUS standard	Timber frame construction to proposed plan with selected

d fixed skylights	HERMOSA Design Design	
ed, drainage and ith the NCC	PREPARED BY ARIANNA ROSNELL 136 Owen Stanley Avenue, Allambie Heights NSW 2100 Mobile: 0400 598 382 Email: Arianna.rosnell@outlook.com	
nstruction of balcony ement sheeting with step down to comply	ABN: 30 894 082 124 BASIX INFORMATION REQUIREMENTS: LIGHTING: A minimum of 40% of all or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D amps WATER COMMITMENTS: Landscape The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of Fixtures All new shower heads, toilets and taps shall have a	
to walls as per d exterior wall	minimum 4 star rating Alternative Water a railwater tank is to be installed with a minimum of 2000L. rainwater tank is to be collected from at least 59.38m/2 of the roof area. at least one outdoor tap from the development is to be connected to the rainwater tank INSULATION REQUIREMENTS: External walls: The external walls (brick veneer & weatherboard) shall meet truinimum R2.40 including construction. Concrete Slab: Ni Floor Framed: Ni Ceilings: The new raked roof ceilings shall meet minimum R3.50 (up). Roof: The roof shall have foil backed blanket (55mm) and be a medium colour (solar absorption 0.475-0.70).	
-	WINDOWS & GLAZED DOORS: All window and door numbers shown on the window and door schedule correspond to matching window door numbers shown in the Basix certificate. Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate. Shading devices: Shading devices shall be installed in accordance with the Basix certificate. Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate. ENERGY COMMITMENTS: The applicant must install the following hot water	
	DRAWING TITLE : EAST + WEST ELEVATION DRAWING NO: DA 9	
pipes to match	CLIENT: MR JACOB HIMO PROJECT NAME : PROPOSED ALTERATIONS + ADDITIONS 42 MACMILLAN STREET LOT 7, DP 6210 SEAFORTH NSW 2092	
to walls as per d exterior wall	Checked By:Arianna RosnellPlot Date:29/8/2022Project No.220805 DA42Project StatusDA SUBMISSION	
	DA APPLICATION ONLY	
	NOT FOR CONSTRUCTION NOTE The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Hermosa Design and is to be used only for work when authorised in writing by Hermosa Design. All boundaries and contours are subject to survey drawing W-01 . All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site. All documents here within are subject to Australian Copyright Laws. Hermosa Design reserves all rights to this Drawing, this drawing remains the property of Hermosa Design.	

