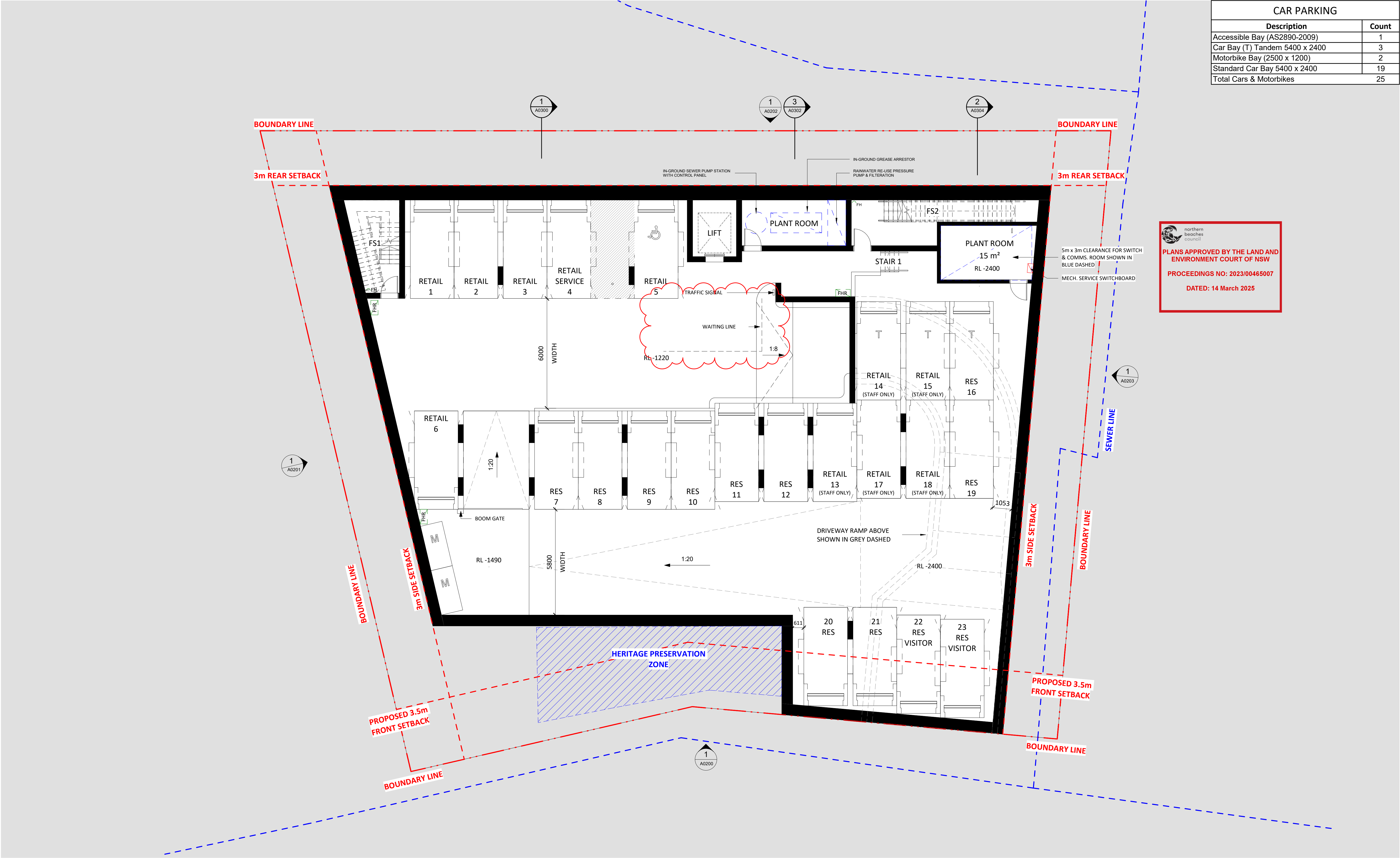


CAR PARKING	
Description	Count
Accessible Bay (AS2890-2009)	1
Car Bay (T) Tandem 5400 x 2400	3
Motorbike Bay (2500 x 1200)	2
Standard Car Bay 5400 x 2400	19
Total Cars & Motorbikes	25



PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2023/00465007
DATED: 14 March 2025



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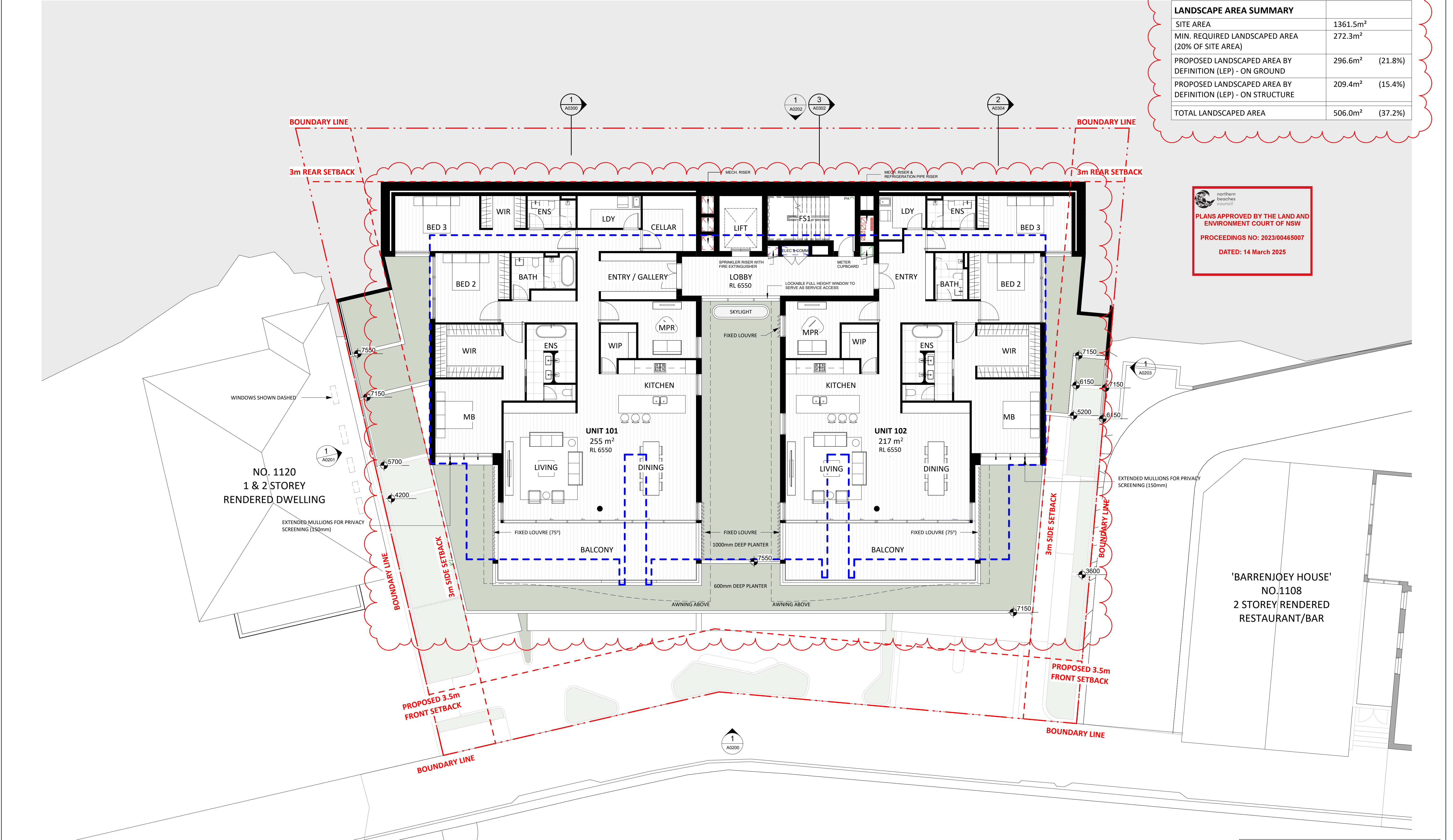
LANDSCAPE AREA SUMMARY			
SITE AREA	1361.5m ²		
MIN. REQUIRED LANDSCAPED AREA (20% OF SITE AREA)	272.3m ²		
PROPOSED LANDSCAPED AREA BY DEFINITION (LEP) - ON GROUND	296.6m ²	(21.8%)	
PROPOSED LANDSCAPED AREA BY DEFINITION (LEP) - ON STRUCTURE	209.4m ²	(15.4%)	
TOTAL LANDSCAPED AREA	506.0m ²	(37.2%)	



PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2023/00465007

DATED: 14 March 2025



LEGEND

SUBMITTED DA BUILDING OUTLINE

NO.					REVISION					KEY PLAN					NOTES:					OTHERS:					CLIENT					ARCHITECT					GA STAMP					PROJECT					DWG TITLE					REVISION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
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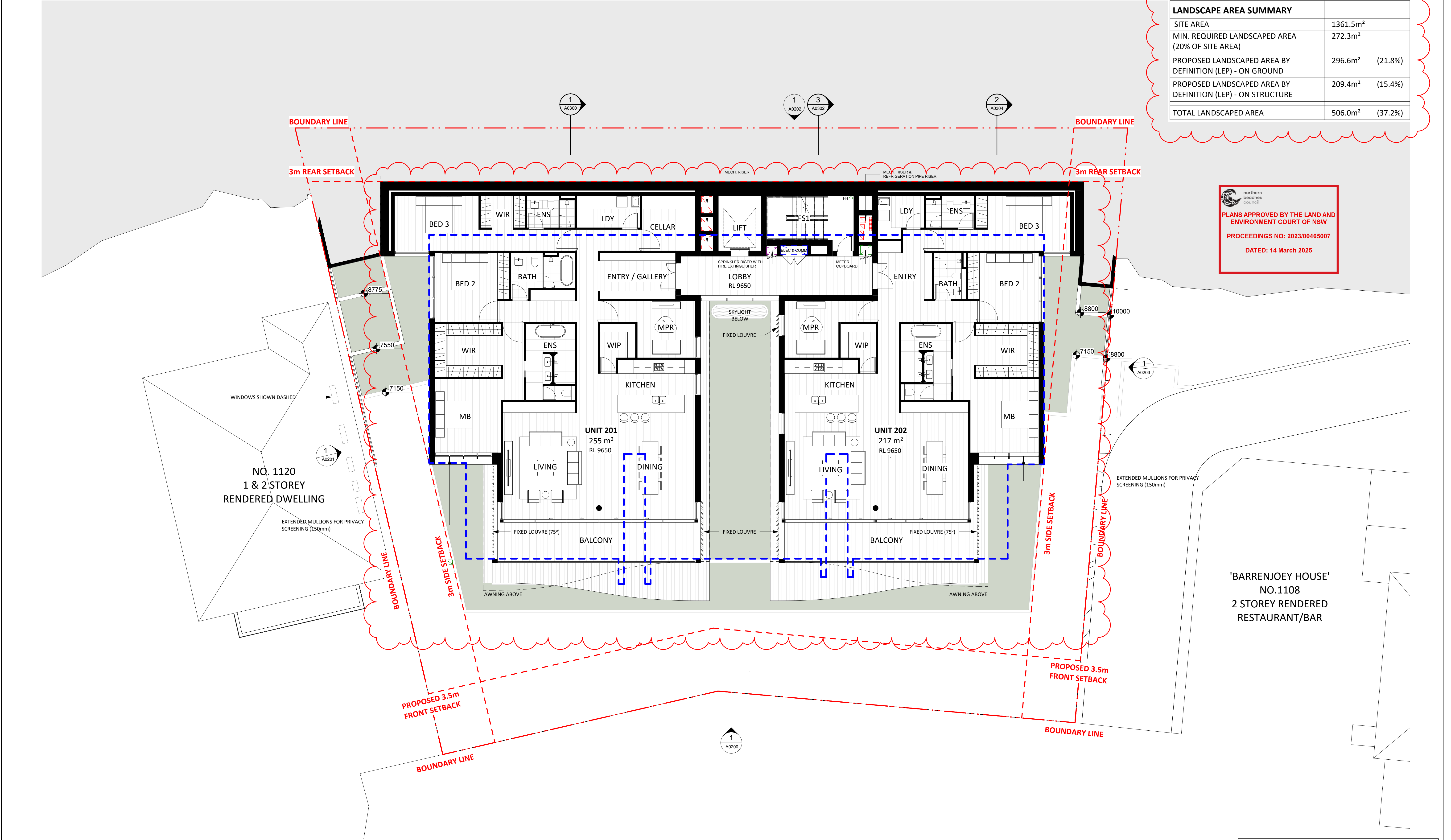


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council

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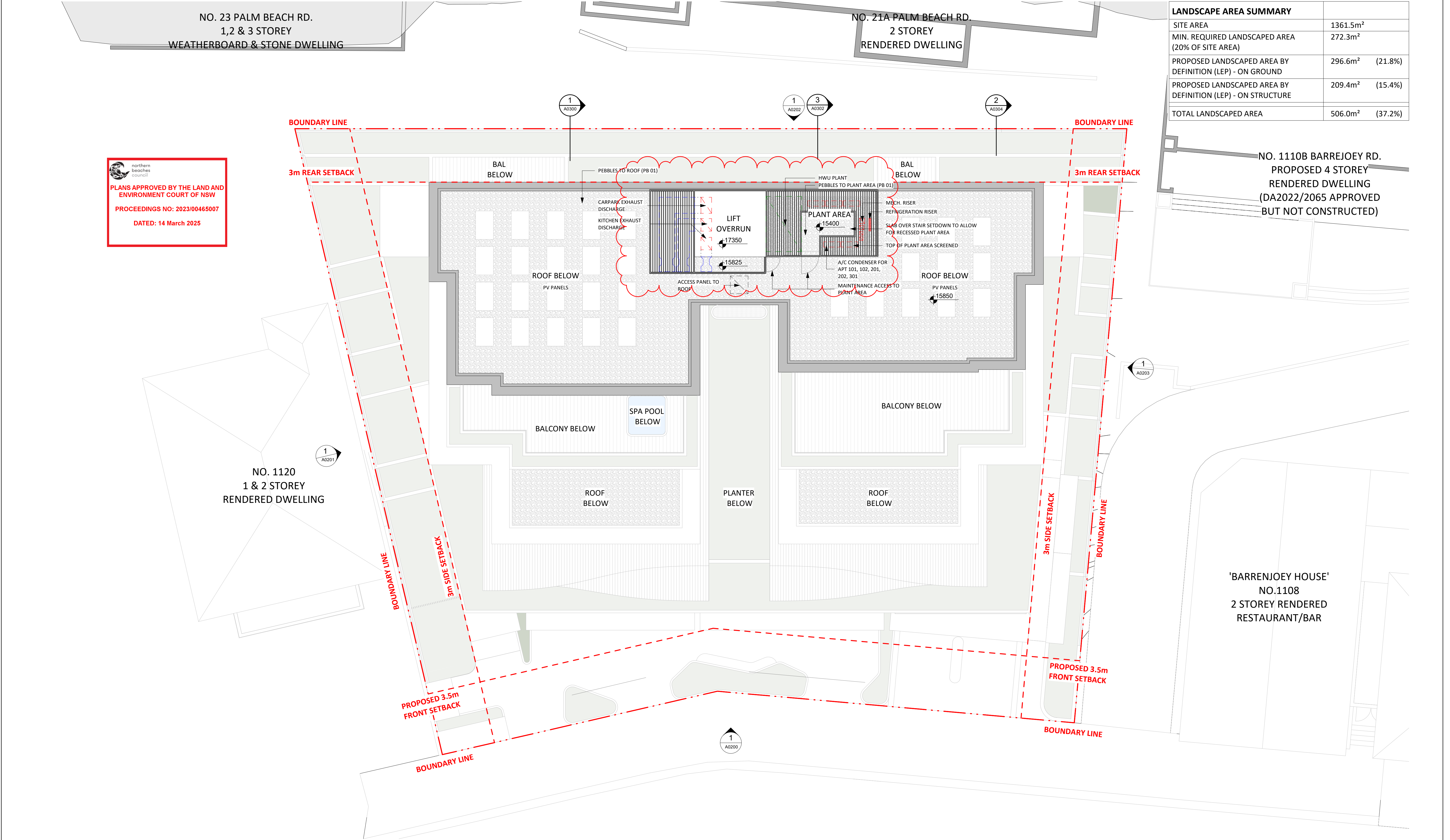
PROCEEDINGS NO: 2023/00465007

DATED: 14 March 2025



LEGEND	
----	SUBMITTED DA BUILDING OUTLINE

NO. REVISION					BY	CHK	DATE	REVISION NOTES	KEY PLAN	ARCHITECT	CLIENT	OTHERS	GA STAMP	PROJECT	DWG TITLE	REVISION
A	FOR DA SUBMISSION	DK	GW	16.12.21												
B	FOR AMENDED DA SUBMISSION	DK	RPW	25.07.23												
C	FOR AMENDED DA SUBMISSION	DK	SL	24.08.23												
T	FOR MASSING STUDY REVIEW	DK	RPW	22.03.24												
D	FOR S.34 COORDINATION	DK	RPW	19.06.24												
E	DRAFT S34 PACKAGE	DK	RPW	26.06.24												
F	FOR S34 COORDINATION	DK	RPW	03.07.24												
G	FOR FINAL S34 REVIEW	DK	RPW	31.07.24												
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 northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2023/00465007
DATED: 14 March 2025


NO.		REVISION	BY	CHK	DATE	REVISION NOTES:	KEY PLAN	NOTES:	OTHERS	CLIENT	ARCHITECT	PROJECT	DWG TITLE
A		FOR DA SUBMISSION	DK	QW	16.09.24			KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT & AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.		PALMDEV PTY LTD	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ASN 63 131 385 896	1112-1116 BARRENJOEY RD	ROOF PLAN - FLOOR PLAN
B		FOR AMENDED DA SUBMISSION	DK	RPW	25.07.23			THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.		LEVEL 1, 600 DARLING STREET ROZELLE NSW 2039		1112 - 1116 BARRENJOEY ROAD, PALM BEACH	
C		FOR AMENDED DA SUBMISSION	DK	SL	24.06.23								
D		FOR S 3.34 COORDINATION	DK	RPW	19.06.24								
E		FOR S 3.34 COORDINATION	DK	RPW	21.06.24								
F		DRAFT S3 PACKAGE	DK	RPW	26.06.24								
G		FOR S34 LODGEMENT	DK	RPW	03.07.24								
H		FOR FINAL S3A REVIEW	DK	RPW	31.07.24								
I		S3A AMENDMENT	DK	RPW	15.09.24								
J		S3A AMENDMENT	DK	RPW	23.09.24								



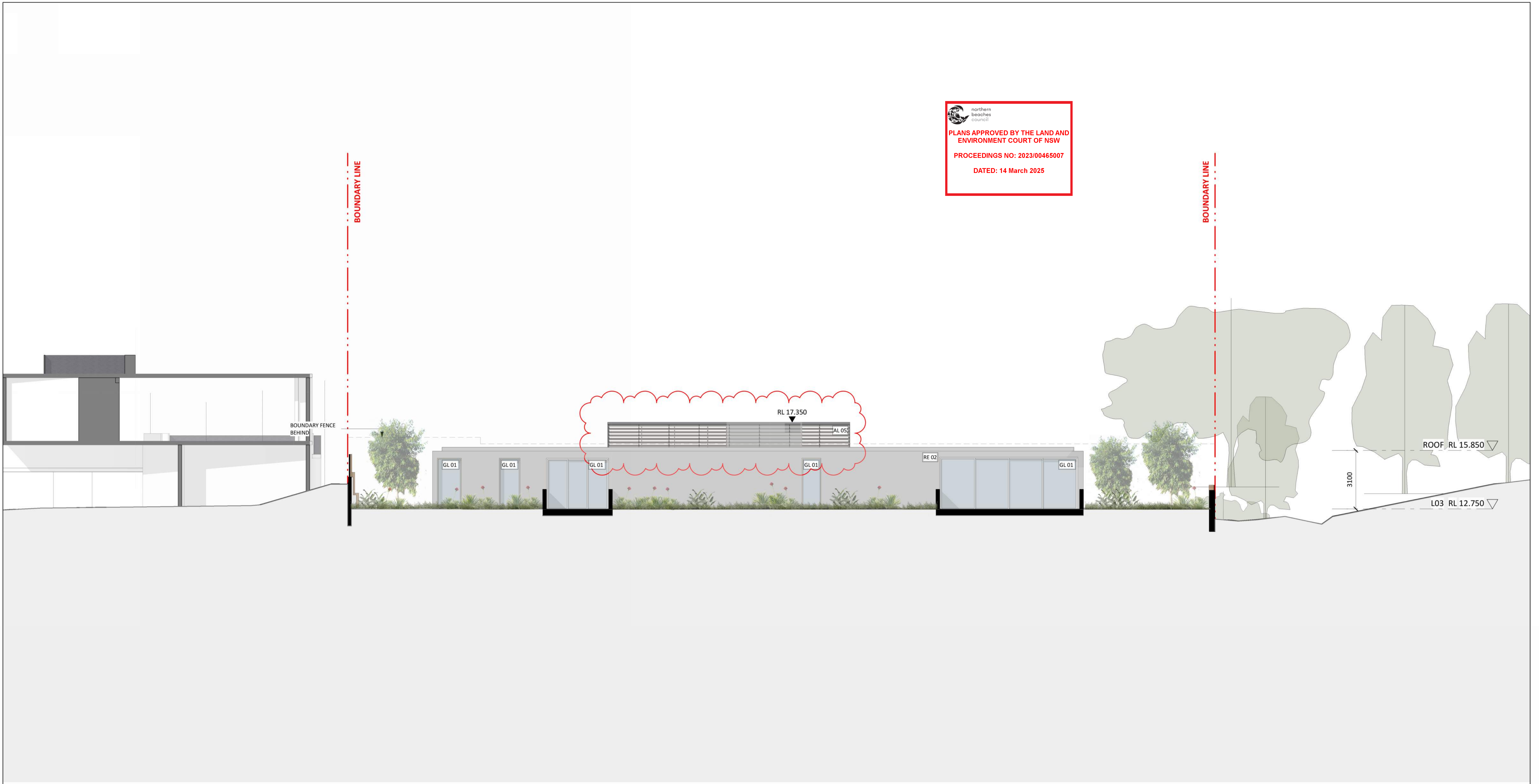
NO.					REVISION	BY	CHK	DATE	REVISION NOTES:	KEY PLAN	NOTES:	OTHERS	CLIENT	ARCHITECT	GA STAMP	PROJECT	DWG TITLE
A					FOR DA SUBMISSION	DK	GW	16.12.21			KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT & INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT		PALMDEV PTY LTD	SUITE 41 & 42, LEVEL 4	<div>THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS FOR CONSTRUCTION WITHOUT THE PRESENCE OF WIP, DRAFT OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.</div>	1112-1116 BARRENJOEY RD	WEST ELEVATION (BARRENJOEY RD)
B					FOR AMENDED DA SUBMISSION	DK	RPW	25.07.23			THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.		LEVEL 1, 600 DARLING STREET	61 MARLBOROUGH ST, SURRY HILLS, NSW 2010		1112 - 1116 BARRENJOEY ROAD, PALM BEACH	
C					FOR AMENDED DA SUBMISSION	DK	SL	24.08.23			THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©		ROZELLE NSW 2039	T 02 9698 8510		STATUS	REVISION
D					DRAFT S34 PACKAGE	DK	RPW	28.08.24			THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT.			ASN 63 131 385 896		DEVELOPMENT APPLICATION	H
E					FOR S34 LODGEMENT	DK	RPW	03.07.24			VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.			NOMINATED ARCHITECT:	0	SCALE	DATE
F					FOR FINAL S34 REVIEW	DK	RPW	31.07.24						KOICHI TAKADA	1:100@A1, 1:200@A3	23.09.24	
G					S34 AMENDMENT	DK	RPW	15.08.24						NSW ARCHITECTS 6901			
H					S34 AMENDMENT	DK	RPW	23.09.24						VIC ARCHITECTS 16179			
														QLD ARCHITECTS 5590			
														KOICHI TAKADA.COM			

CLOUD LEGEND

 REVISION

 ON HOLD

Koichi Takada Architects



NO.	REVISION	BY	CHEK	DATE	REVISIONS NOTES:	KEY PLAN	ARCHITECT	CLIENT	OTHERS	QA/STAMP	PROJECT	DWG/NO	REVISION
A	FOR DA SUBMISSION	DK	GW	16.12.21									
B	FOR AMENDED DA SUBMISSION	DK	RPW	25.07.23									
C	FOR AMENDED DA SUBMISSION	DK	SL	24.08.23									
D	DRAW 33A PACKAGE	DK	RPW	28.08.24									
E	FOR 33A LODGEMENT	DK	RPW	03.07.24									
F	FOR FINAL 33A REVIEW	DK	RPW	31.07.24									
G	33A AMENDMENT	DK	RPW	15.08.24									
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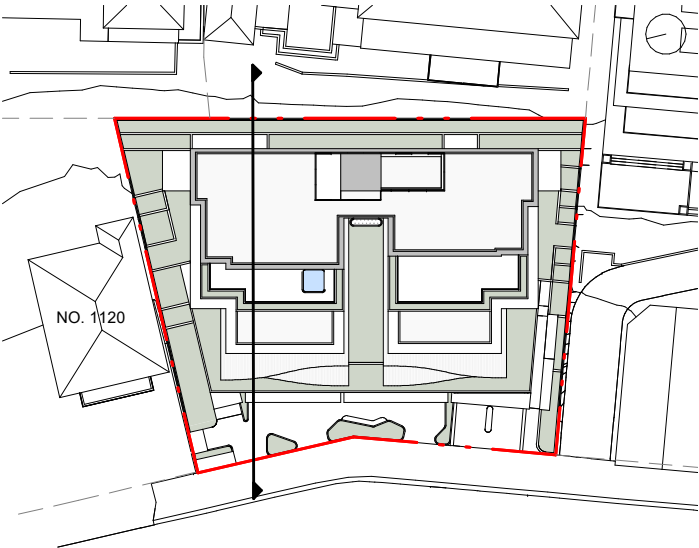
21A PALM BEACH RD.
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RENDERED DWELLING

1112-1116 BARRENJOEY RD.

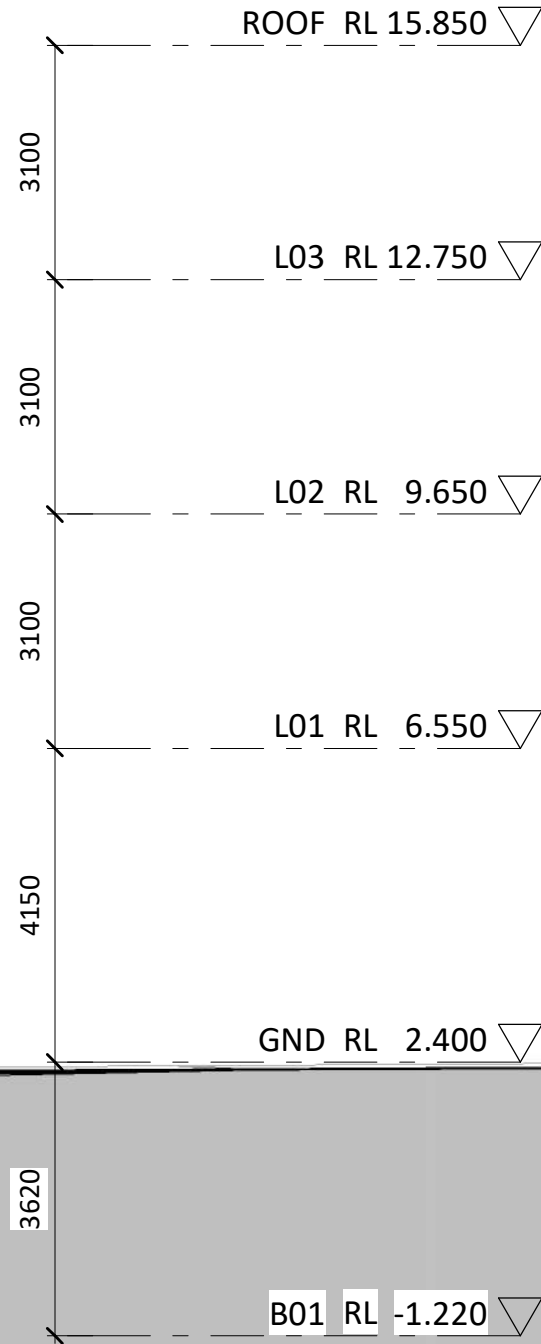
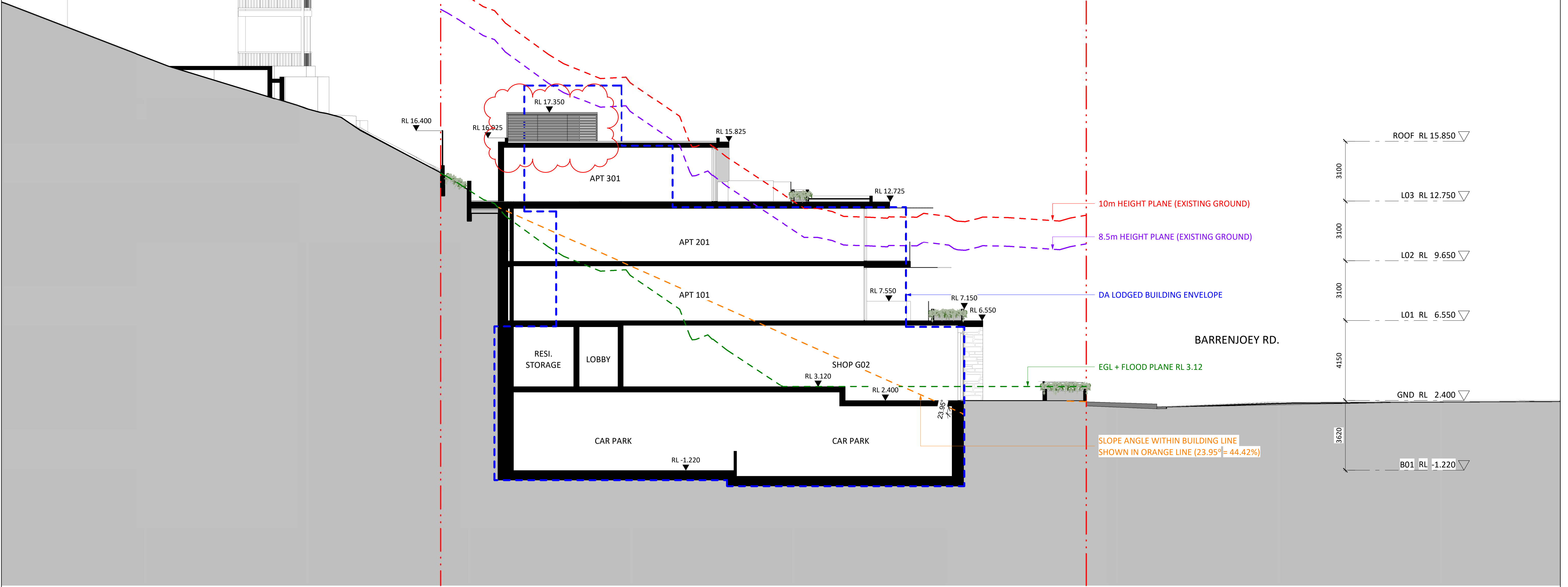
GROUND PLANE TYPES

- 10m HEIGHT PLANE (10m ABOVE EGL)
- 8.5m HEIGHT PLANE (8m ABOVE FPL OR 8.5m ABOVE EGL, WHICHEVER IS GREATER)
- EXISTING GROUND LINE + FLOOD PLANE LINE (RL 3.12)

PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
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KEY PLAN



LEGEND

- SUBMITTED DA BUILDING OUTLINE

NO.					REVISION					OTHERS					CLIENT					ARCHITECT					QA STAMP					PROJECT					DWG TITLE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
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1116 BARRENJOEY ROAD, PALM BEACH					SECTION 01 (EXISTING GROUND)					1112-1116 BARRENJOEY RD					SECTION 01 (

21A PALM BEACH RD.
2 STOREY
RENDERED DWELLING

1112-1116 BARRENJOEY RD.

GROUND PLANE TYPES

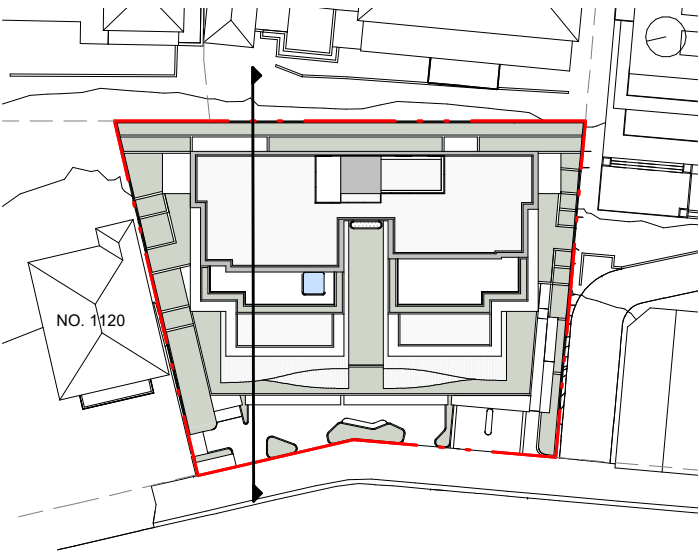
- 10m HEIGHT PLANE (10m ABOVE NGL)
- 8.5m HEIGHT PLANE (8m ABOVE FPL OR 8.5m ABOVE NGL, WHICHEVER IS GREATER)
- NATURAL GROUND LINE + FLOOD PLANE LINE (RL 3.12)

northern beaches council

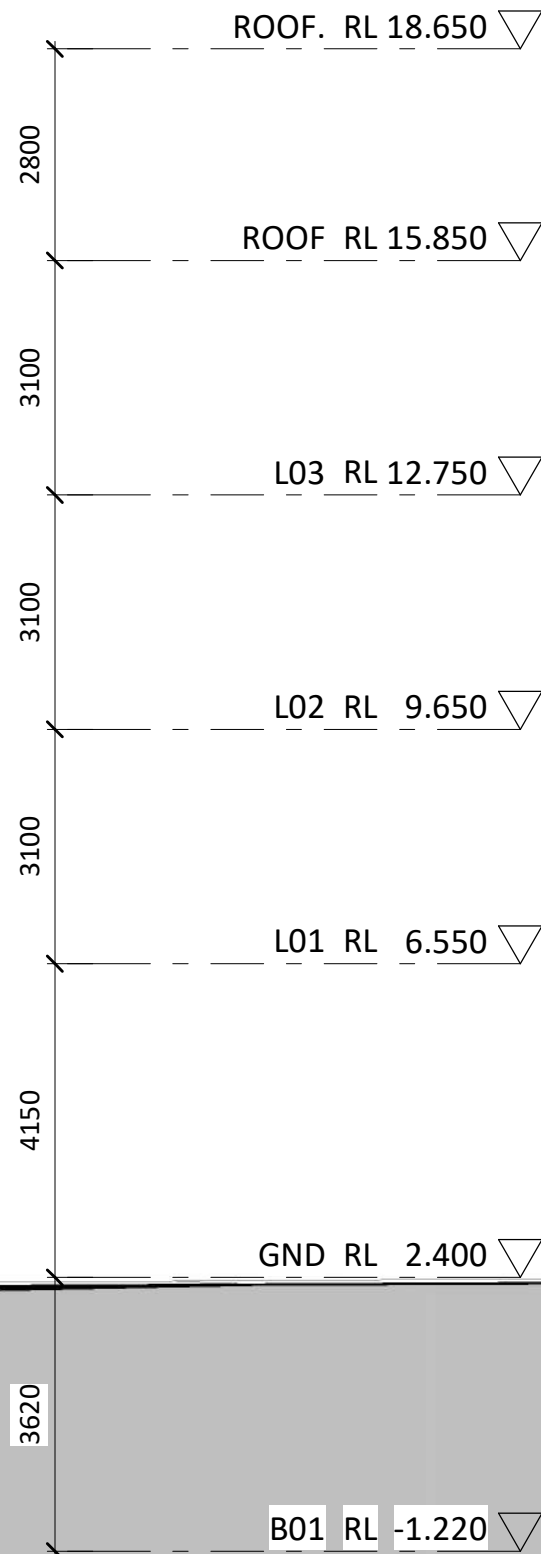
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2023/00465007

DATED: 14 March 2025



KEY PLAN



LEGEND

- SUBMITTED DA BUILDING OUTLINE


NO. REVISION				BY CHK DATE				REVISION NOTES:				KEY PLAN				NOTES:				OTHERS:				CLIENT				ARCHITECT				QA STAMP				PROJECT				DWG TITLE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
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BOUNDARY LINE:

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BOUNDARY LINE

KEY PLAN

- - - - - 10m HEIGHT PLANE (10m ABOVE EGL)
- - - - - 8.5m HEIGHT PLANE
(8m ABOVE FPL OR 8.5m ABOVE EGL,
WHICHEVER IS GREATER)
- - - - - EXISTING GROUND LINE
+ FLOOD PLANE LINE (RL 3.12)

L03 RL 12.750 

L02 RL 9.650 ▾

L01 RL 6.550 ☐

GND RL 2.400 ▽

B01	RL	-1.220	
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- NGL + FLOOD PLANE RL 3.12

SLOPE ANGLE WITHIN BUILDING LINE
SHOWN IN ORANGE LINE ($22.35^\circ = 41.11\%$)

— — — — — SUBMITTED DA BUILDING OUTLIN

DWG NO.	A0301
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REVISION
G

31.07.24

NO.	REVISION	BY	CHK	DATE
A	FOR DA SUBMISSION	DK	GW	16.12.21
B	FOR AMENDED DA SUBMISSION	DK	RPW	20.07.23
C	FOR AMENDED DA SUBMISSION	DK	SL	24.08.23
D	FOR MASSING STUDY REVIEW	DK	RPW	22.03.24
E	CONCEPT PLAN AMENDMENT	DK	RPW	04.04.24
F	FOR COUNCIL DISCUSSION	DK	RPW	29.04.24
G	FOR COUNCIL RES (AMENDED)	DK	RPW	13.06.24
H	E DRAFT S34 PACKAGE	DK	RPW	26.06.24
I	FOR S34 LODGEMENT	DK	RPW	03.07.24
J	FOR FINAL S34 REVIEW	DK	RPW	31.07.24

REVISION NOTES:

KEY PLAN

CLOUD LEGEND

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OTHERS

CLIENT

PALMDEV PTY LTD

LEVEL 1, 600 DARLING STREET
ROZELLE NSW 2039

ARCHITECT

SUITE 41 & 42, LEVEL 4
61 MARLBOROUGH ST
SURREY HILLS, NSW 2010
T 02 9698 8510
ABN 63 131 365 896
NOMINATED ARCHITECT:
KOICHI TAKADA
NSW ARCHITECTS 6901
VIC ARCHITECTS 16179
QLD ARCHITECTS 5590
KOICHTAKADA.COM

Koichi
Takada
Architects

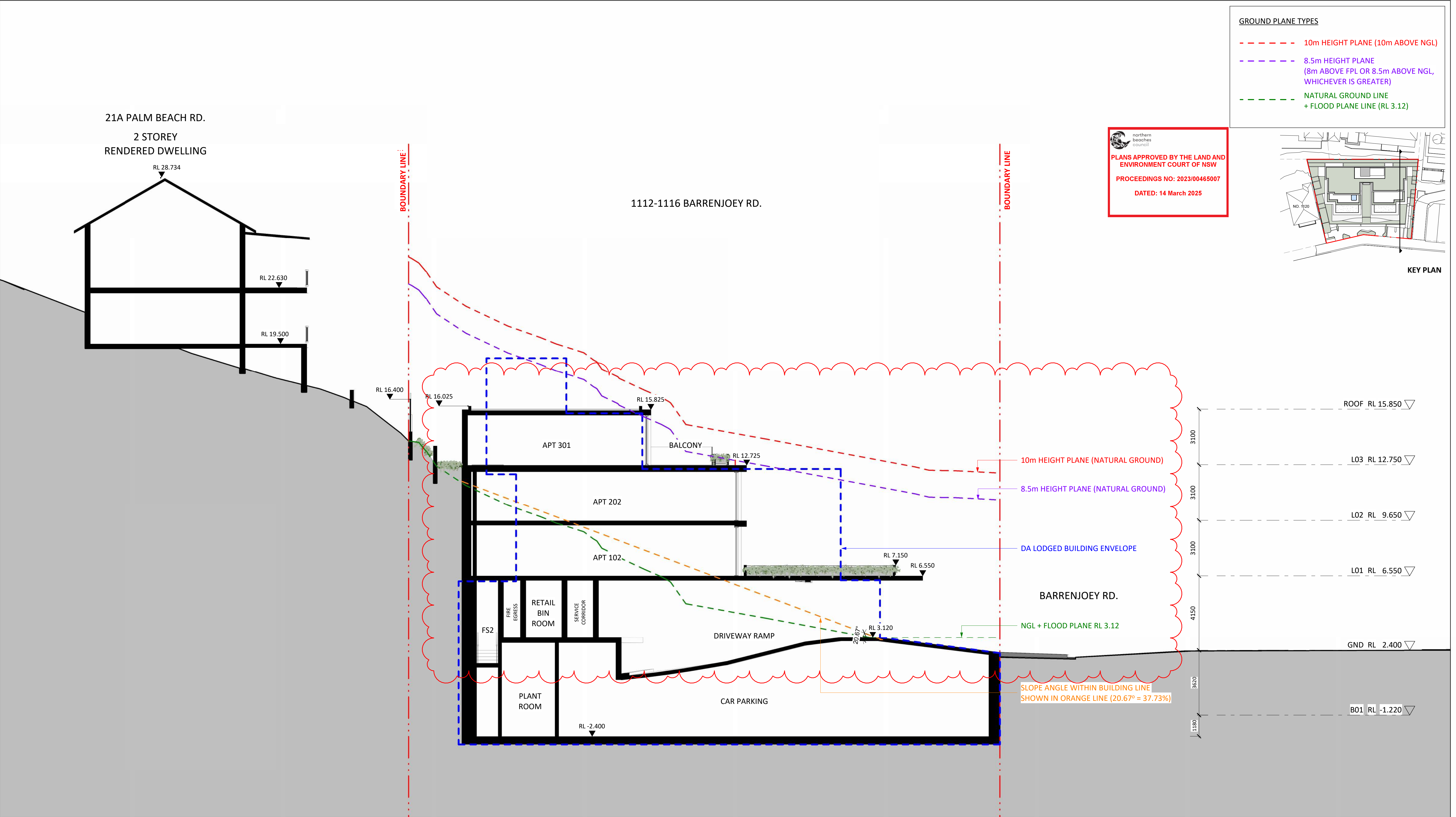
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PROJECT
1112-1116 BARRENJOEY RD
1112 - 1116 BARRENJOEY ROAD, PALM
BEACH

STATUS
DEVELOPMENT APPLICATION

0					5
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NO.	REVISION	BY	CHK	DATE
A	FOR S34 LODGEMENT	DK	RPW	03.07.24
B	FOR FINAL S34 REVIEW	DK	RPW	31.07.24

REVISION NOTES:

KEY PLAN

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OTHERS

CLIENT
PALMDEV PTY LTD LEVEL 1, 600 DARLING STREET ROZELLE NSW 2039

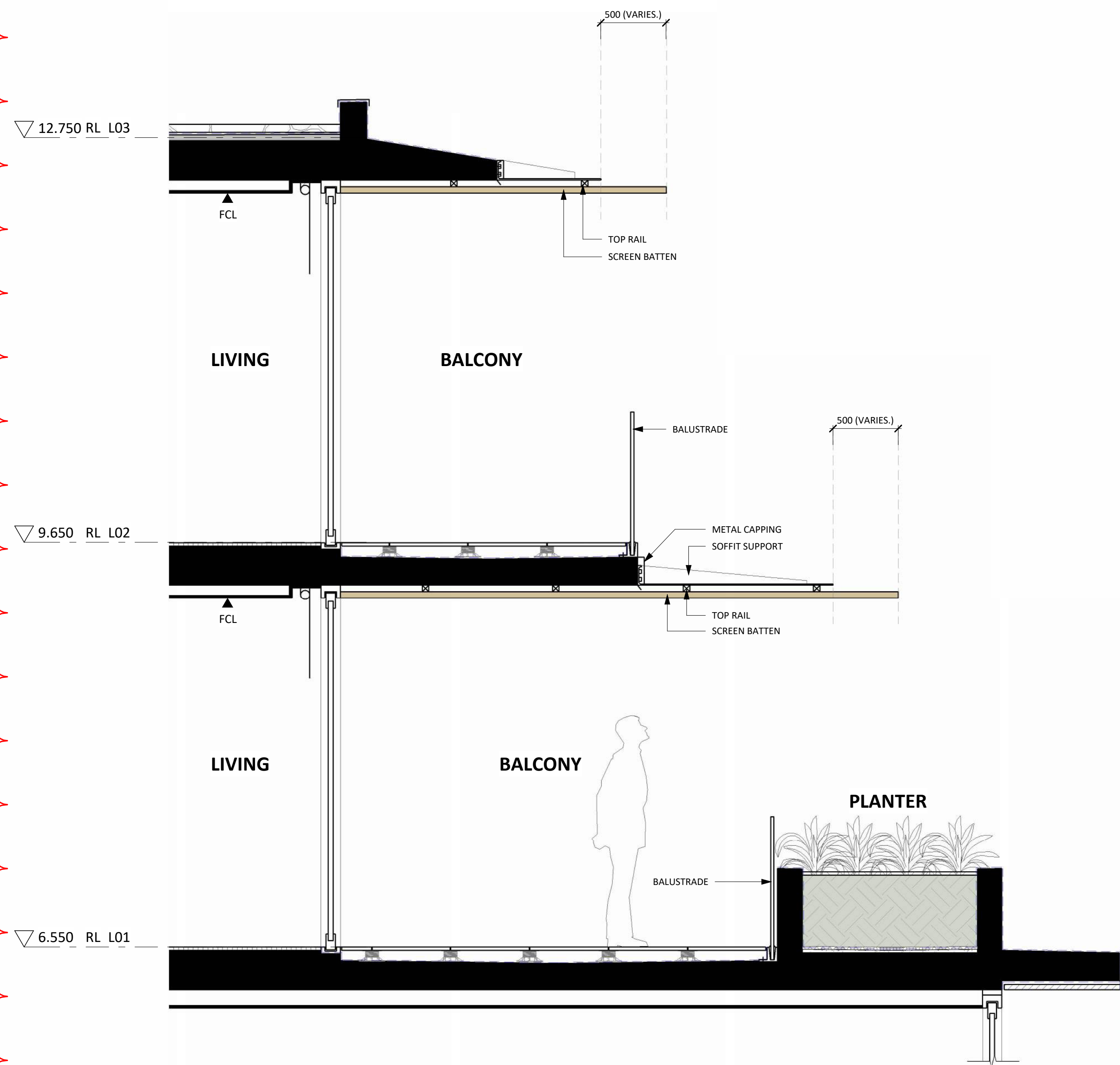
ARCHITECT
SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ASN 63 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM

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PROJECT
1112-1116 BARRENJOEY RD 1112 - 1116 BARRENJOEY ROAD, PALM BEACH
STATUS
DEVELOPMENT APPLICATION
SCALE
1:100@A1, 1:200@A3

DWG TITLE
SECTION 02 (NATURAL GROUND)
DWG NO.
A0304
REVISION
B
DATE
31.07.24

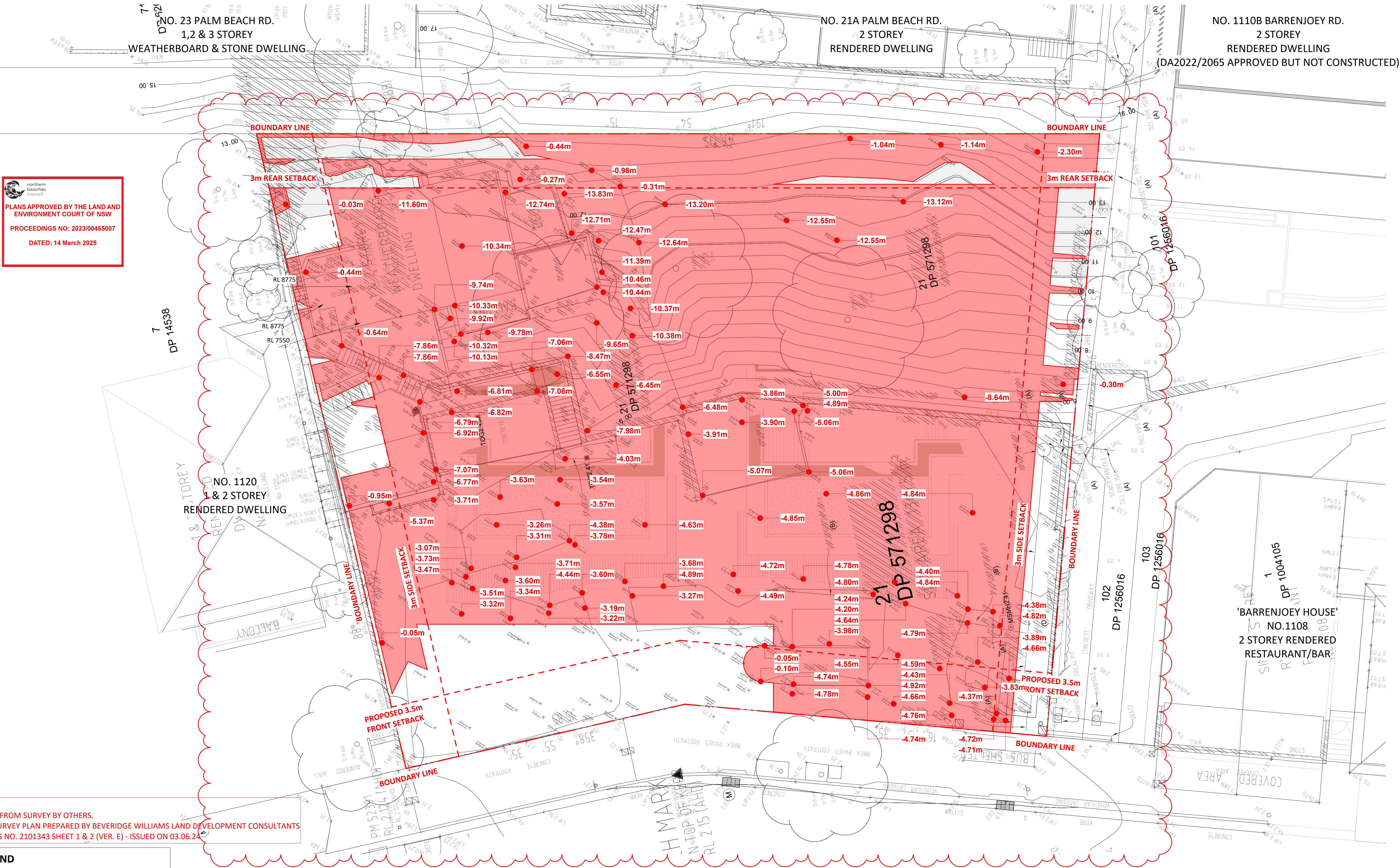
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1 SECTION - AWNING DETAIL
1 : 25






NO.	REVISION	BY	CHK	DATE	REVISION NOTES:	KEY PLAN	NOTES:	OTHERS	CUSTOMER	ARCHITECT	PROJECT	Q&A STAMP	DWG TITLE
A	FOR FINAL S34 REVIEW	DK	RPW	31.07.24			<p>NOTES: KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT & AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT & INTELLECTUAL PROPERTY RIGHTS. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA-CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.</p>		PALMDVE PTY LTD LEVEL 1, 600 DARLING STREET ROZELLE NSW 2039	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURREY HILLS, NSW 2010 T 02 9698 8510 ABN 65 131 305 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM	1112-1116 BARRENJOEY RD 1112 - 1116 BARRENJOEY ROAD, PALM BEACH	<p>THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS THIS DOCUMENT FOR CONSTRUCTION WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.</p>	DETAIL - AWNING DETAIL
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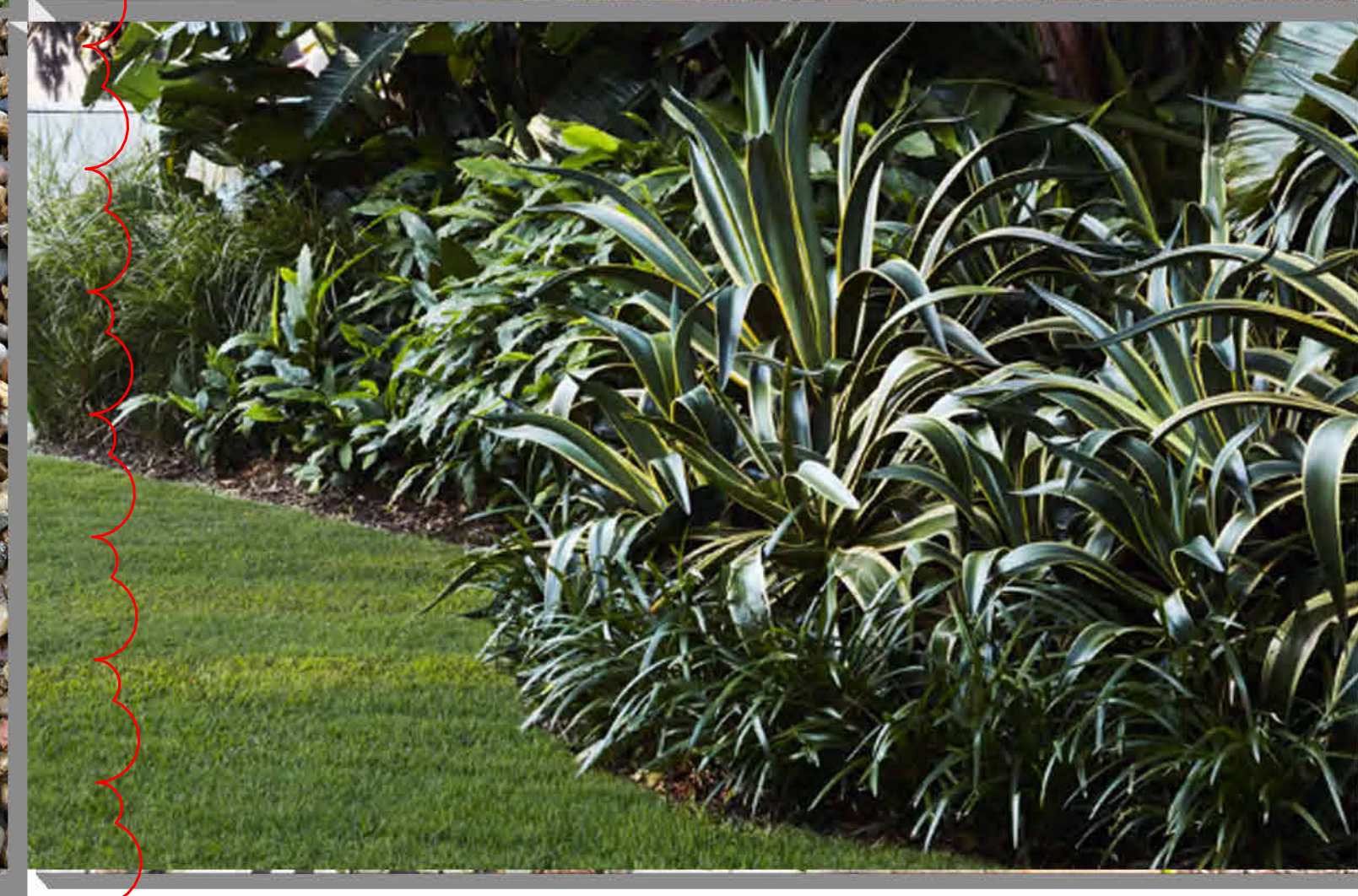


northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2023/00465007
DATED: 14 March 2025

NOTES
EXTRACT FROM SURVEY BY OTHERS.
DETAIL SURVEY PLAN PREPARED BY BEVERIDGE WILLIAMS LAND DEVELOPMENT CONSULTANTS
DRAWING NO. 2101343 SHEET 1 & 2 (VER. E) - ISSUED ON 03.06.24

LEGEND	
<div></div>	EXCAVATION ZONE

NO.	REVISION	BY	CHK	DATE	REVISION NOTES	KEY PLAN	NOTES	OTHERS	CLIENT	ARCHITECT	PROJECT	GA STAMP	DWG TITLE	REVISION					
1	FOR COUNCIL RFI	DK	RPW	04.06.24			KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.		PALMDEV PTY LTD	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 9510 ABN 63 131 365 686 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM	1112-1116 BARRENJOEY RD 1112 - 1116 BARRENJOEY ROAD, PALM BEACH		EXCAVATION PLAN						
A	FOR COUNCIL RFI (AMENDED)	DK	RPW	13.06.24			THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENSE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.												
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D	FOR FINAL S34 REVIEW	DK	RPW	31.07.24			VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.												
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						 REVISION	 ON HOLD												
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PLANTS SCHEDULE

Botanic Name	Common Name	Mature Height(m)	Pot Size	Qty
<i>Alocasia brisbanensis</i>	Colocasia	2m	300mm	30
<i>Alpinia nutans</i>	Dwarf Cardamom	1.2m	200mm	114
<i>Angophora hispida</i>	Dwarf Apple	7m	200Ltr	2
<i>Asplenium australasicum</i>	Bird's Nest Fern	0.5-1.5	200mm	50
<i>Banksia ericifolia</i> 'Little Eric'	Heath Leaved Banksia	0.3m	200mm	21
<i>Banksia integrifolia</i>	Coastal Banksia	5-10m	400Ltr	10
<i>Banksia 'Roller Coaster'</i>	Roller Coaster	0.3m	200mm	22
<i>Blechnum nudum</i>	Fishbone Waterfern	0.4m	200mm	53
<i>Bougainvillea alba</i>	White Bougainvillea	Climber	200mm	26
<i>Buckinghamia celsissima</i>	Ivory Curl Flower	30m	200Ltr	1
<i>Carpobrotus glaucescens</i>	Pig Face	0.3m	200mm	80
<i>Casuarina glauca</i> 'Cousin It'	Cousin It	0.3m	200mm	30
<i>Cissus antarctica</i>	Kangaroo Vine	ground cover	200mm	954
<i>Crassula ovata</i>	Jade	0.6m	35Ltr	40
<i>Cupaniopsis anacardioides</i>	Tuckeroo	5-10m	400Ltr	3
<i>Cyathea cooperi</i>	Rough Tree Fern	2-4m	400Ltr	18
<i>Doryanthes excelsa</i>	Gynea Lily	1-3m	500mm	11
<i>Elaeocarpus reticulatus</i>	Blueberry Ash	3-10m	100Ltr	3
<i>Epipremnum aureum</i>	Devil's Ivy	0.3m	200mm	40
<i>Fittonia nodosa</i>	Knobby Club-Rush	0.8-1m	300mm	10
<i>Grevillea</i> sp.	Grevillea	0.3m	200mm	39
<i>Hibbertia scandens</i>	Guinea Flower	Climber	200mm	59
<i>Howea forsteriana</i>	Kentia Palm	5-12m	advanced	7
<i>Livistona australis</i>	Cabbage Tree Palm	10-20m	advanced	3
<i>Lomandra longifolia</i>	Spriny-Headed Mat Rush	0.4-1m	200mm	24
<i>Lomandra 'Tanika'</i>	Fine Matt Grass	0.7m	200mm	153
<i>Macrozamia communis</i>	Burrawang	1.5-2m	400Ltr	6
<i>Muehlenbeckia axillaris</i>	Creeping Wire Vine	0.4m	300mm	50
<i>Muehlenbeckia complexa</i>	Creeping Wire Vine	0.4m	300mm	64
<i>Mycoporum parvifolium</i>	Creeping Boobialla	Groundcover	200mm	839
<i>Pandorea pandorana</i>	Wonga Wonga Vine	Climber	200mm	106
<i>Pennisetum 'Nafray'</i>	Dwarf Fountain Grass	0.6m	200mm	48
<i>Philodendron 'Burle Marx'</i>	Burle Marx Philodendron	0.5-0.75m	200mm	3
<i>Philodendron 'Xanadu'</i>	Xanadu	0.7m	35Ltr	50
<i>Poa 'Eskdale'</i>	Tussock Grass	0.7m-0.9m	200mm	27
<i>Sansevieria 'Ulaganda'</i>	Snake Plant	0.6m	35Ltr	33
<i>Strelitzia nicotia</i>	Giant Bird Of Paradise	5-7m	300mm	11
<i>Syzygium 'Resilience'</i>	Resilience Lilly Pilly	6-10m	400Ltr	37
<i>Thunbergia grandiflora</i>	Blue Sky Flower	Climber	200mm	15
<i>Trachelospermum jasminoides</i>	Star Jasmine	Climber	200mm	43
<i>Tristaniopsis 'Luscious'</i>	Luscious Water Gum	4-6m	400Ltr	7
<i>Tristaniopsis</i> sp.	Luscious Water Gum	4-6m	100Ltr	1

Denotes Native Species
NOTE: 85.81% of proposed plants are native

NOTES

RE: Statements of Facts and Contentions for Case Number 2023/00465007

CHARACTER AND BUILT FORM

e) Landscape design does not suitably offset building mass. Insufficient landscaping integrated into building design to soften massing

Additional landscaping has been integrated into the building design through planters on each level to soften the visual massing of the building. A typical detail for these raised planters has been provided on LP07-D7621.

g) Scenic Protection Category 1 area. Refer Clause D12.4 which seeks to minimise visual impact when viewed from waterway, road or public reserve.

As per Clause D12.4 additional groundcovers, shrubs and canopy trees have been added to the vertical break to minimize visual impact when viewed from the waterway, road or public reserve. As shown on LP03-D762.

As per Clause D12.4 the proposal of 1x additional Cupaniopsis anacardioides street tree has been added as shown on LP02-D7621.

INADEQUATE LANDSCAPE AMENITY

d) Fails to meet outcomes and controls of Clause C2.1 Landscaping of P21DCP which requires development to incorporate a range of ground covers shrubs and trees to soften the built form from the street.

As per Clause C2.1 landscaping of P21DCP a range of native ground covers, shrubs and trees have been added through all levels to soften the built form from the street.

e) The proposal fails to meet the outcomes and controls of Clause D12.1 Character as viewed from a public place of P21DCP which requires landscaping to be integrated with the building design

As per Clause D12.1 of P21DCP the updated architectural layout allows for a significantly higher integration of landscape into the built form including large canopy trees/palms.

g) The rear setback and upper side setbacks are not suitable for the establishment of significant tree planting when considering view impact to neighbouring properties

Planting layout and species has been reviewed as to not obstruct views for properties to the rear (21A and 23 Palm Beach Road). 7x Tristaniopsis Luscious' planted at the rear on LP05-D7621 can technically reach a mature height of 6-8m, this is in an ideal environment, given the soil depths & site conditions we would not expect this tree to exceed the 3-4m range. 4x Banksia integrifolia at the rear on LP05-D7621 can technically grow to 5-10m, however with the soil depth & site conditions we would expect this to stunt the trees growth to 3-4meters. As a general note Banksia's respond well to cutbacks & can be maintained to a certain height, as necessary.

URBAN DESIGN

12. A significant characteristic of the area is how the buildings are set into the hillside with landscape surrounding each building. The division of the building into two parts enables the potential for the proposal to be compatible with this character with substantial landscape between the two pavilions. How does the retail engage with this. How does the retail engage with interpretation of the indigenous heritage?

The landscape planters within the Heritage Preservation Zone soften the built form from the street frontage & provide amenity to the retail spaces. These landscape gestures use a plant palette comprised of native Australian species and species that are endemic to the Northern Beaches area.

13. What landscape would remain around the perimeter be visible at the rear over the top of the roof, at the sides?

The Tristaniopsis luscious planted along the Eastern boundary as shown in LP05-D7621 will be visible behind the roof from some elevations. However these trees shouldn't reach a height over the proposed level of the mechanical room located on the roof.

RE: Front Setback Small Tree Request for 1112-1116 Barrenjoey Rd, Palm Beach NSW 2108

This is to support the proposal for the addition of a small/medium tree to the rear setback as requested by council. We are suggesting a Tristaniopsis laurina luscious to be positioned as per the plan below outside the Heritage Preservation Zone.



PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2023/00465007

DATED: 14 March 2025

GENERAL NOTES

Graphic Illustration

Please note that the plant graphics are indicative sizes only and not an accurate representation at time of purchase. Do not scale from drawings. All dimensions in mm unless otherwise stated. Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on site before commencing any work or making shop drawings. All works shall be carried out in accordance with ASA, BCA and Local Government Regulations. This drawing is protected by copyright.

Site Preparation

All existing plants marked for retention shall be protected for the duration of works. Remove from site all perennial weeds and rubbish before commencing landscape works.

Soilworks

Thoroughly cultivate the subsoil to a depth of 200mm. Supply and install to a depth of 300mm quality garden soil mix to all planting beds and 150mm turf underlay to lawn areas.

Mulch

Supply and install a 75mm layer of hardwood horticultural grade mulch to all planting beds set down 25mm from adjacent paving or garden edge.

Maintenance

All failed or defective plant species to be replaced by landscaper for a 3 months period following completion of work. Further maintenance during and after this period should include watering, weeding, fertilising, pest and disease control, pruning and hedging, reinstatement of mulch and keeping the site neat and tidy.

Irrigation

All garden areas are to include drip irrigation based on station timer and to be maintained by Strata body of the building

Safe works on roofs

Works undertaken on the rooftop garden are to be in accordance with the 'Code of Practice for Safe Work on Roofs' & all Australian Standards associated in this Code of Practice. These standards are outlined by Safe Work NSW.

GENERAL PLANTING NOTES

Note

It is recommended that all plants used be subject to an establishment period. During this period maintenance work carried out will include; watering, mowing, weeding, fertilising, pest and disease control, reseeding, returfing, staking and tying, replanting, cultivating, pruning, hedge clipping, aerating, reinstatement of mulch, top dressing and keeping the site neat and tidy.

Note

Plants shall be vigorous, well established, of good form consistent with species or variety, not soft or forced, free from disease and insect pests, with large healthy root systems and no evidence of having been restricted in growth or damaged. Root system shall be well balanced in relation to the size of the plant.

Note

Install "root barrier" or equivalent to manufacturers specifications to protect nearby structures and services.

Note

Install temporary drip irrigation system under mulch in tree protection zones and water on allotted days.

ARBORIST REPORT:

Landscape plans are in conjunction with the Arboricultural Impact Assessment Report prepared by:
Leigh Brennan
Tree Management Solutions
E: leigh@treemanagementstrategies.com.au
T: 0447356059

DCP CONTROLS

Soil Depth

A minimum soil depth is of 600mm for shrubs & 1000mm for trees is provided

Planters

All planters contain a minimum area of 4m² & 8m² where canopy trees are located

Plant material

All plant material is specified with the following minimum sizes:
Ground cover: 200mm
Shrubs: 35Ltr
Trees: 400Ltr

Garden Beds

All garden areas are to contain a minimum depth of 500mm of garden mix (ANL Botany Mix or equivalent)
All garden areas are to be covered with 150mm hardwood chip mulch

Indigenous Tree Species

A variety of the following indigenous tree species are included within the landscape design:
Cupaniopsis anacardioides
Tristaniopsis laurina
Banksia integrifolia

Garden Bed Barriers

All garden areas that contain proposed trees are to have root barriers installed to all edges (preferred barrier is 100mm thick & 300mm depth concrete)

LOCATION MAP

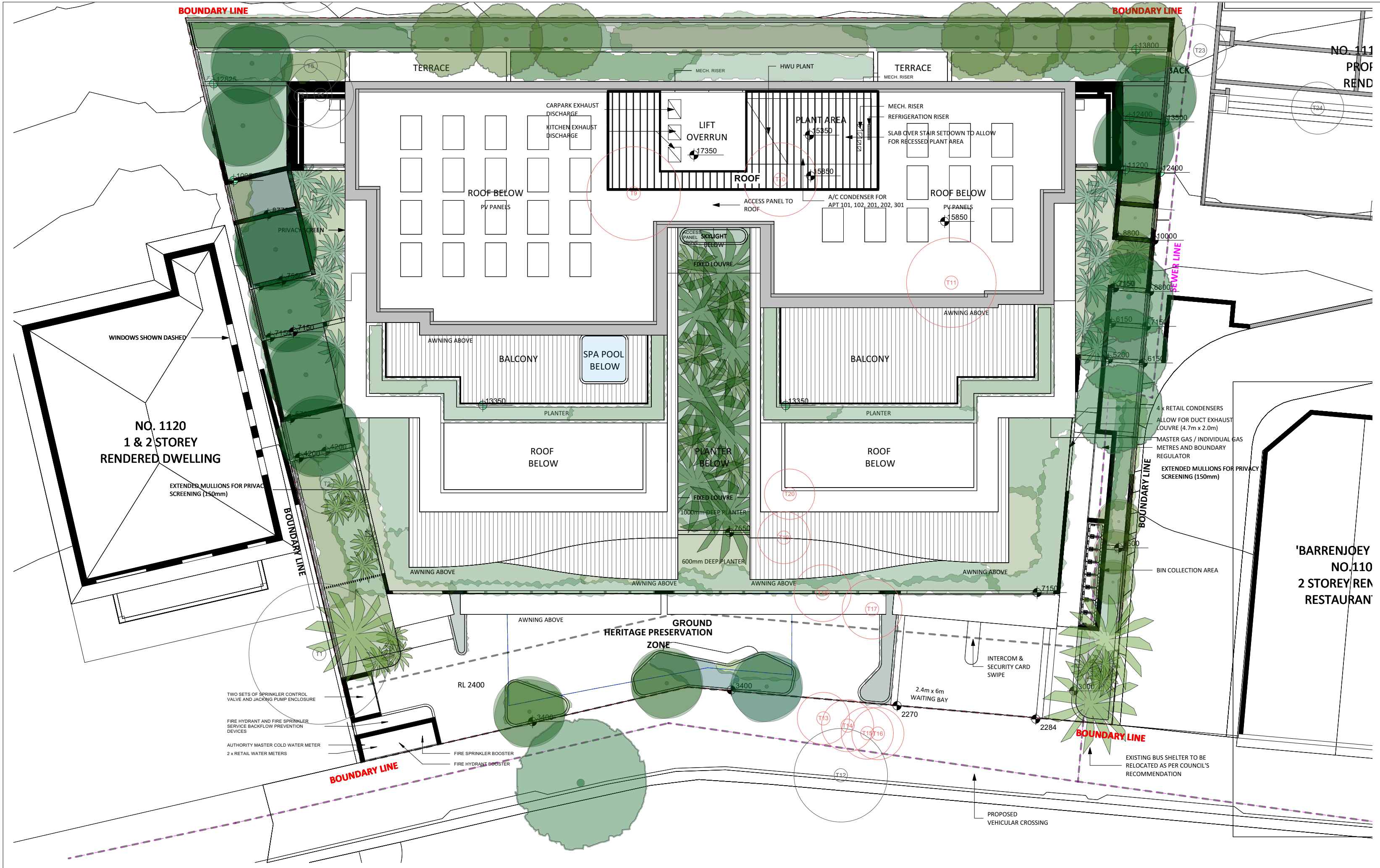


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Client: IPM Palm Beach
Project Address:
1112-1118 Barrenjoey Rd
Palm Beach, NSW 2108

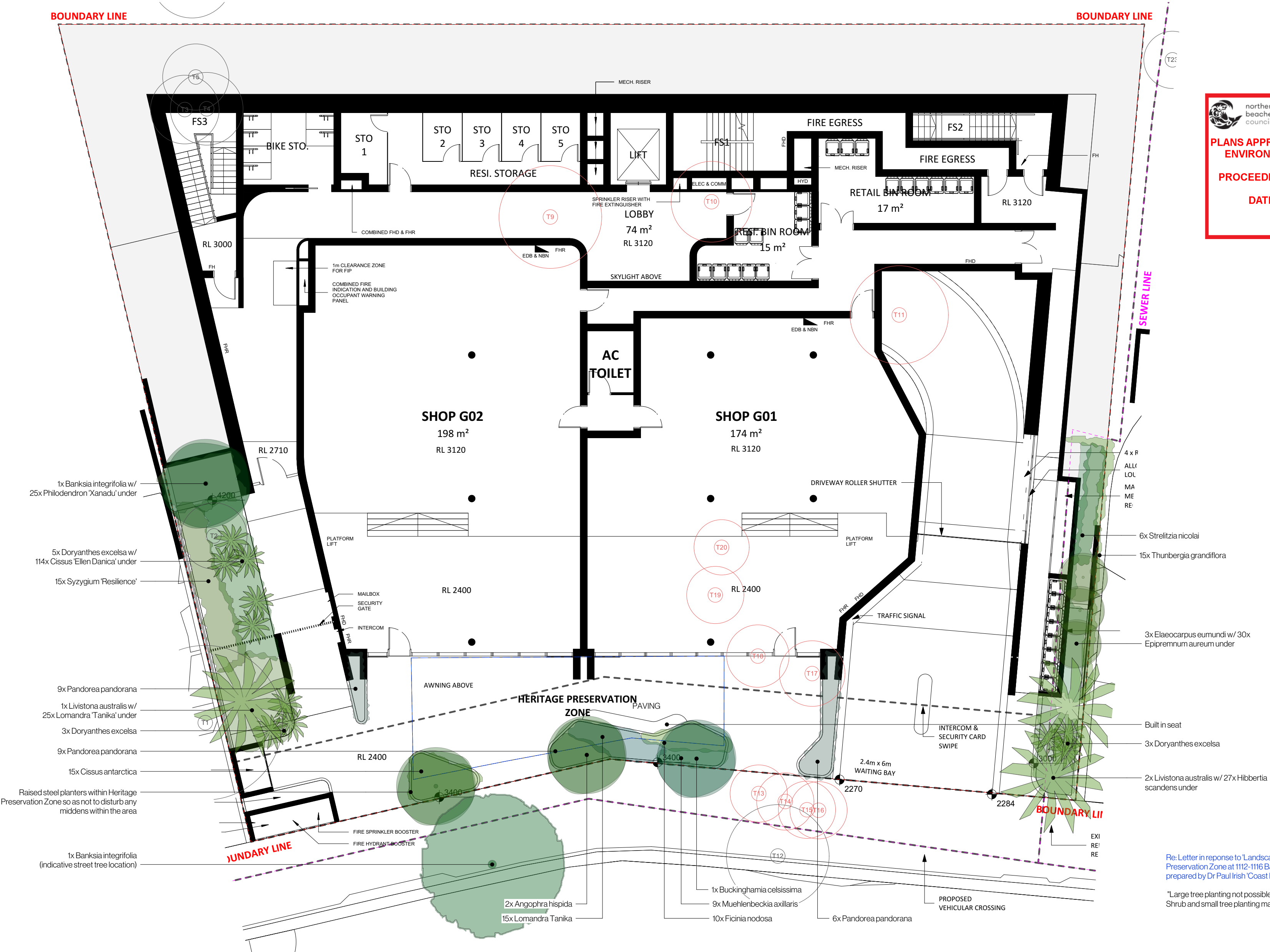
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Title: S34
Cover Page

Drawn by:
FD/EF
Issue:
01

Checked:
WD
Revision:
N

Scale:
1:150 @ A2
Date:
06.08.2024

Landscape Design Sydney
53 Cranbrook St, Botany
T (02) 9316 9044
F (02) 9316 9055



 northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2023/00465007
DATED: 14 March 2025

Re: Letter in response to 'Landscape treatments within Aboriginal Heritage Preservation Zone at 1112-1116 Barrenjoey Road, Palm Beach NSW (DA2023/1289)' prepared by Dr Paul Irish 'Coast History & Heritage'

"Large tree planting not possible as root depth will impact the midden. Shrub and small tree planting may be possible in raised planters."

Landscape Plan - Ground

Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings. This drawing is protected by copyright.



Client: IPM Palm Beach
Project Address: 1112-1118 Barrenjoey Rd
Palm Beach, NSW 2108

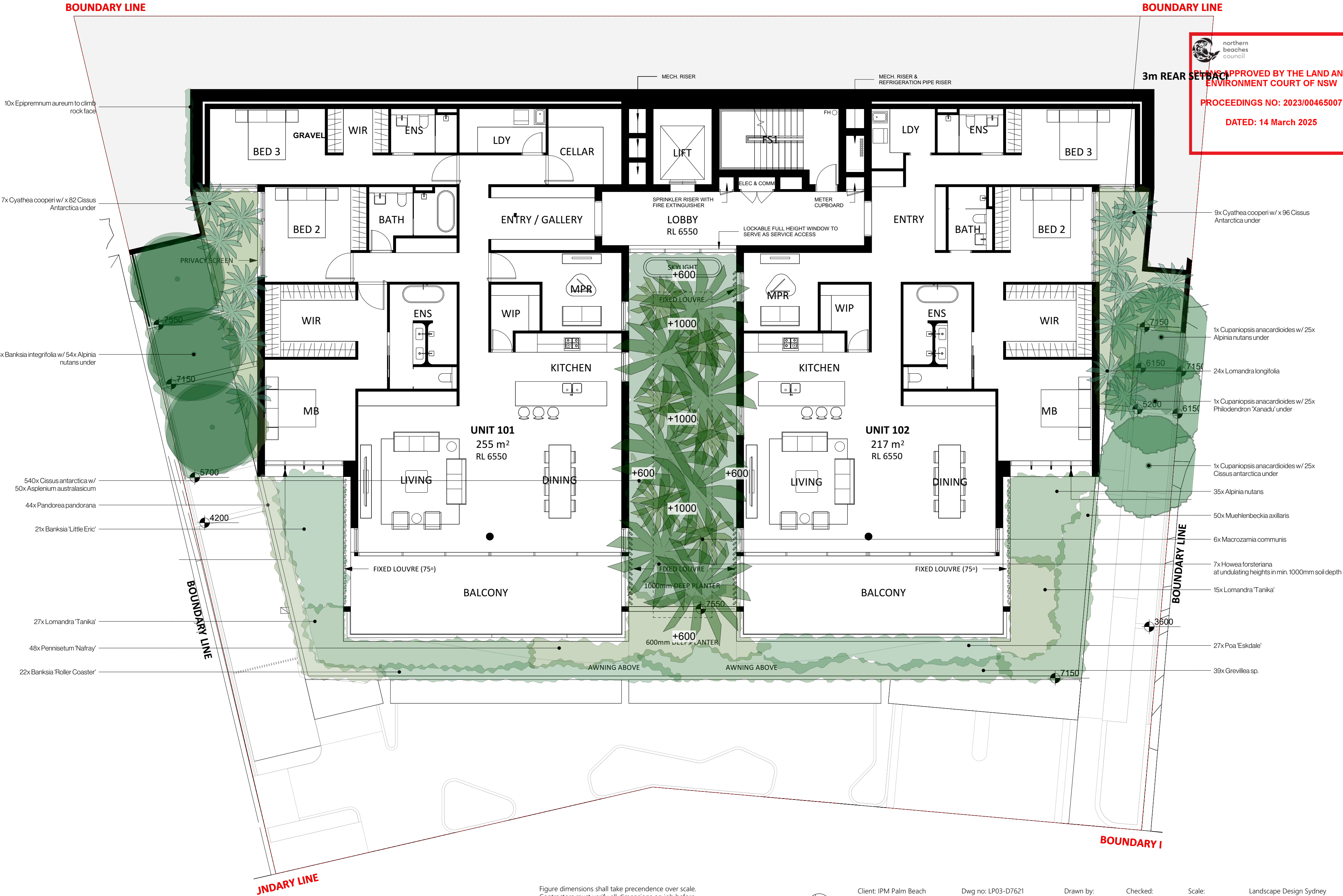
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Title: S34
Ground Landscape

Drawn by: FD/EF
Issue: 01

Checked: WD
Revision: N

Scale: 1:125 @ A2
Date: 06.08.2024

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northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2023/00465007
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Landscape Plan - First

Figure dimensions shall take precedence over scale.
Contractors must verify all dimensions on job before commencing any work or making shop drawings. This drawing is protected by copyright.



Client: IPM Palm Beach
Project Address:
1112-1118 Barrenjoey Rd
Palm Beach, NSW 2108

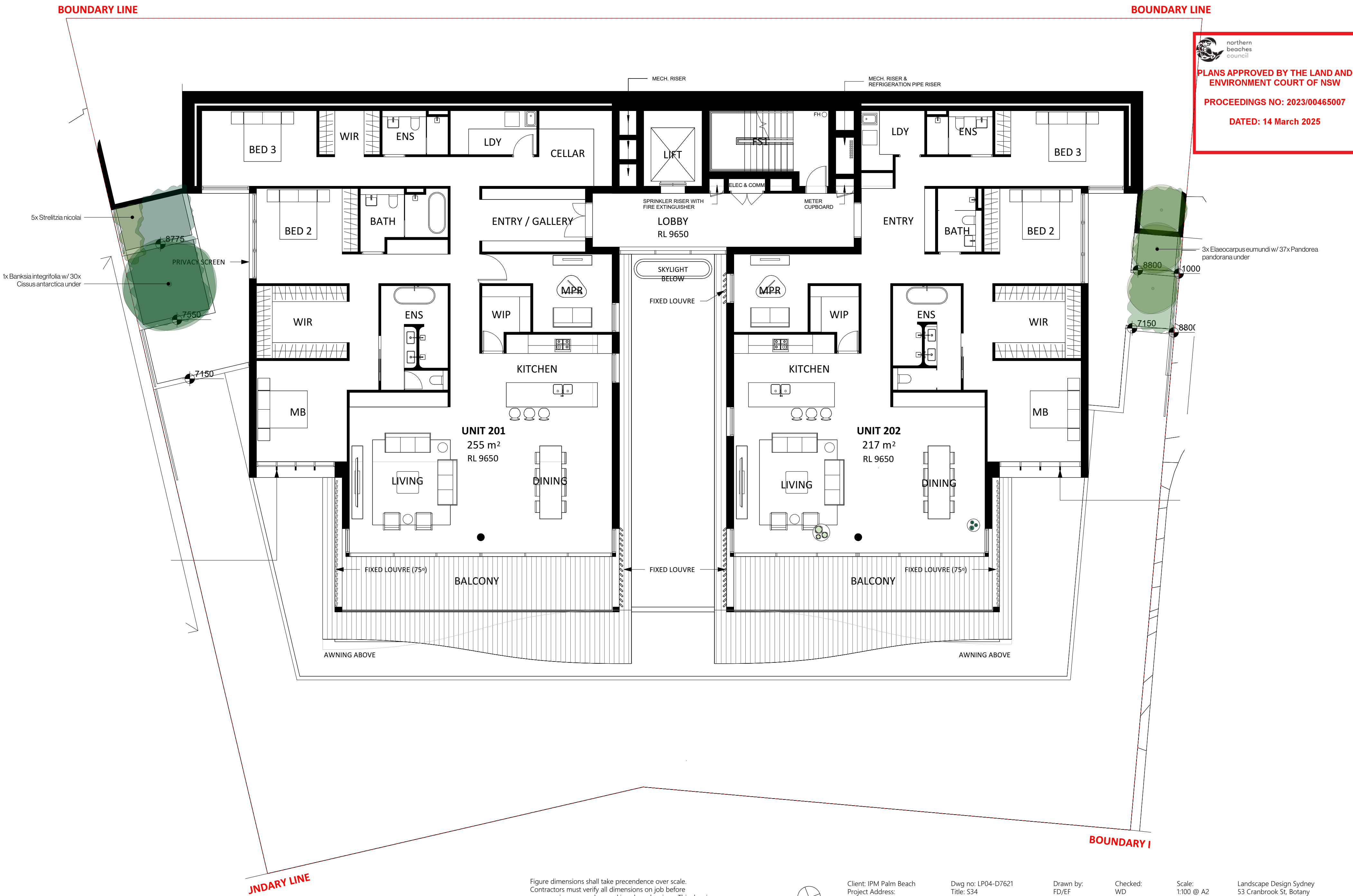
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Title: S34
First Landscape

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FD/EF
Issue:
01

Checked:
WD
Revision:
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Date:
06.08.2024

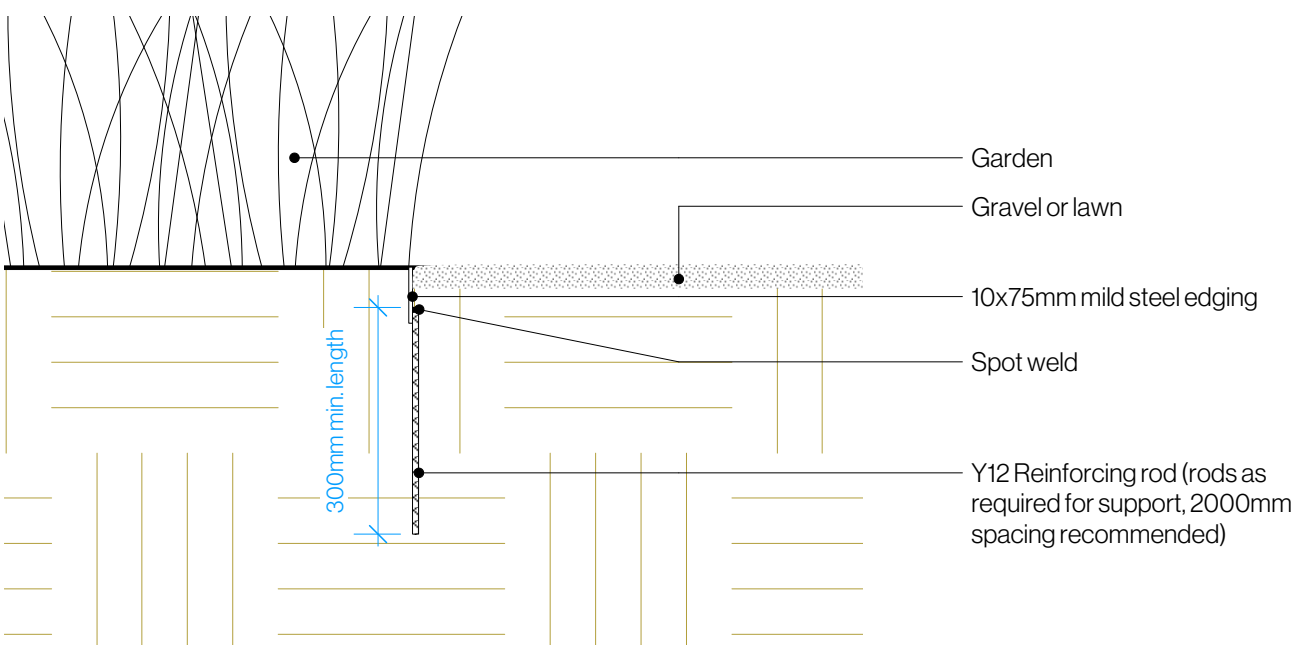
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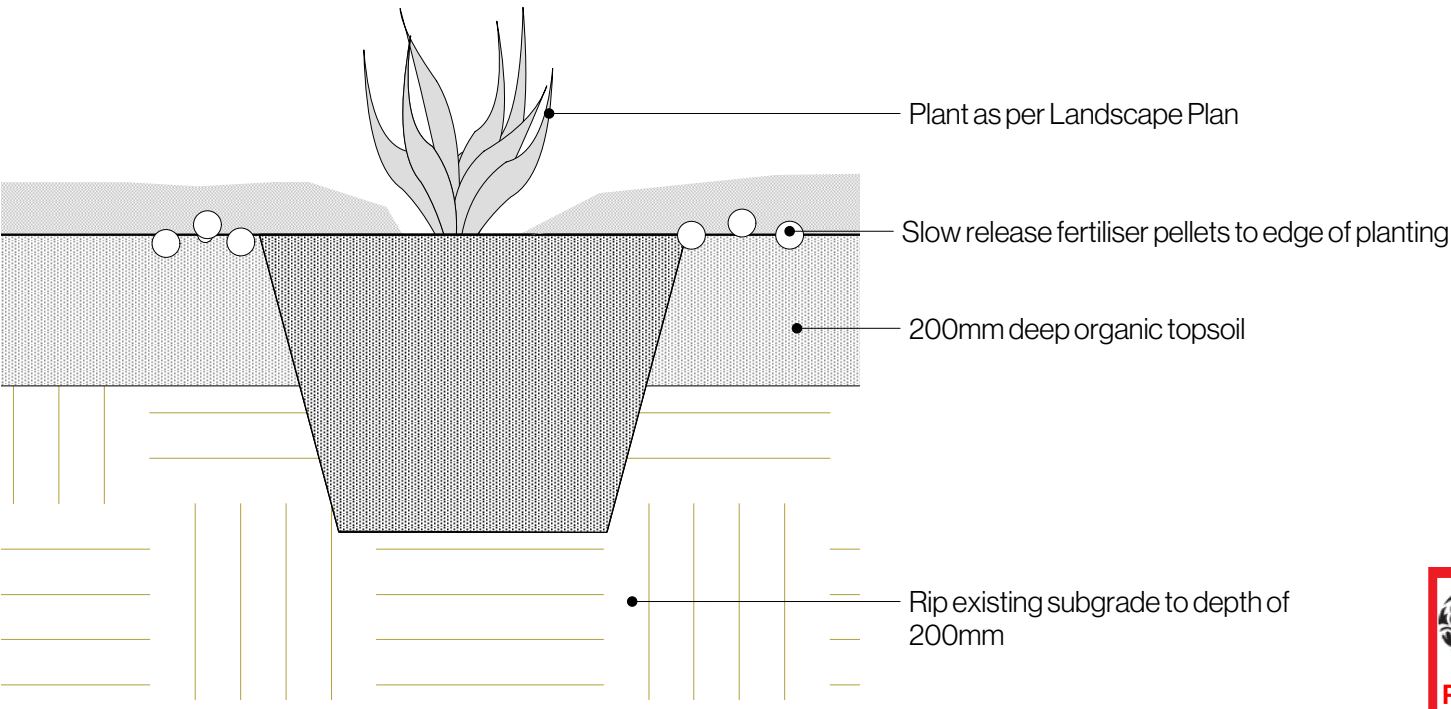
Landscape Plan - Second



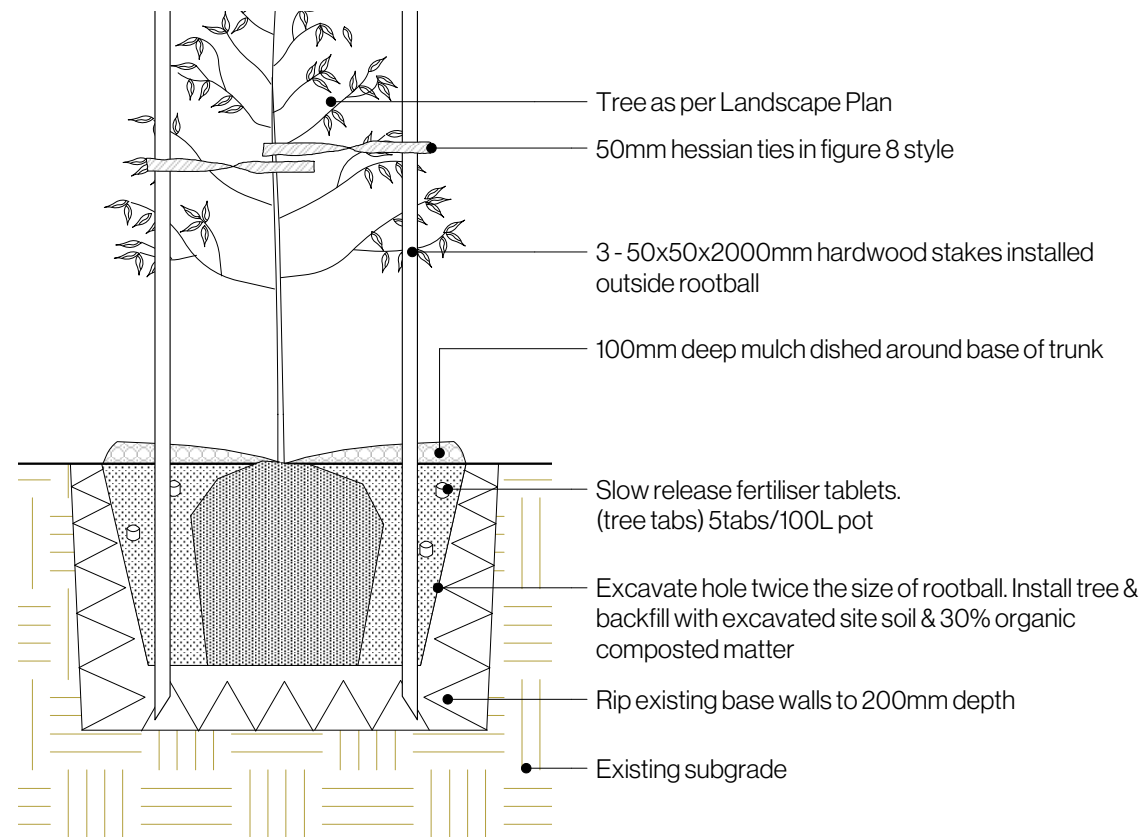
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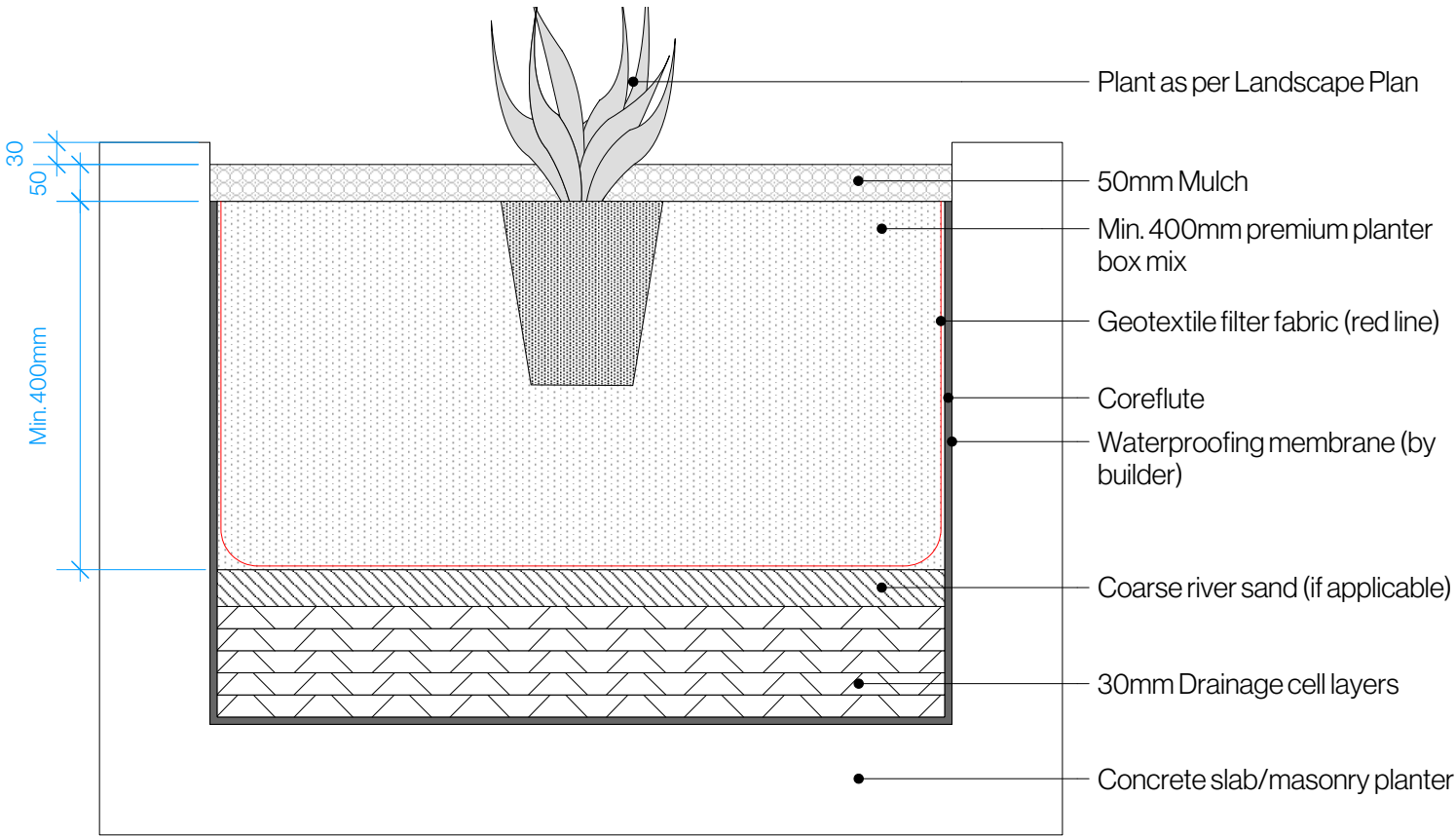
1 Steel Edging Detail
Scale: 1:10



2 Shrub in Ground
Scale: 1:10

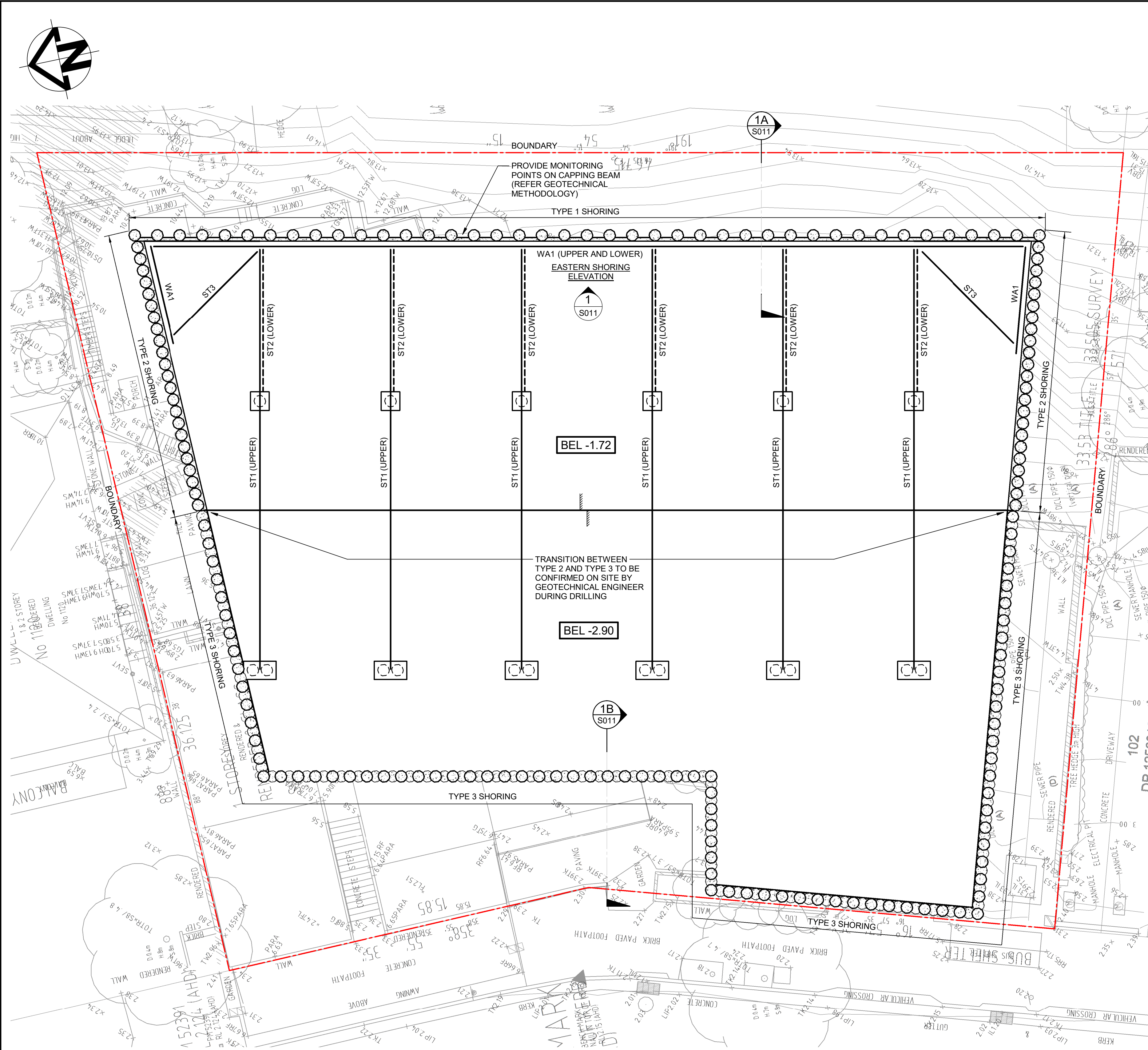


3 Staked Tree in Ground
Scale: 1:25



4 Planter detail
Scale: 1:10





SHORING AND BULK EARTHWORKS
SCALE 1:100


TEMPORARY INCLINED STRUT AND WALER SCHEDULE	
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ST2.....	355.6 x 6.4 CHS
ST3.....	273 x 6.4 CHS
WA1.....	460UB74.6
WA2.....	360UB44.7

1	ISSUED FOR APPROVAL	07-08-24
NO.	REVISION	DATE

ARCHITECT	
SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ABN 63 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM	Koichi Takada Architects

PROJECT	
1112-1116 BARRENJOEY RD 1112 - 1116 BARRENJOEY ROAD, PALM BEACH	

CLIENT	
PALMDEV PTY LTD	

M+G Consulting	
M & G CONSULTING ENGINEERS PTY LTD ABN 65 094 064 990	
Tel: +61 (0)2 8666 7888	
Email: zad@mg.com.au	
L3, 50 Berry Street North Sydney NSW 2060 (PO Box 1656, NSW 2059)	
  	

TITLE	SHORING & BULK EXCAVATION PLAN				
DRAWN BM	DESIGNED ZG	REVIEWED ZG	DATE AUG 2024	SCALE AS NOTED	
JOB NO. 5598	DRAWING NO. S010		1 ISSUE		

GENERAL

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH NORTHERN BEACHES COUNCIL'S REQUIREMENTS AND SPECIFICATIONS.
- ALL WORK SHALL BE DONE IN A SOUND, EFFICIENT AND WORKMANLIKE MANNER AND IN ACCORDANCE WITH SOUND ENGINEERING PRACTICE AND PRINCIPLES. ALL WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALSO WITH THE ENGINEERING PURPOSE AND INTENT OF THE DRAWINGS SPECIFICATIONS AND INSTRUCTIONS BY PROJECT MANAGER.
- LOCATION OF EXISTING SERVICES (IF SHOWN) IS APPROXIMATE ONLY. CONTRACTOR SHALL CHECK LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORK AND ACCEPT FULL RESPONSIBILITY FOR THE COST OF REPAIRS AND CONSEQUENCES OF ANY DAMAGE WHICH MAY OCCUR TO THESE SERVICES AS A RESULT OF CONSTRUCTION WORKS.
- ALL DISTURBED AREAS NOT SUBJECT TO NEW WORKS SHALL BE REINSTATED TO EXISTING CONDITION BY THE CONTRACTOR AT THE COMPLETION OF WORKS UNLESS OTHERWISE INSTRUCTED BY THE SUPERINTENDENT.
- DURING THE ROAD WORKS ALL TRAFFIC MANAGEMENT IS TO BE IN ACCORDANCE WITH RMS PUBLICATION "TRAFFIC CONTROL AT WORKSITES" (JUNE 2010)
- PROVIDE SURFACE AND SUBSOIL DRAINAGE TO PREVENT MOISTURE EGRESS INTO THE PAVEMENT AND SUBGRADE. REFER TO HYDRAULIC ENGINEER DRAWINGS FOR DETAILS.
- REFERENCE SHALL BE MADE TO GEOTECHNICAL INVESTIGATION REPORT BY EI AUSTRALIA E25203.G04 DATED 21 NOVEMBER 2023 AND SUBSEQUENT REPORTS AND INSTRUCTIONS.
- REFERENCE SHALL BE MADE TO SITE SURVEY BY BEVERIDGE WILLIAMS 2101343
- THE CONTRACTOR SHALL LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION AND PROTECT AND MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE AND/OR ADJUST IF NECESSARY. INFORMATION GIVEN ON THE DRAWINGS IN RESPECT TO SERVICE IS FOR GUIDANCE.
- CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PERMISSION OF THE OWNER AND SUPERINTENDENT.

NOTICE TO DEVELOPER / BUILDER:

THE FOLLOWING IS AN EXTRACT FROM THE PRACTICE NOTE No. 10 BY THE ASSOCIATION OF CONSULTING STRUCTURAL ENGINEERS (ACSE) OF NSW:
"THE BUILDING OWNER SHOULD BE ADVISED THAT IN CARRYING OUT SHORING WORKS, IT IS VIRTUALLY IMPOSSIBLE TO ENTIRELY PREVENT ANY MOVEMENT OF THE EXCAVATION, AND THAT EXCAVATION MOVEMENT MAY LEAD TO DAMAGE TO ADJOINING PROPERTIES. IT IS RECOMMENDED THAT CONSULTING ENGINEERS, WITH THE APPROPRIATE ADVICE FROM THE GEOTECHNICAL CONSULTANT, ADVISE OWNERS OF THE POSSIBLE RISK ASSOCIATED WITH THE WORKS AND THE POTENTIAL FOR DAMAGE TO ADJOINING PROPERTIES, WHICH MAY SUBSEQUENTLY NEED REPAIRS (EG THE DAMAGE MAY BE IN THE FORM OF CRACKS WHICH WOULD NEED TO BE REPAIRED AT THE DEVELOPER'S EXPENSE). THIS COURSE OF ACTION IS NOT INTENDED TO BE OR APPEAR TO BE ALARMIST, BUT SIMPLY A PROPER DISCHARGE OF THE ENGINEER'S RESPONSIBILITIES. THE BUILDING OWNER SHOULD BE ADVISED TO ALLOW A SUM OF MONEY AS A CONTINGENCY FOR ANY REPAIRS TO ADJOINING BUILDINGS."

SITE PREPARATION, CLEARING AND GRUBBING

- ALL WORK TO BE IN ACCORDANCE WITH AS3798 UNO
- DIVERTING WATER AND DEWATERING:
THE CONTRACTOR SHALL TAKE ALL NECESSARY ACTION TO PREVENT ANY SEEPAGE OR SUBSOIL WATER FROM INTERFERING WITH THE PROGRESS OF THE WORKS. THE WORK SHALL BE KEPT FREE FROM SUCH WATER.
- SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED BY COUNCIL AND AS DETAILED IN HYDR. ENG. DRAWINGS SHALL BE CARRIED OUT FOR THE FULL DURATION OF THE WORKS BY THE CONTRACTOR.
- THE SITE AREA SUBJECT TO NEW WORKS IS TO BE CLEARED OF ALL VEGETATION, FALLEN TIMBER, RUBBISH, DEBRIS AND CONCRETE FOUNDATIONS.
- STRIP EXISTING TOPSOIL AND DISPOSE OF OR REUSE FOR LANDSCAPING AS PER SPECIFICATION. DEPTH OF TOPSOIL MAY EXCEED 200 mm IN SOME AREAS. ONLY REMOVE TOPSOIL AS DIRECTED BY THE SUPERINTENDENT.

EARTHWORKS WHERE IN SOIL

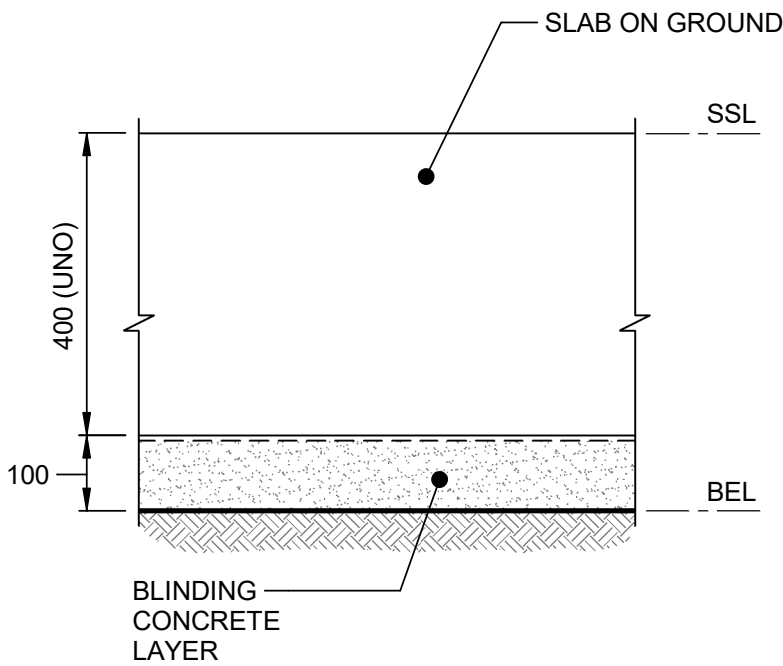
- ALL WORK TO BE IN ACCORDANCE WITH AS3798-2007 AND COUNCIL REQUIREMENTS.
- IN CUT AREAS:-
CUT TO LEVEL OF TOP OF SUBGRADE. REPLACE SOFT AREAS. TOP 200 OF SUBGRADE TO BE COMPACTED TO 100% STANDARD, AS PER FILLING NOTES UNO.
- IN FILL AREAS:-
REPLACE SOFT AREAS, PLACE AND COMPACT NEW FILL IN 200mm MAX. THICK LAYERS (LOOSE FILL), AT MOISTURE CONTENT IN RANGE OF $\pm 2\%$ OF STANDARD OPTIMUM (AS PER AS1289.5) AND COMPACT TO A RANGE BETWEEN 98% AND 102% OF STANDARD DRY DENSITY RATIO AS PER AS1289.5 TEST COMPACTED FILL UNO. TOP 200 OF SUB GRADE TO BE COMPACTED TO 100% STANDARD DRY DENSITY RATIO UNO.
- FILL MATERIAL- TO BE AS SPECIFIED IN AS3798-2007 CLAUSE 4.4 AND AS AGREED WITH THE SITE SUPERINTENDENT.

EARTHWORKS WHERE IN ROCK

- ALL WORK TO BE IN ACCORDANCE WITH AS3798 UNO.
- CUT TO LEVEL OF TOP OF SUBGRADE PLUS THICKNESS OF GRANULAR LAYER. SUBGRADE PREPARATION TO SUIT REQUIREMENTS OF PILING CONTRACTOR'S EQUIPMENT. BULK EXCAVATION LEVELS SHOWN INCLUDE ANY TOP LAYERS REPLACED TO CREATE WORKING PLATFORM FOR PILING RIG. TOP LAYER SHALL BE COMPACTED GRANULAR MATERIAL.
- FOLLOWING COMPLETION OF PILING WORKS AND PRIOR TO CONSTRUCTION OF BASEMENT SLAB, GEOTECHNICAL INSPECTION AND COMPACTION WILL BE REQUIRED.
- REFER GEOTECHNICAL REPORT:
EI AUSTRALIA E25203.G04 DATED 21 NOVEMBER 2023 AND SUBSEQUENT REPORTS AND INSTRUCTIONS.
- DETAILED, ON-GOING INSPECTION BY AN EXPERIENCED GEOTECH ENGINEER OF ANY EXCAVATED ROCK FACES.

NOTE:

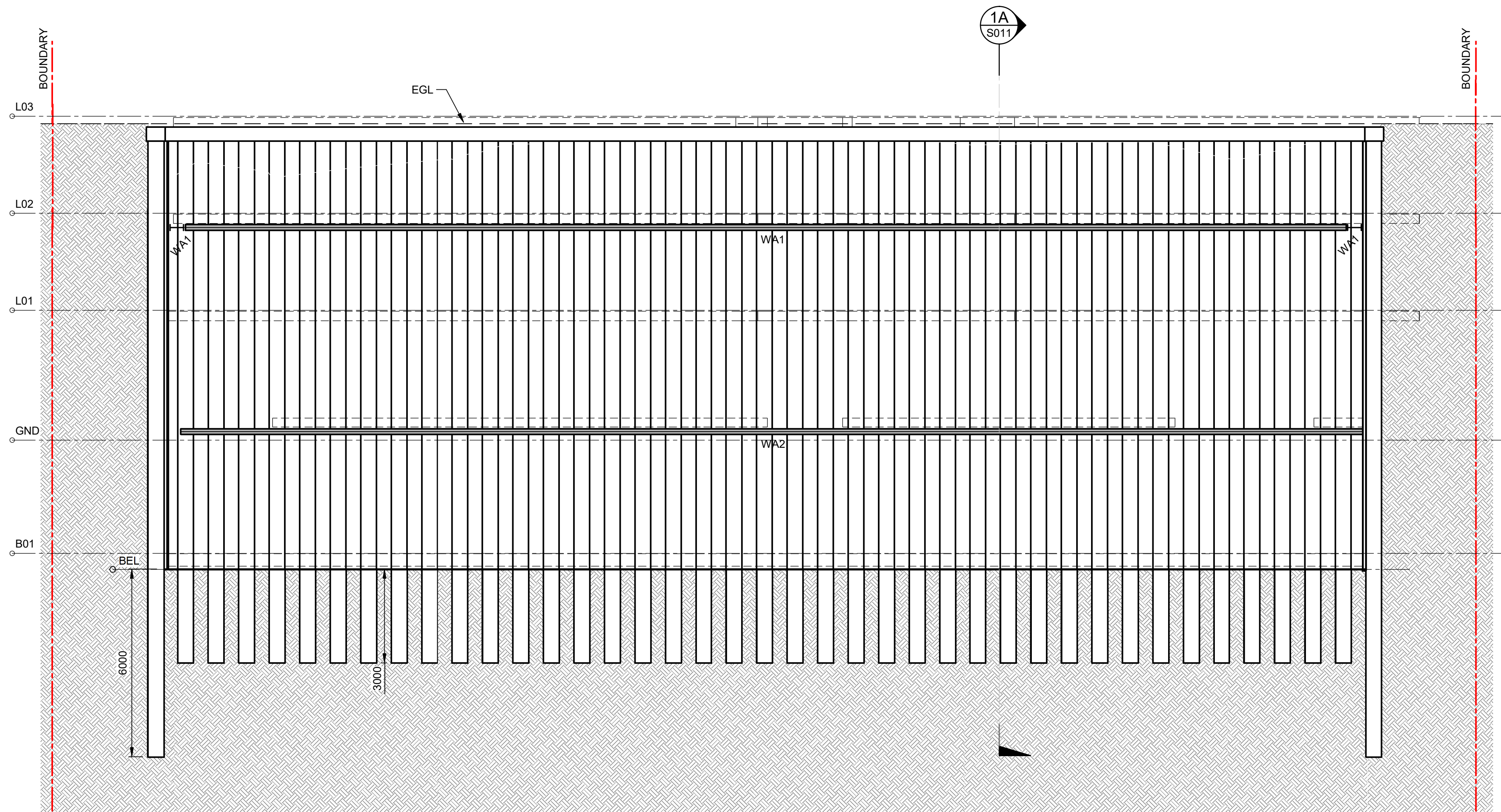
- SHORING WALL TO BE CONSTRUCTED IN A STAGED MANNER SO THAT THE TEMPORARY EXCAVATION IS STABLE AT ALL TIMES.
- STAGING OF EXCAVATION TO BE REVIEWED BY GEOTECHNICAL ENGINEER.
- NO EXCAVATION BELOW 500 BELOW TEMPORARY ANCHOR LOCATION UNTIL TEMPORARY ANCHOR HAS BEEN FULLY STRESSED AND APPROVED.



TYPICAL BULK EXCAVATION DETAIL
SCALE 1:10

 **PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW**
PROCEEDINGS NO: 2023/00465007
DATED: 14 March 2025

ISSUED FOR APPROVAL

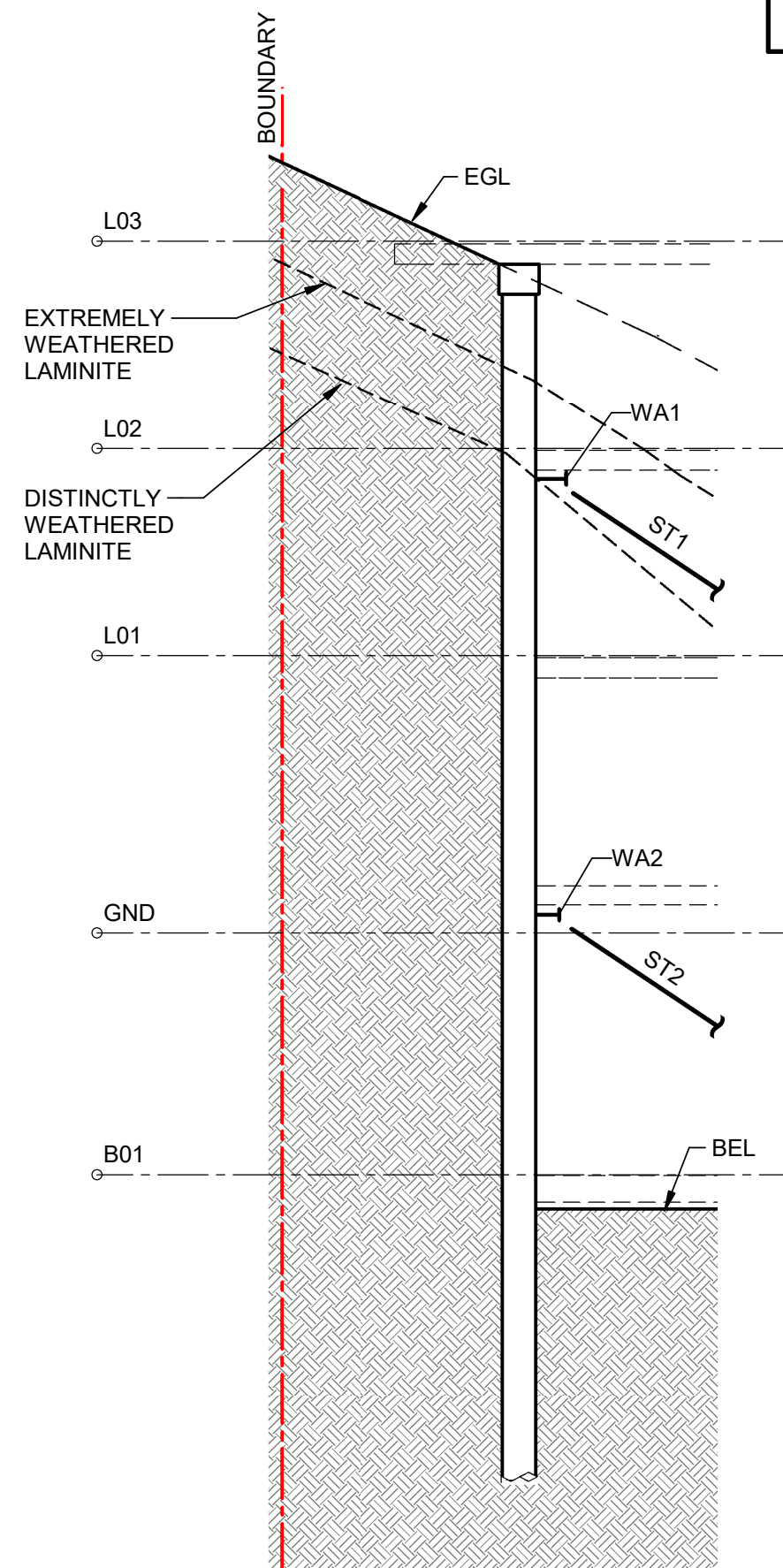


EASTERN SHORING ELEVATION (TYPE 1)

ELEVATION 1
SCALE 1 : 100

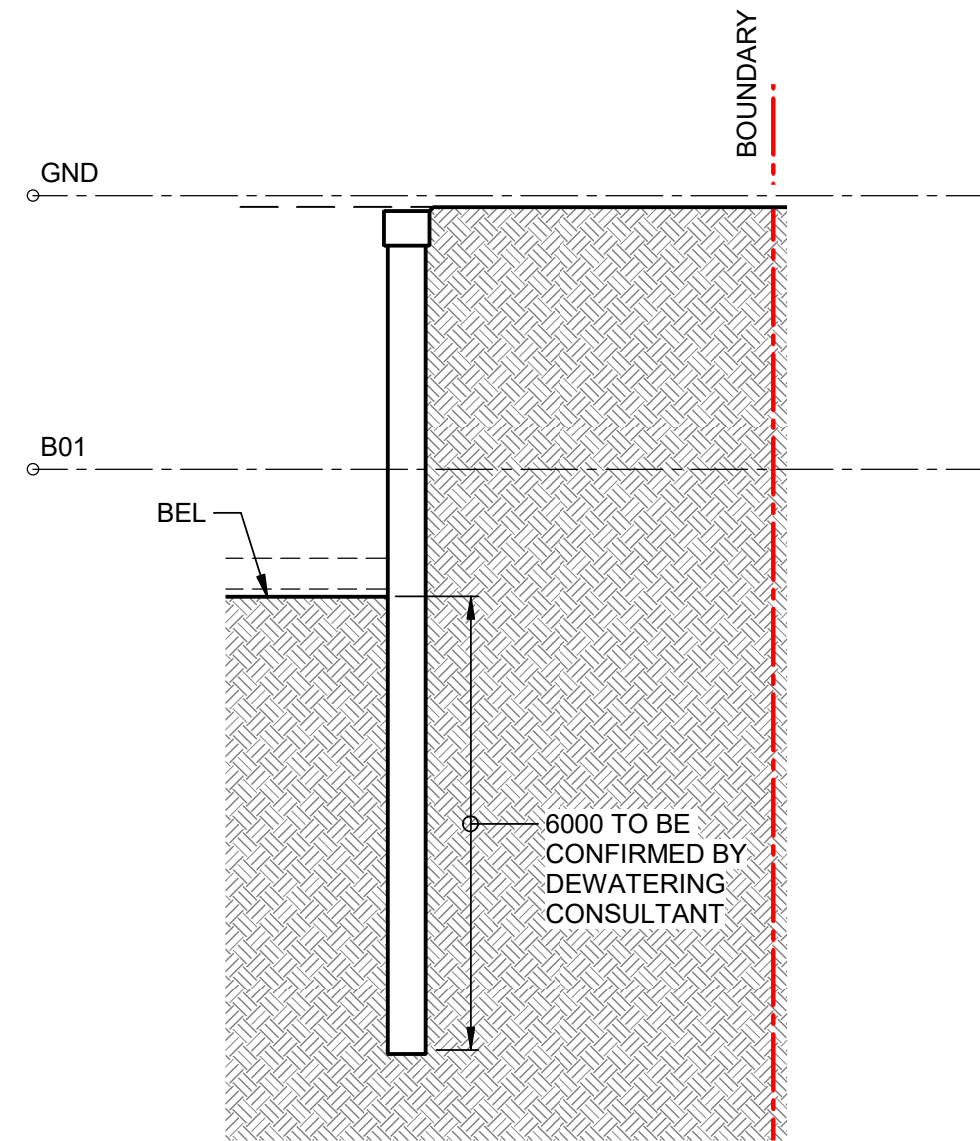
NOTE:
GEOTECHNICAL PROFILE INFERRED
FROM GEOTECHNICAL REPORT,
SHOWN INDICATIVELY ONLY. REFER TO
SPECIFIC BOREHOLE DETAILS
WHERE AVAILABLE. TO BE CONFIRMED
ON SITE BY FURTHER OBSERVATIONS
DURING EXCAVATION AND/OR FROM
ADDITIONAL BORE HOLES.

NOTE:
REFER DWG.S010 FOR STRUT AND WALER SCHEDULE



SECTION 1A
SCALE 1 : 100

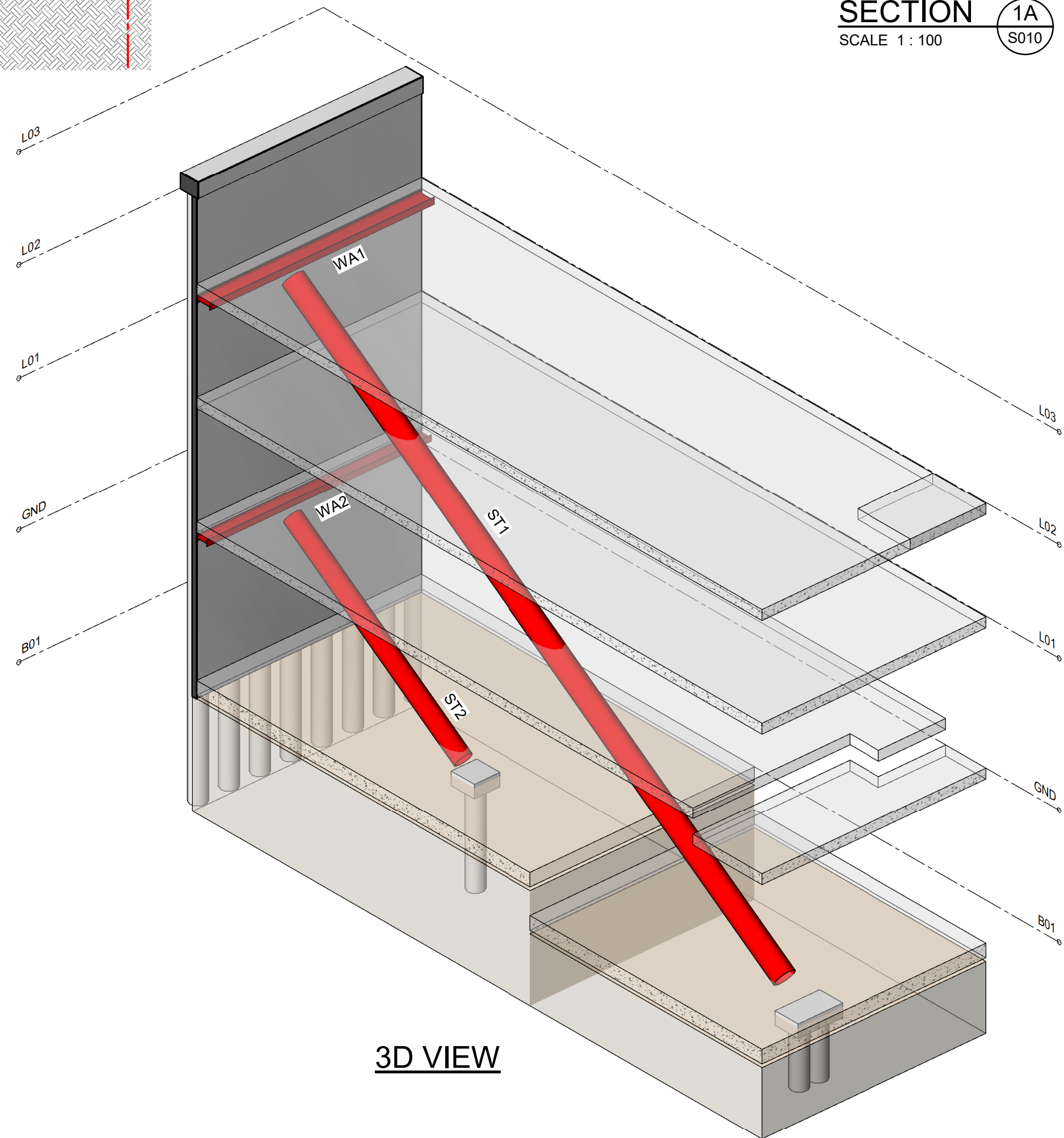
REFER STAGING PLAN DWG.S020



TYPICAL TYPE 3 (SECANT PILE) SHORING
(TYPE 2 SIMILAR)

SECTION 1B
SCALE 1 : 100

northern
beaches
council
PLANS APPROVED BY THE LAND AND
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3D VIEW

ISSUED FOR APPROVAL

1	ISSUED FOR APPROVAL	07-08-24
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ARCHITECT

SUITE 41 & 42, LEVEL 4
61 MARLBOROUGH ST
SURRY HILLS, NSW 2010
T 02 9698 8510
ABN 63 131 365 896
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NSW ARCHITECTS 6901
VIC ARCHITECTS 16179
QLD ARCHITECTS 5590
KOICHI TAKADA.COM

Koichi
Takada
Architects

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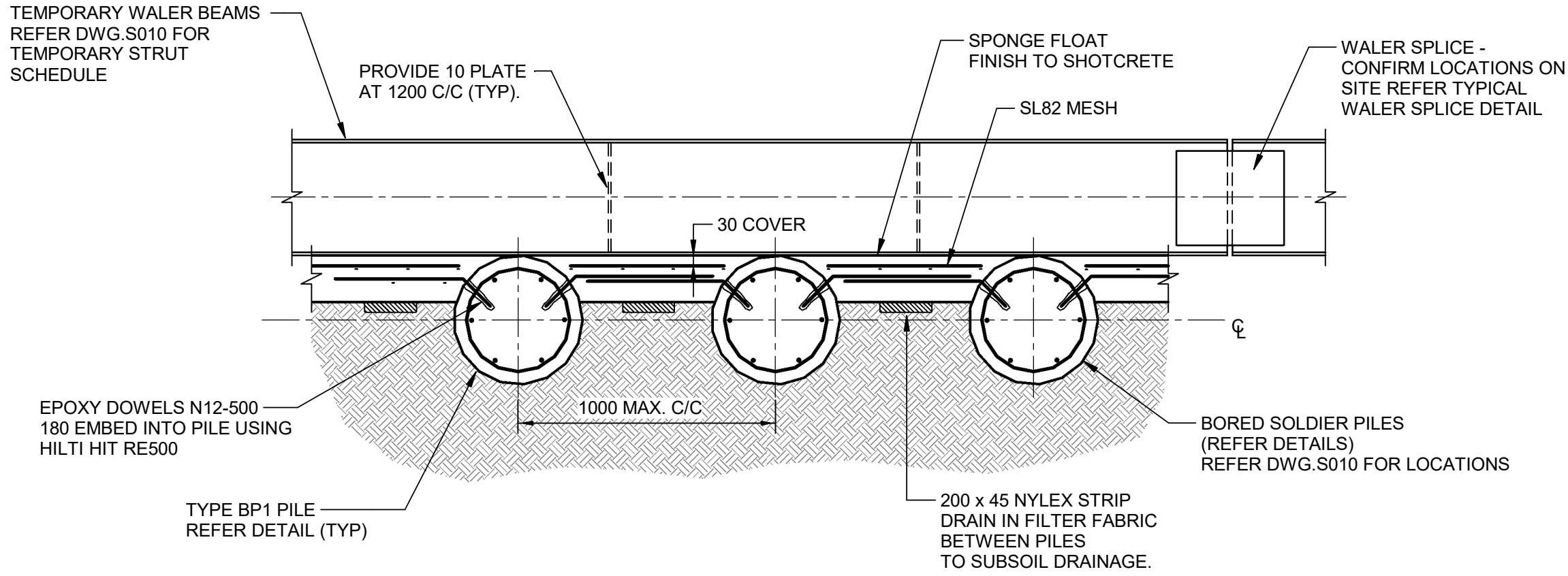
Email: mzg@mg.com.au
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(PO Box 1656, NSW 2059)



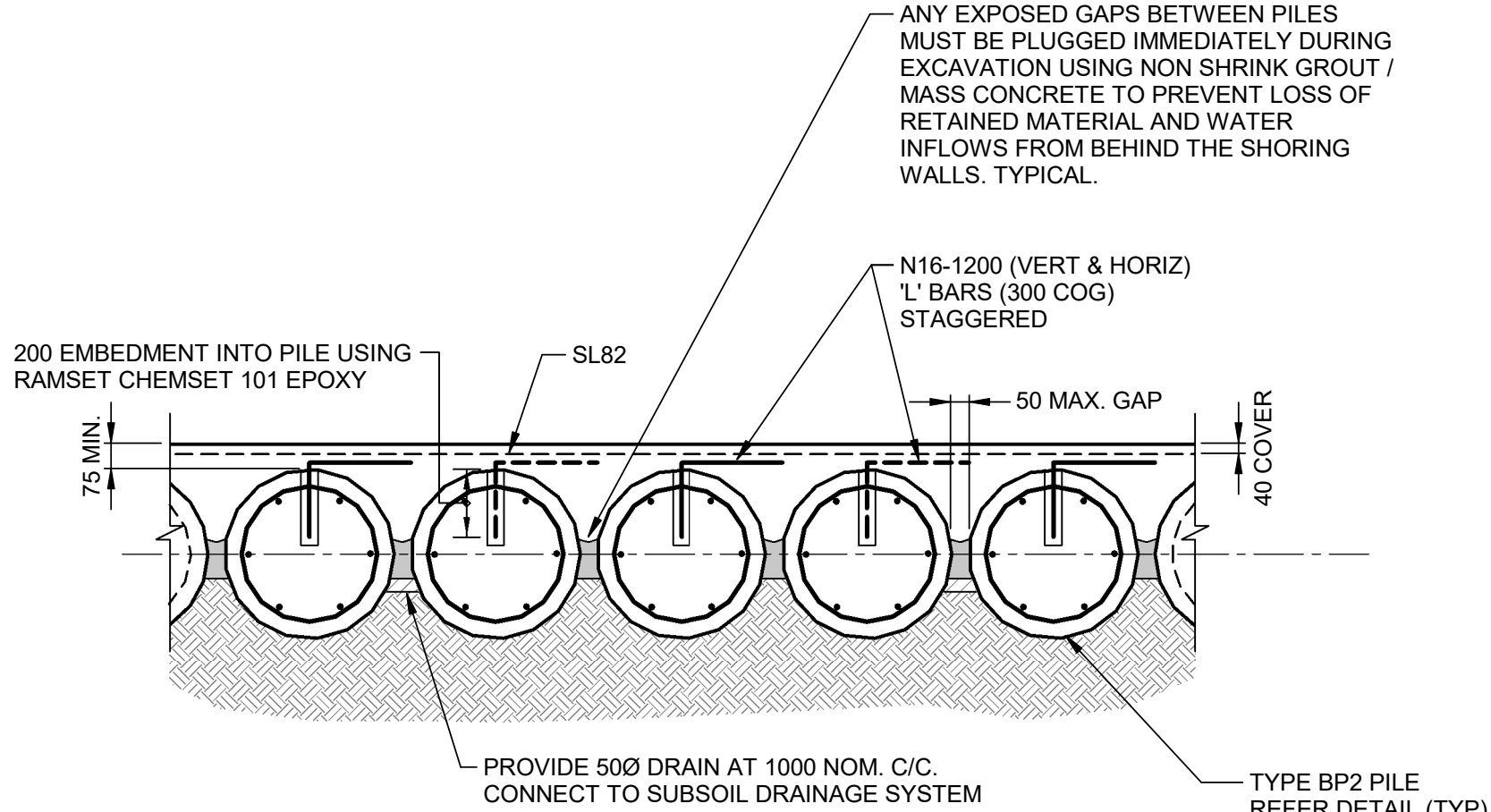
TITLE

SHORING ELEVATIONS AND
SECTIONS

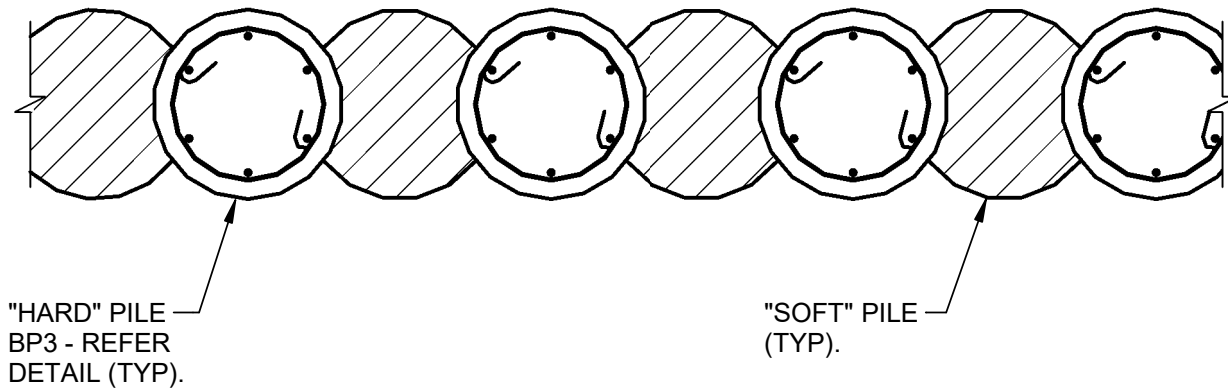
DRAWN BM	DESIGNED ZG	REVIEWED ZG	DATE AUG 2024	SCALE AS NOTED
JOB NO. 5598	DRAWING NO. S011	1 ISSUE		



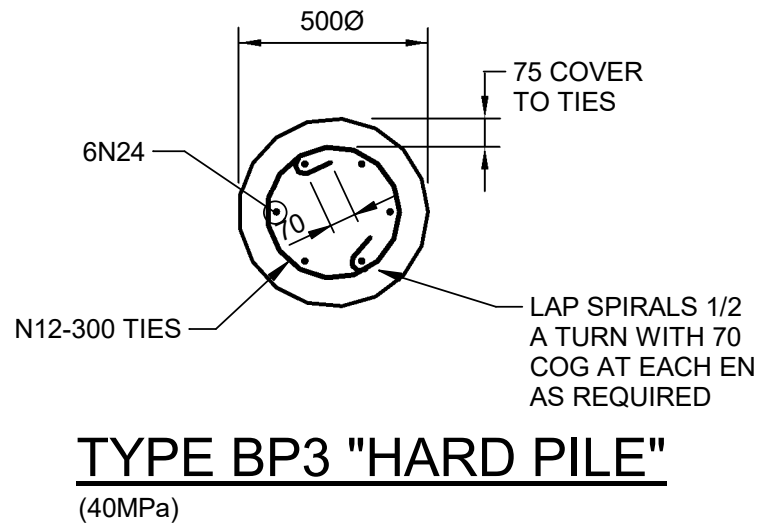
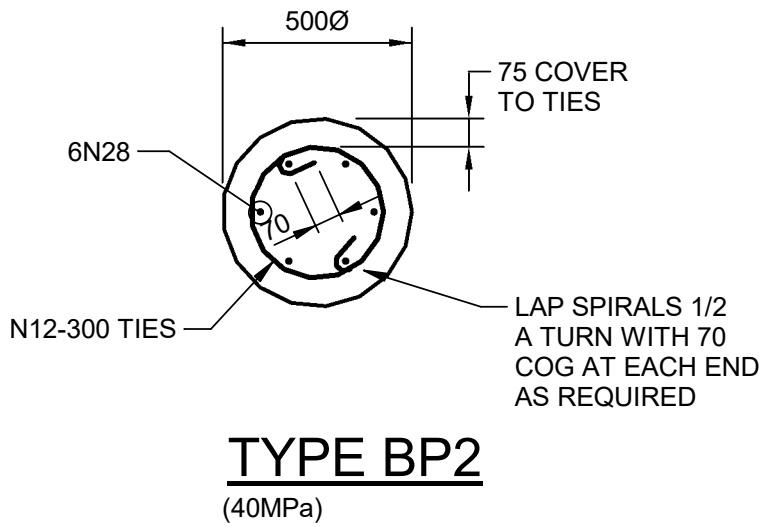
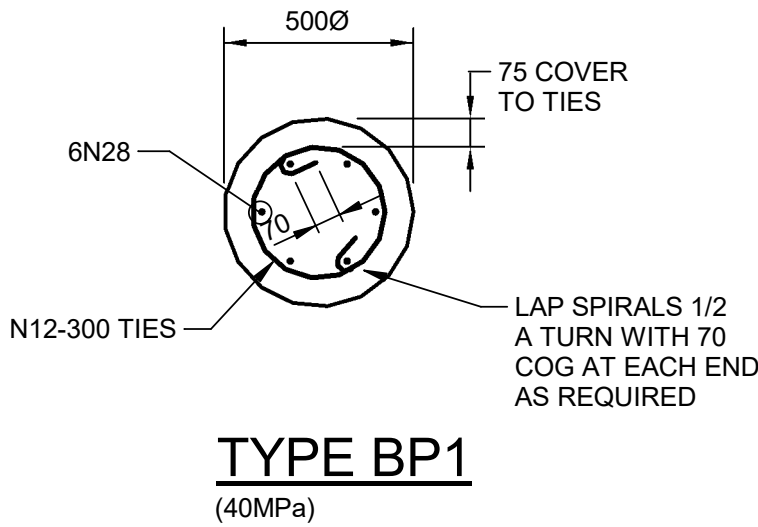
TYPICAL TYPE 1 SHORING PLAN -
SOLDIER PILE AND SHOTCRETE WALL
- ABOVE MEDIUM STRENGTH SILTSTONE
NTS



TYPICAL TYPE 2 SHORING PLAN -
CONTIGUOUS PILE AND SHOTCRETE FACING PLAN
SCALE 1:20
IF SHOTCRETE USED, REFER GEOTECHNICAL REPORT.



TYPICAL TYPE 3 SHORING PLAN - SECANT PILE
NTS
SECANT PILE WALL TO BE WATERTIGHT TO PILING SUB-CONTRACTOR'S DETAIL



NOTE:
SECANT PILE WALL TO BE WATERTIGHT TO
PILING SUB-CONTRACTOR'S DETAIL

SHORING PILE SECTIONS
SCALE 1:20
REFER PLAN FOR LOCATIONS



ISSUED FOR APPROVAL

1	ISSUED FOR APPROVAL	07-08-24
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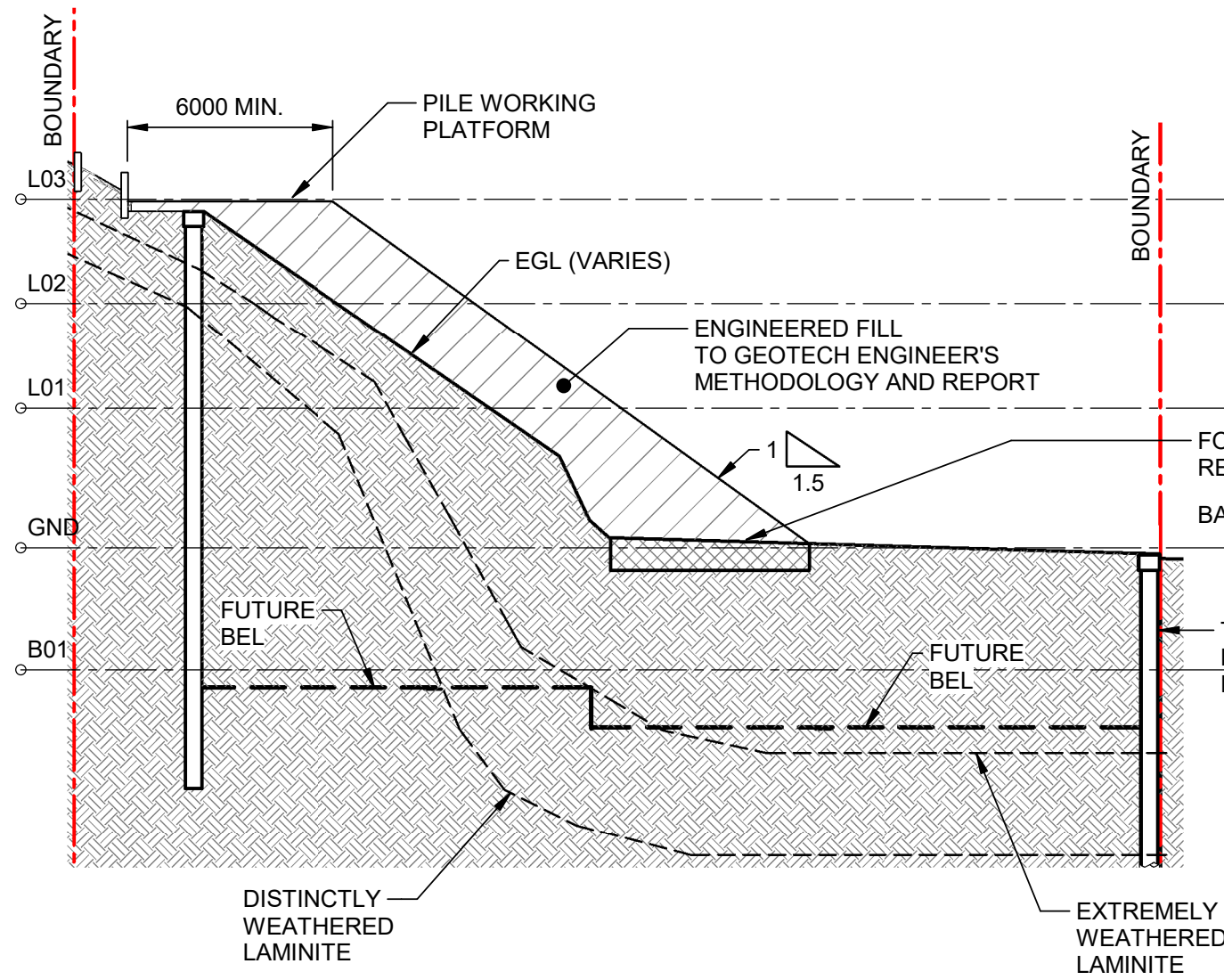
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Koichi Takada Architects

PROJECT
1112-1116 BARRENJOEY RD 1112 - 1116 BARRENJOEY ROAD, PALM BEACH

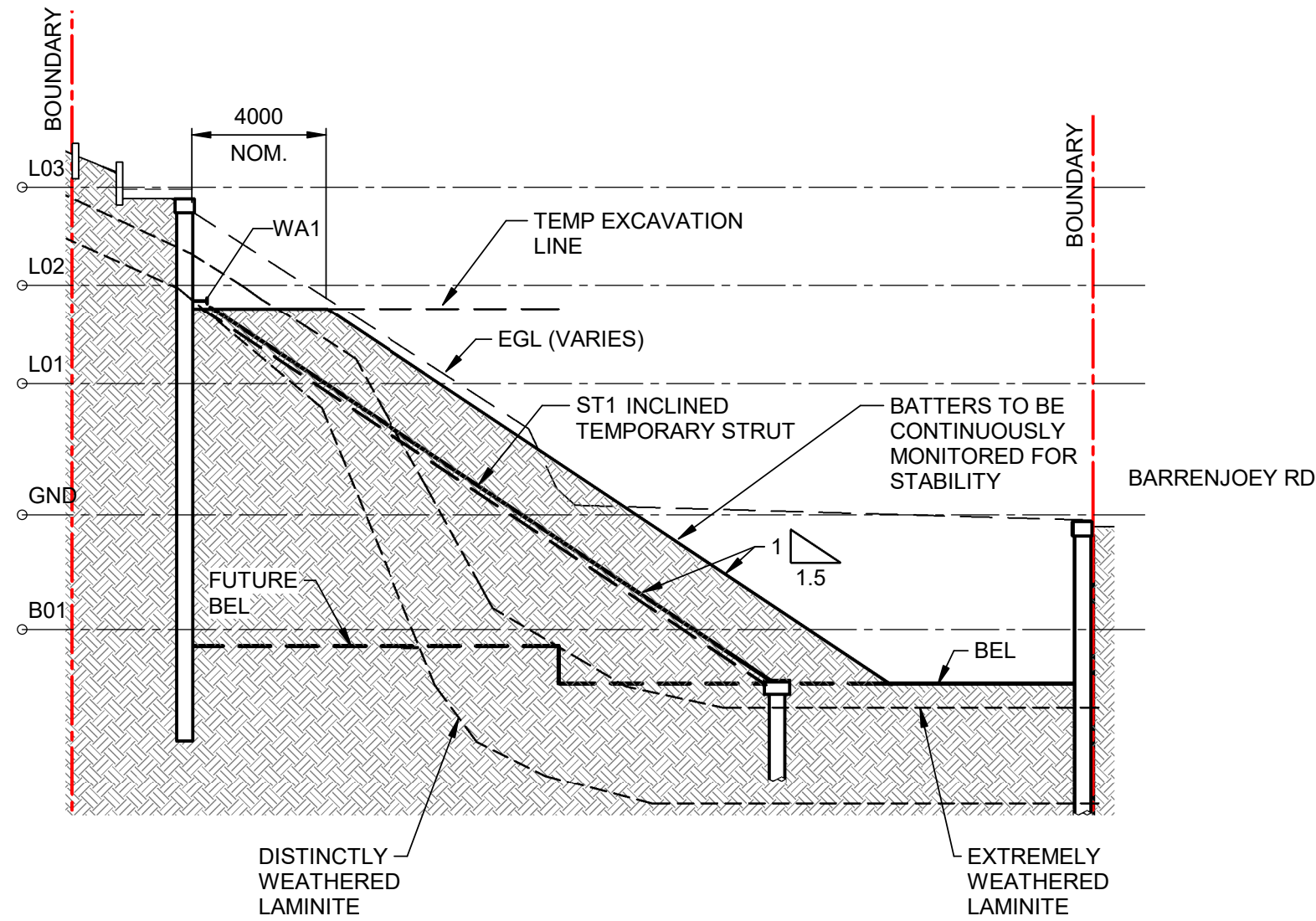
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CONSULT AUSTRALIA Member Firm
AUSTRALIAN STEEL INSTITUTE Member of
REGISTERED ENGINEER ACSE REGISTERED YEAR

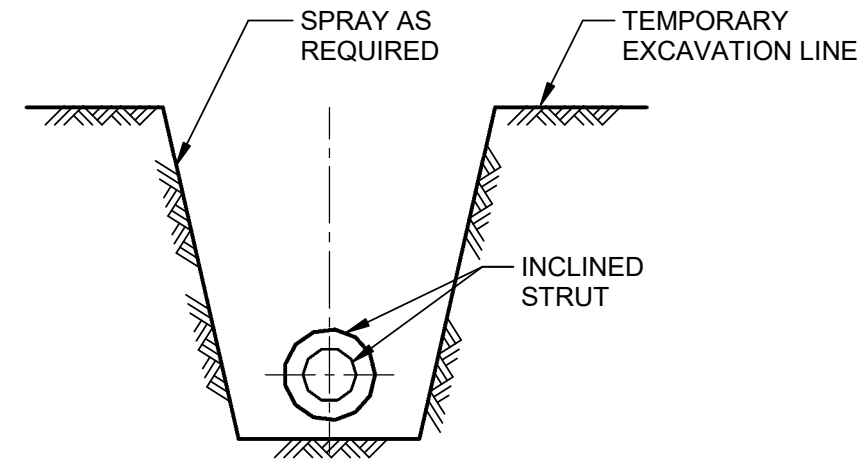
TITLE SHORING DETAILS				
DRAWN BM	DESIGNED ZG	REVIEWED ZG	DATE AUG 2024	SCALE AS NOTED
JOB NO. 5598		DRAWING NO. S015		1 ISSUE



SHORING STAGING AND SEQUENCE - STEP 1
SCALE 1 : 200



SHORING STAGING AND SEQUENCE - STEP 2
SCALE 1 : 200

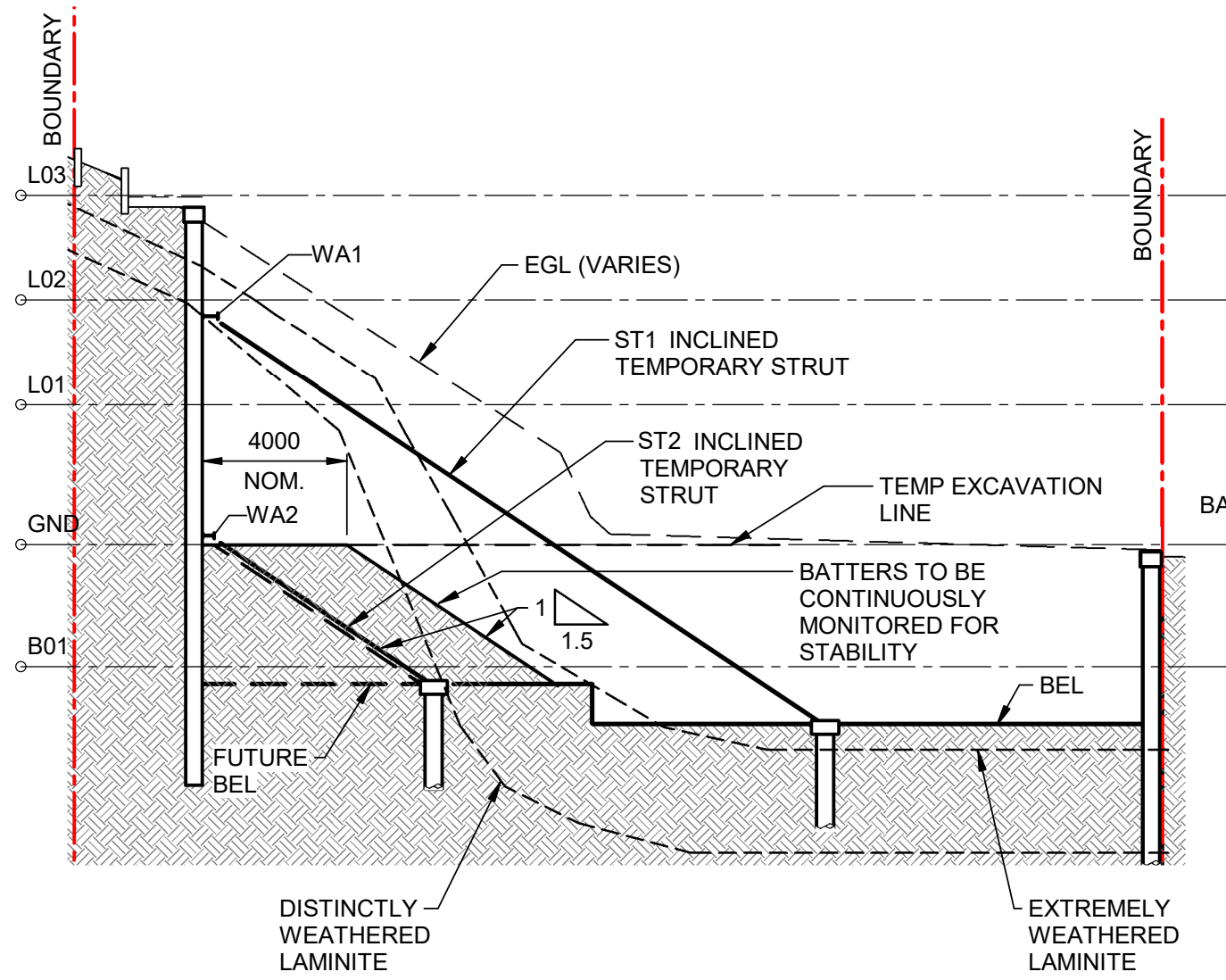


INCLINED STRUT INSTALLATION DETAIL
SCALE 1 : 50

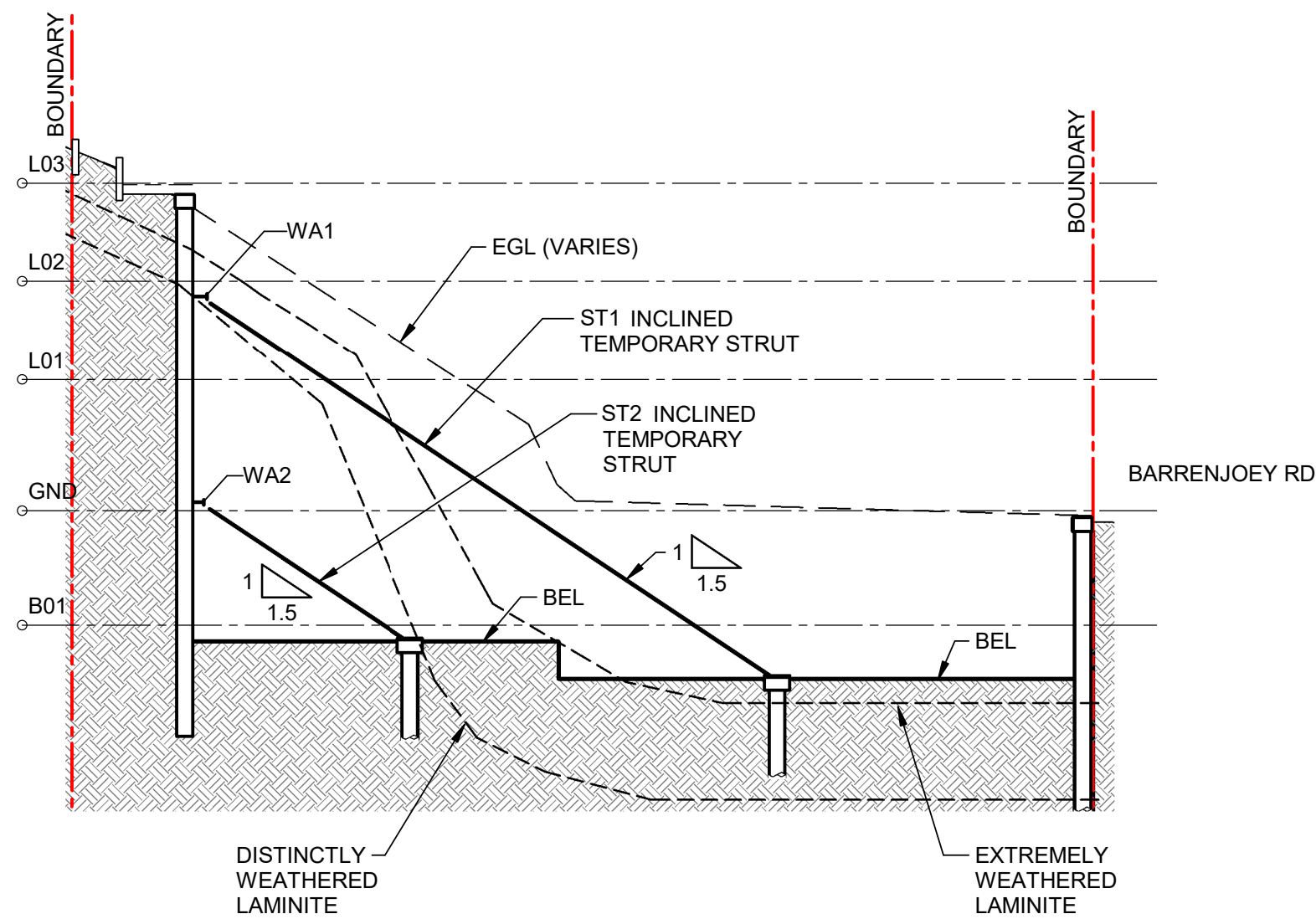
STAGING SEQUENCE

1. REMOVE EXISTING STRUCTURES AND RETAINING WALLS WITHIN THE SITE. COMPACT EGL AND BUILD ACCESS PLATFORM FOR THE PILING RIG, IN ACCORDANCE WITH THE REQUIREMENTS AND DETAILS IN THE GEOTECHNICAL METHODOLOGY BY EIA.
2. CONSTRUCT PILING AROUND THE FULL PERIMETER OF THE EXCAVATION AS PER THE PLAN.
3. REMOVE THE PILING RIG AND COMMENCE PROGRESSIVE EXCAVATION, DOWN TO TEL1 (TEMPORARY EXCAVATION LINE 1). INSTALL WALER BEAMS WA1 AS SPECIFIED. CUT SLOTS IN THE BATTER AS PER DETAIL, INSTALL BASE RESTRAINT PILES AND INSTALL INCLINED STRUTS ST1.
4. COMMENCE DEWATERING AS SPECIFIED BY EIA.
5. CONTINUE PROGRESSIVE EXCAVATION DOWN TO TEL2. INSTALL WALER BEAMS WA2 AS SPECIFIED, PROVIDE SLOTS AND BASE PILES FOR STRUTS ST2 AND INSTALL ST2 STRUTS.
6. COMPLETE EXCAVATION TO BEL AS NOTED.
7. PROGRESS BUILDING STRUCTURE TO GF LEVEL INCLUDING HYDROSTATIC SLAB AND WALLS (TANKED BASEMENT) AND GF SLAB.
8. ONCE GF SLAB CURED, REMOVE ST2 STRUTS AND WA2 WALERS.
9. CONTINUE BUILDING STRUCTURE UP TO L2 INCLUDING L2 SLAB.
10. ONCE L3 SLAB SUFFICIENTLY CURED, REMOVE ST1 STRUTS AND WA1 WALERS.
11. COMPLETE STRUCTURE TO THE ROOF LEVEL, DEWATERING MAY BE DISCONTINUED.

NOTE:
GEOTECHNICAL PROFILE INFERRED FROM GEOTECHNICAL REPORT, SHOWN INDICATIVELY ONLY, REFER TO SPECIFIC BOREHOLE DETAILS WHERE AVAILABLE, TO BE CONFIRMED ON SITE BY FURTHER OBSERVATIONS DURING EXCAVATION AND/OR FROM ADDITIONAL BORE HOLES.



SHORING STAGING AND SEQUENCE - STEP 3
SCALE 1 : 200



SHORING STAGING AND SEQUENCE - STEP 4
SCALE 1 : 200

ISSUED FOR APPROVAL

1	ISSUED FOR APPROVAL	07-08-24
NO.	REVISION	DATE

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KOICHI TAKADA.COM

Koichi
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Architects

PROJECT

1112-1116 BARRENJOEY RD
1112 - 1116 BARRENJOEY ROAD, PALM BEACH

CLIENT

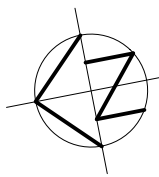
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TITLE SHORING STAGING AND SEQUENCE				
DRAWN BM	DESIGNED ZG	REVIEWED ZG	DATE AUG 2024	SCALE AS NOTED
JOB NO. 5598	DRAWING NO. S020			1 ISSUE



NOTE: PROVIDE CAPPED BRANCH LINE FROM CHARGED LINE TO INLET PIT TO ALLOW FOR ROUTINE FLUSHING AND MAINTENANCE (TYP)

G
3

6000 LITRE RAINWATER STORAGE TANKS TO BASIX REQUIREMENTS & WITH Ø100 HIGH LEVEL OVERFLOW OUTLETS (TYP) DRAINING 120 m² OF ROOF (MIN)

PROVIDE RAINHEADS WITH Ø100 DOWNPIPES TO DRAIN UPPER LEVEL ROOF AREA

C
3

300 SQ. BY 300 DEEP INLET PIT

A
3

PROVIDE 'SPS TRUFLO 100mm WITH ALL-PURPOSE PLANTER BOX ADAPTER' OR EQUIVALENT TO BALCONY AREAS (TYP)

B
3

450 SQ x 600 DEEP PIT (TYP)

NOTE: ALL Ø100 'CHARGED' P.V.C. DOWNPIPES TO RAINWATER TANKS TO BE WATERTIGHT TO 1.0m ABOVE TOP OF TANK LEVEL

NOTE: SECURE DRAINAGE LINES TO UNDERSIDE OF SLAB FOR CONNECTION TO DRAINAGE SYSTEM

ATLAN 'ECOCEPTOR 1500' POLLUTION CONTROL DEVICE TO MANUFACTURER'S SPECIFICATIONS (TYP)

HERITAGE ZONE REFER TO LANDSCAPING PLANS

150 WIDE GRATED DRAIN TO FRONT OF TERRACES TO EACH LEVEL (TYP)

B
3



PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2023/00465007

DATED: 14 March 2025

DRAINAGE NOTES

- DENOTES EXISTING GROUND LEVEL.
- FALL STORMWATER PIPES AT 1% MIN. UNLESS OTHERWISE NOTED.
- SUB-SOIL DRAINAGE TO BE CONNECTED TO THE SITE DRAINAGE SYSTEM AS NECESSARY.
- SURFACE GRATES 300 SQ. UNLESS OTHERWISE NOTED.
- ALL STORMWATER PIPES TO HAVE SOLVENT CEMENT WATERTIGHT JOINTS.
- CHECK & LOCATE DEPTH OF EXISTING MAINS & SERVICES PRIOR TO CONSTRUCTION OF STORMWATER SYSTEM AS VARIATIONS IN POSITION OF MAINS COULD AFFECT DRAINAGE CONSTRUCTION DETAILS.
- INSPECTIONS MUST BE UNDERTAKEN BY THIS OFFICE (BY PRIOR ARRANGEMENT WITH ENGINEER) DURING CONSTRUCTION TO ENABLE FULL CERTIFICATION UPON COMPLETION OF WORKS.
- ALL CONSTRUCTION OF COUNCIL DRAINAGE WORKS TO COMPLY WITH COUNCIL STANDARD.
- REMOVE REDUNDANT DRAINAGE PITS AND SEAL PIPES.
- PIT BENCHING TO BE HALF THE OUTGOING PIPE DIAMETER. CONCRETE FOR BENCHING TO BE 20 MPa MASS CONCRETE.
- APPROVED PRE-CAST PITS MAY BE USED.
- ALL PIPES TO BE LAID ON COMPACTED FINE CRUSHED ROCK OR SAND BEDDING 75mm THICK & PIPES BACKFILLED WITH COMPACTED SAND TO 300mm ABOVE TOP OF PIPE, ELSE ATTACHED TO UNDERSIDE OF STRUCTURE AT 600mm c/c AS NECESSARY.
- PIPE ROUTES SHOWN ARE INDICATIVE ONLY AND SHOULD BE AS NECESSARY ACCORDING TO SITE CONDITIONS, TREE POSITIONS ETC. CONFIRM SIGNIFICANT CHANGES IN PIPES SYSTEM DETAILS WITH SUPERVISING ENGINEER PRIOR TO COMMENCEMENT OF DRAINAGE CONSTRUCTION WORKS.
- CONTRACTOR SHALL ENSURE THAT SERVICES TO BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED. CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS WHERE REQUIRED. ONCE WORKS ARE COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SERVICES AND MAKE GOOD ALL DISTURBED AREAS.
- STORMWATER SYSTEM REQUIRES SIGNIFICANT MAINTENANCE DUE TO POTENTIAL HIGH POLLUTANT LOAD. FILTERS AND POLLUTANT TRAPS SHOULD BE CHECKED AFTER LARGE STORM EVENTS AND CLEANED EVERY 6 MONTHS.
- PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS-3500, THE NATIONAL DRAINAGE & PLUMBING CODE.
- WHERE POSSIBLE, DRAINAGE LINES SHALL BE LAID IN AREAS PREVIOUSLY DISTURBED BY OTHER SITE WORKS AND FOLLOW TOPOGRAPHICAL FEATURES TO REDUCE IMPACT AND AVOID TREE ROOTS.
- THIS STORMWATER MANAGEMENT PLAN HAS BEEN PREPARED FOR SUBMISSION TO COUNCIL/CERTIFIER AND DOES NOT NECESSARILY CONTAIN ALL APPROPRIATE INFORMATION TO ENABLE FOR ISSUE TO PLUMBER/BUILDER FOR CONSTRUCTION. CONTACT TAYLOR CONSULTING FOR MORE INFORMATION.

Ø225 UP V.C.
EXISTING Ø450
EXISTING Ø150

NOTE: CHECK & LOCATE DEPTH OF EXISTING MAINS & SERVICES PRIOR TO CONSTRUCTION OF STORMWATER SYSTEM AS VARIATIONS IN POSITION OF MAINS COULD AFFECT DRAINAGE CONSTRUCTION DETAILS.

BENCHMARK NAIL IN KERB R.L. 2.15 (A.H.D.)

200 WIDE HEAVY DUTY GRATED DRAIN ACROSS DRIVEWAY

EXISTING COUNCIL PIT (TYP)

BARRENJOEY ROAD

SITE DRAINAGE PLAN

SCALE 1:100

STORMWATER SYSTEM DESIGN DATA

SITE DATA

SITE AREA = 13615 m² (100%)
PROPOSED IMPERVIOUS AREA = 629.9 m² (46%)
PROPOSED LANDSCAPED AREA = 731.6 m² (54%)
EXISTING IMPERVIOUS AREA = 623.1 m² (45%)
EXISTING LANDSCAPED AREA = 738.4 m² (55%)

ISSUE DATE	REVISION
8 SEP 23	BASIX TANKS ADDED
12 SEP 24	UPDATED PLAN TO SUIT LATEST ARCHITECTURAL PLAN

TITLE
STORMWATER MANAGEMENT PLAN
1112-1116 BARRENJOEY ROAD, PALM BEACH

DRAWN
LI
ENGINEER
DMS

DATE
1 OCTOBER 2024

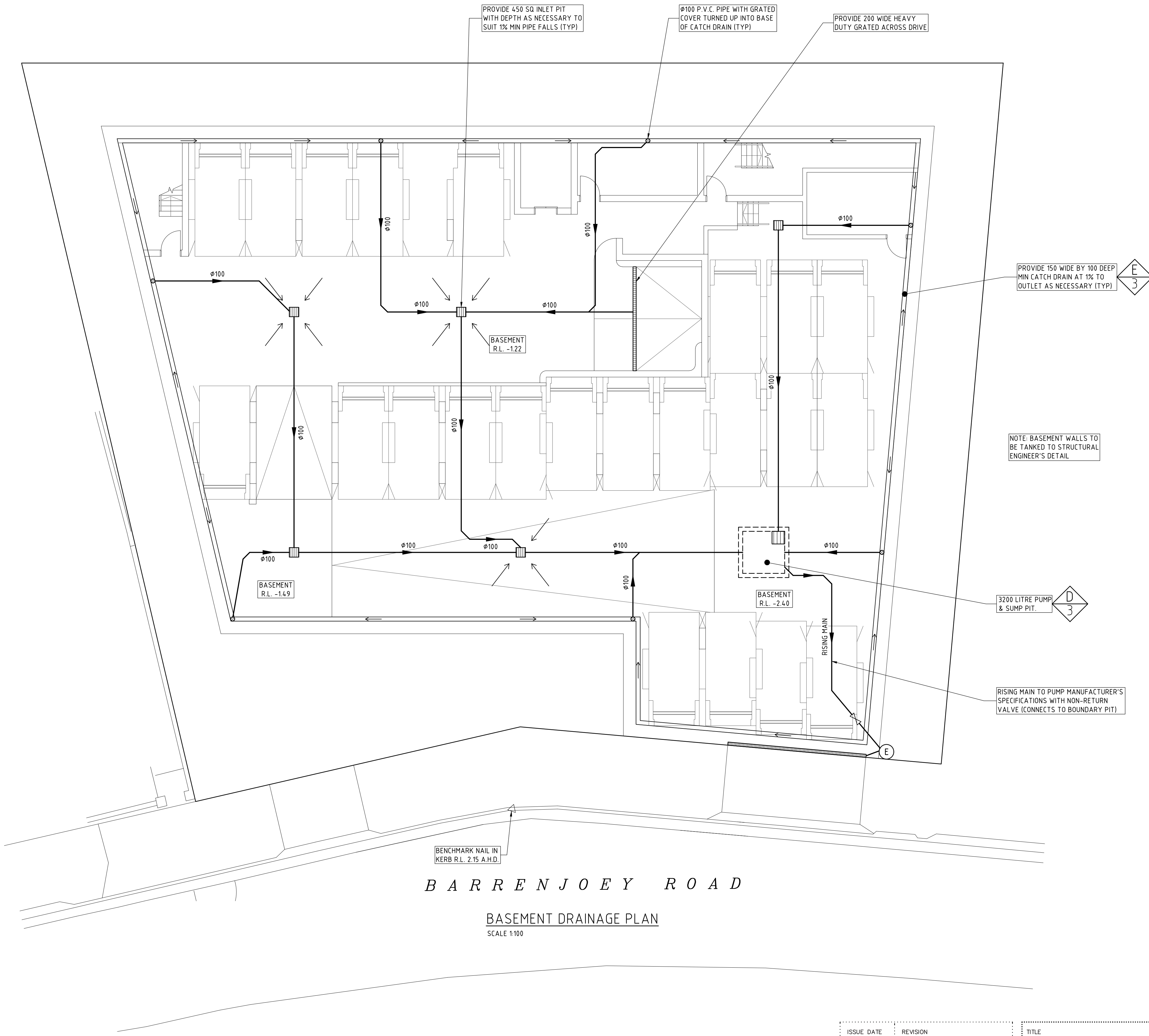
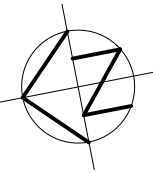
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BE Civil (Hons) MIE Aust.

SCALE @ A1
1:100

TAYLOR
CONSULTING
CIVIL & STRUCTURAL ENGINEERS

DRAWING NO
STORM-1/B

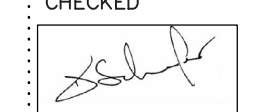


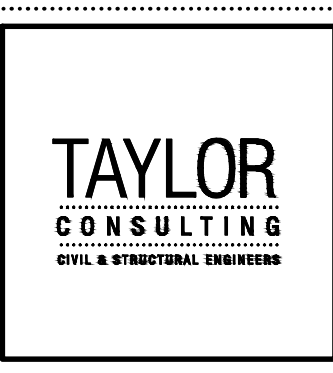
B A R R E N J O E Y R O A D

BASEMENT DRAINAGE PLAN
SCALE 1:100

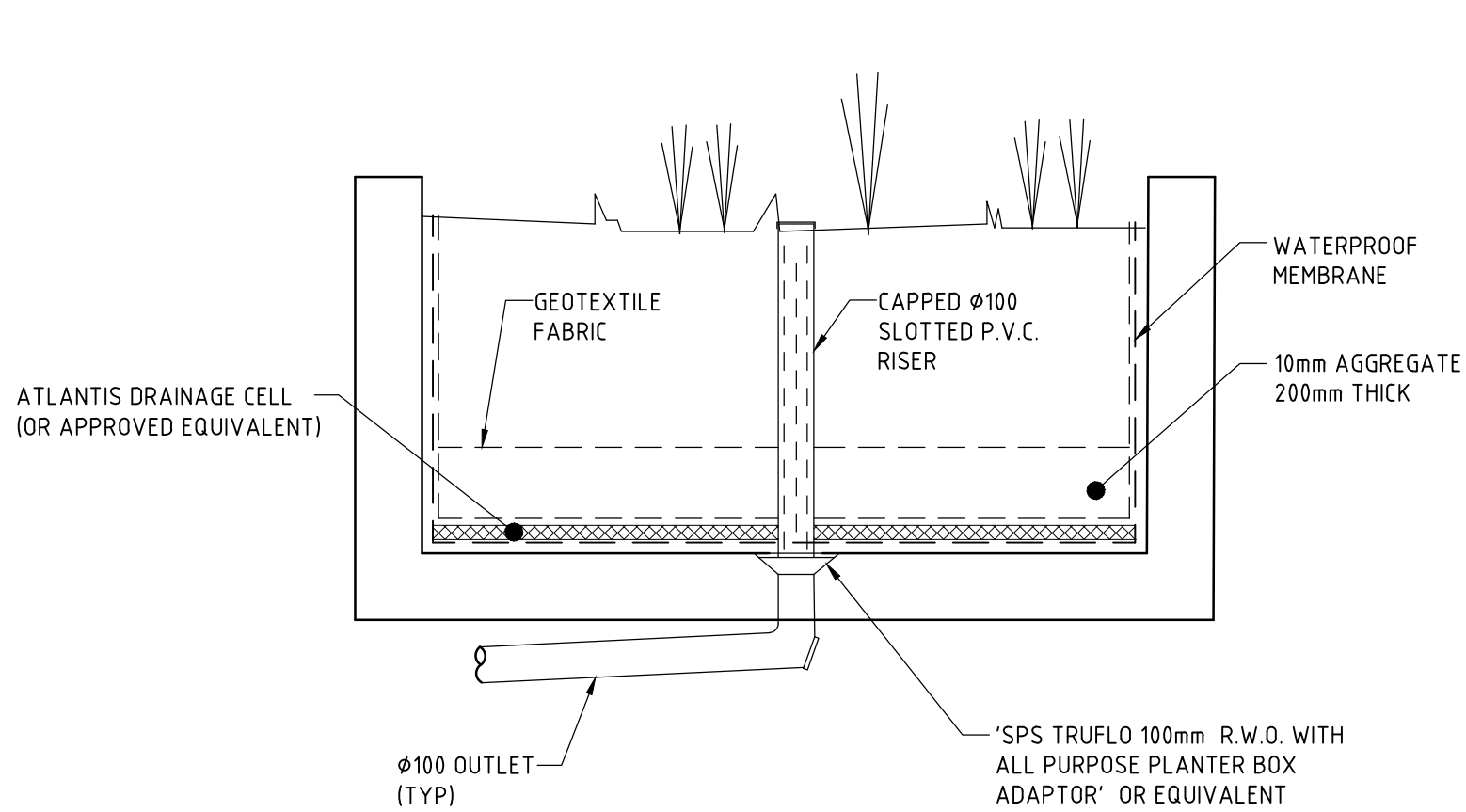
 northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2023/00465007
DATED: 14 March 2025

ISSUE DATE	REVISION
8 SEP 23	BASEMENT LEVELS UPDATED
13 SEP 24	UPDATED PLAN TO SUIT LATEST ARCHITECTURAL PLAN

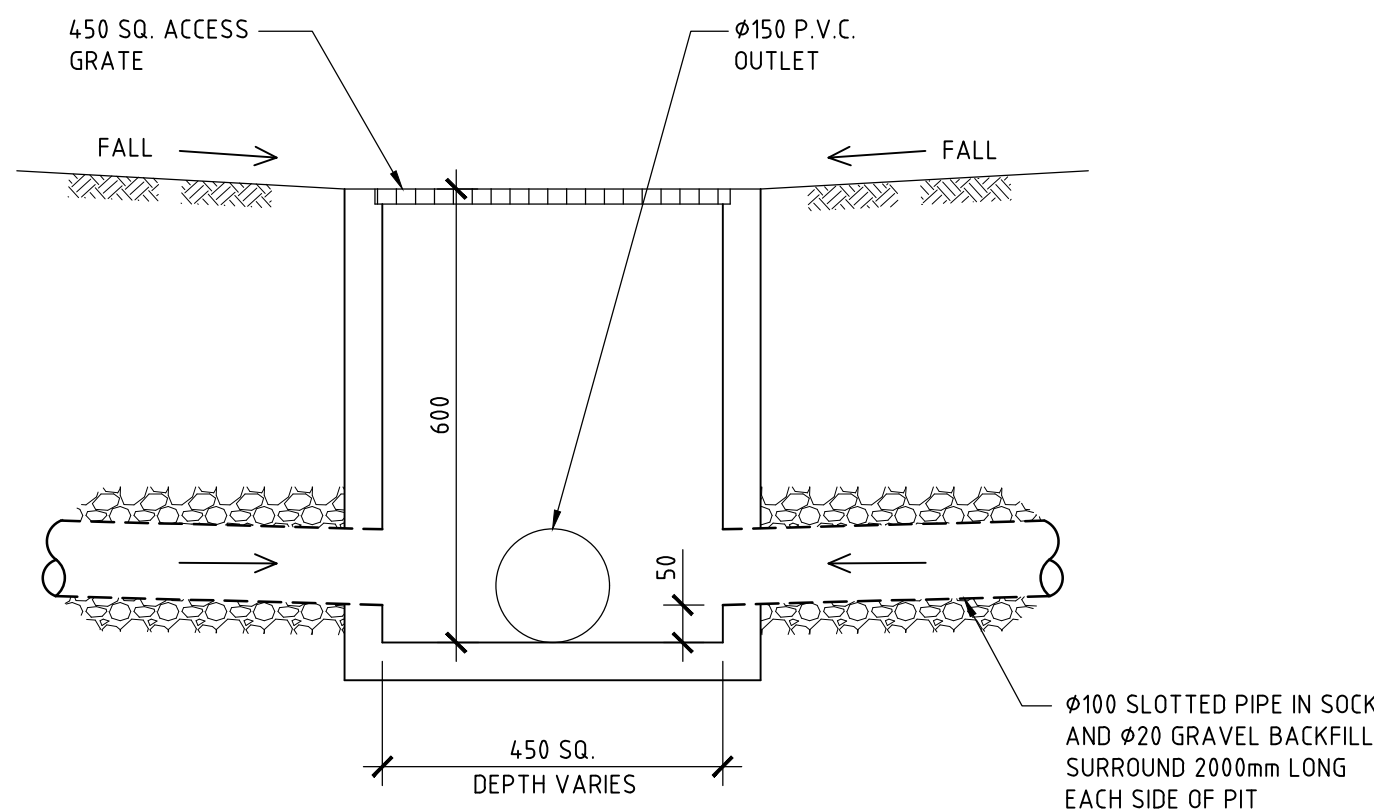
TITLE STORMWATER MANAGEMENT PLAN 1112-1116 BARRENJOEY ROAD, PALM BEACH			
DRAWN	DATE	CHECKED	SCALE
L I	3 OCTOBER 2024		A1 1:100
ENGINEER	DMS	BE Civil (Hons) MIE Aust.	



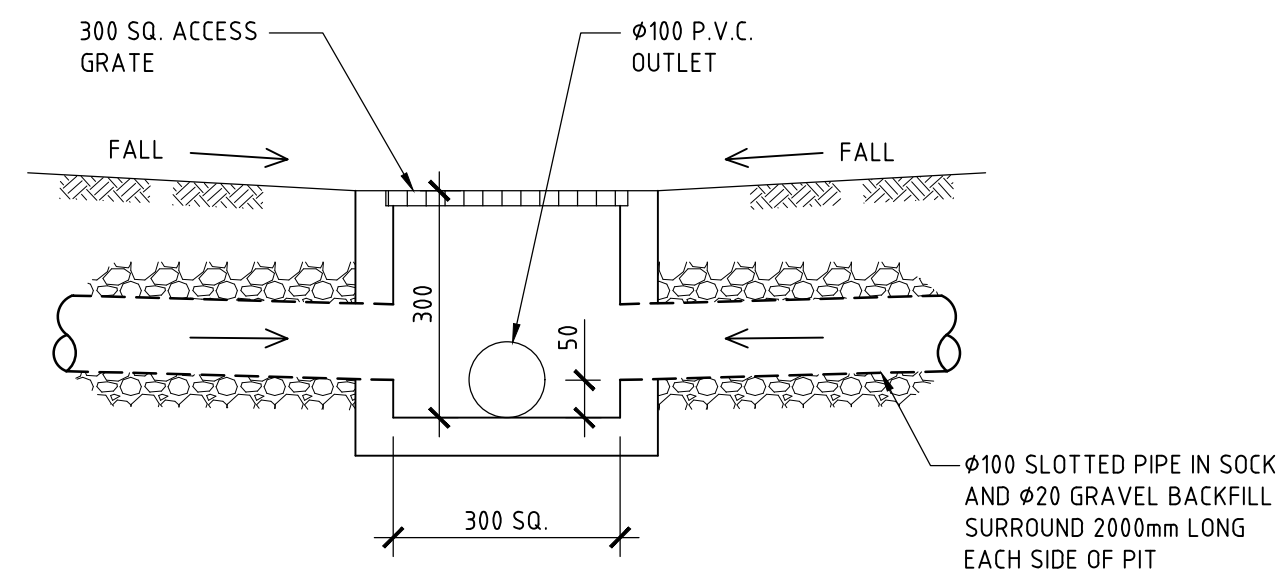
DRAWING NO
STORM-2/B



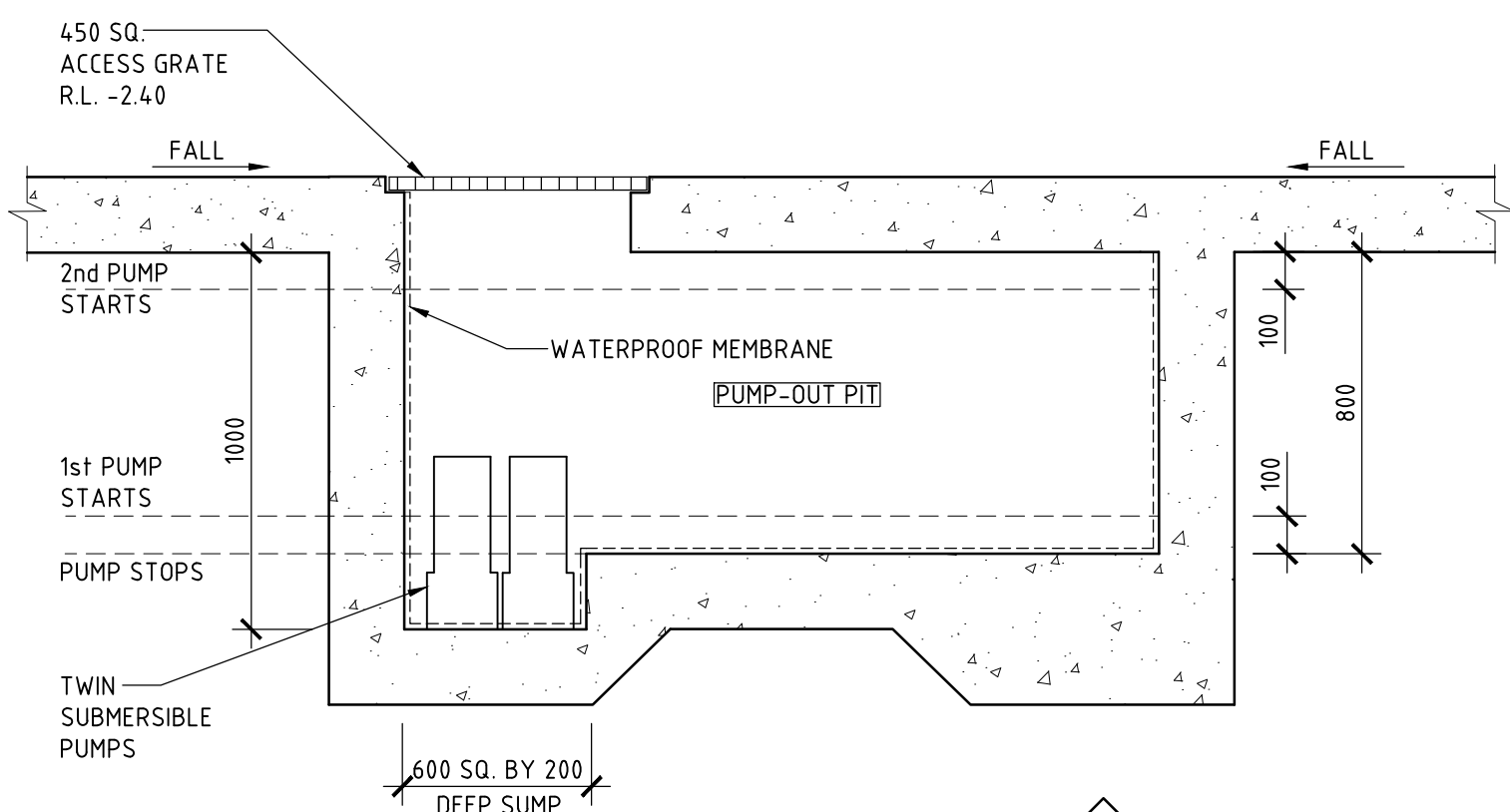
DETAIL A
SCALE 1:20
SHOWING TYPICAL PLANTER BOX DETAIL



DETAIL B
SCALE 1:10
TYPICAL SURFACE INLET PIT DETAIL



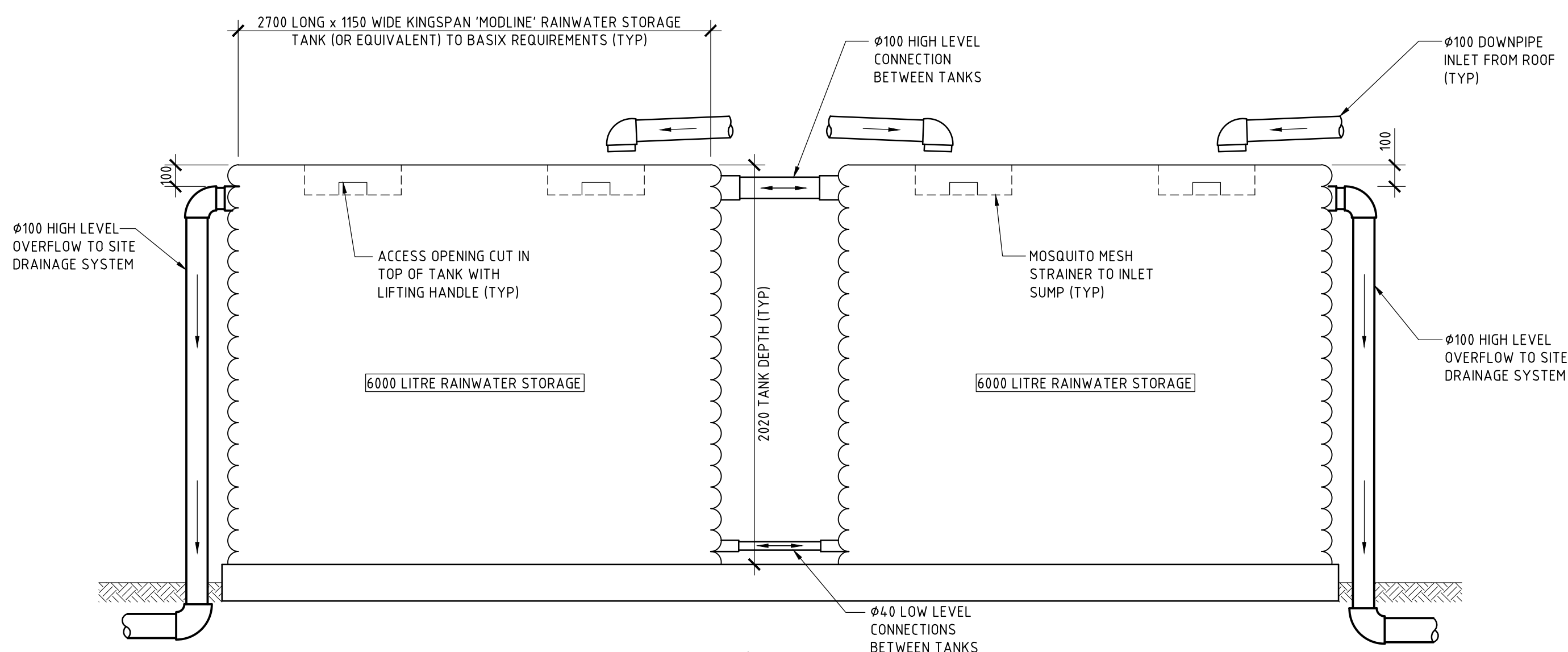
DETAIL C
SCALE 1:10
TYPICAL SURFACE INLET PIT DETAIL



DETAIL D
SCALE 1:20

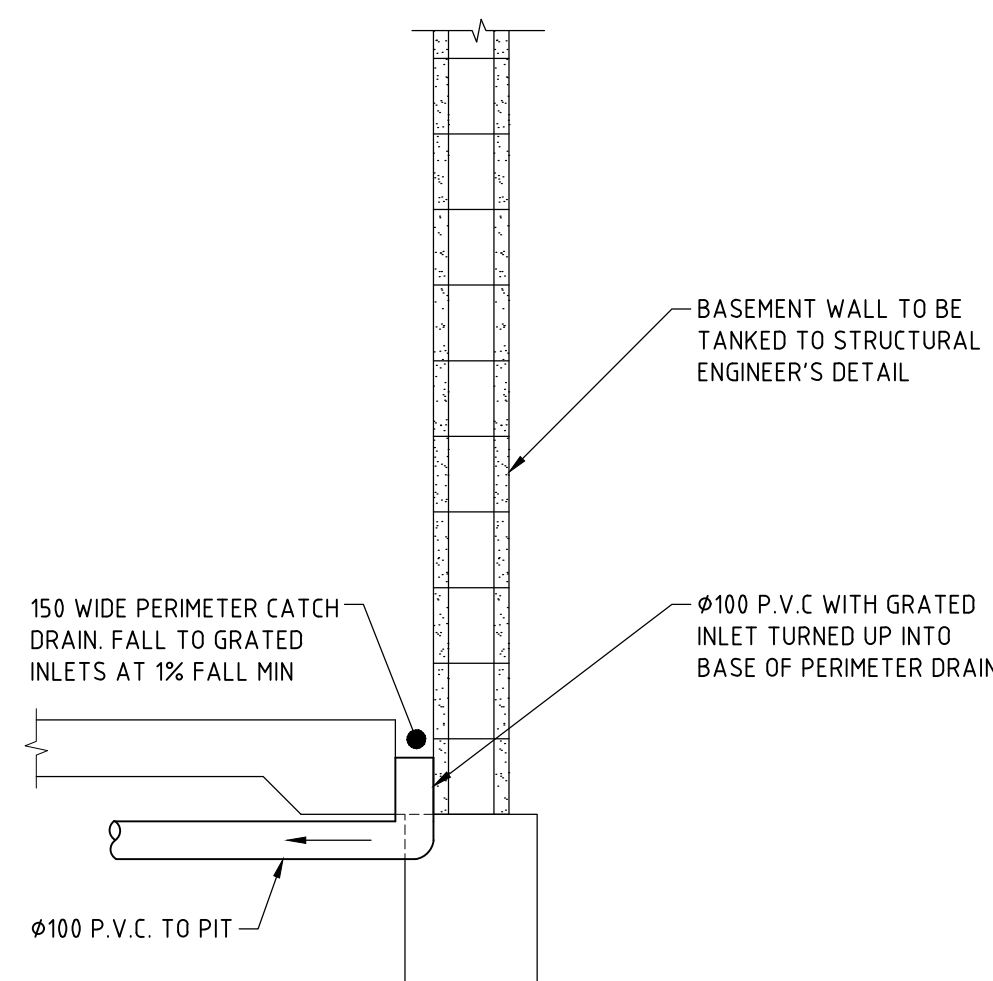
SHOWING PUMP AND SUMP CONFIGURATION
NOTE: SUMP MAY BE A PROPRIETARY PRODUCT AS PREFERRED BY DEVELOPER

- PUMP NOTES**
1. TWIN SUBMERSIBLE PUMPS TO BE PROVIDED IN PUMP PIT.
 2. PUMPS TO OPERATE ALTERNATELY AT LOW INLET FLOWRATE & CONCURRENTLY AT HIGH INLET FLOWRATE.
 3. PUMP CAPACITY TO BE 2.0 l/s EACH FOR STATIC HEAD = 6.0m (EXCLUDES OUTLET PIPE LOSSES).
 4. PROVIDE EXTERNAL CONTROL PANEL WITH AUDIO, VISUAL ALARMS & BATTERY POWER BACK-UP.
 5. INLET PIPE TO BE LOCATED CLEAR OF THE HIGH LEVEL FLOAT SWITCH TO PREVENT FALSE ALARMS.



DETAIL G
SCALE 1:20
SHOWING RAINWATER TANK CONFIGURATION

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DETAIL E
SCALE 1:20

- DRAINAGE NOTES**
1. + DENOTES EXISTING GROUND LEVEL
 2. FALL STORMWATER PIPES AT 1% MIN UNLESS OTHERWISE NOTED.
 3. SUB-SOIL DRAINAGE TO BE CONNECTED TO THE SITE DRAINAGE SYSTEM AS NECESSARY.
 4. SURFACE GRATES 300 SQ. UNLESS OTHERWISE NOTED
 5. ALL STORMWATER PIPES TO HAVE SOLVENT CEMENT WATERTIGHT JOINTS.
 6. CHECK & LOCATE DEPTH OF EXISTING MAINS & SERVICES PRIOR TO CONSTRUCTION OF STORMWATER SYSTEM AS VARIATIONS IN POSITION OF MAINS COULD AFFECT DRAINAGE CONSTRUCTION DETAILS.
 7. INSPECTIONS MUST BE UNDERTAKEN BY THIS OFFICE (BY PRIOR ARRANGEMENT WITH ENGINEER) DURING CONSTRUCTION TO ENABLE FULL CERTIFICATION UPON COMPLETION OF WORKS.
 8. ALL CONSTRUCTION OF COUNCIL DRAINAGE WORKS TO COMPLY WITH COUNCIL STANDARD.
 9. REMOVE REDUNDANT DRAINAGE PITS AND SEAL PIPES.
 10. PIT BENCHING TO BE HALF THE OUTGOING PIPE DIAMETER. CONCRETE FOR BENCHING TO BE 20 MPa MASS CONCRETE.
 11. APPROVED PRE-CAST PITS MAY BE USED.
 12. ALL PIPES TO BE LAID ON COMPACTED FINE CRUSHED ROCK OR SAND BEDDING 75mm THICK & PIPES BACKFILLED WITH COMPACTED SAND TO 300mm ABOVE TOP OF PIPE, ELSE ATTACHED TO UNDERSIDE OF STRUCTURE AT 600mm c/c AS NECESSARY
 13. PIPE ROUTES SHOWN ARE INDICATIVE ONLY AND SHOULD BE AS NECESSARY ACCORDING TO SITE CONDITIONS, TREE POSITIONS ETC. CONFIRM SIGNIFICANT CHANGES IN PIPES SYSTEM DETAILS WITH SUPERVISING ENGINEER PRIOR TO COMMENCEMENT OF DRAINAGE CONSTRUCTION WORKS.
 14. CONTRACTOR SHALL ENSURE THAT SERVICES TO BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED. CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS WHERE REQUIRED. ONCE WORKS ARE COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SERVICES AND MAKE GOOD ALL DISTURBED AREAS.
 15. STORMWATER SYSTEM REQUIRES SIGNIFICANT MAINTENANCE DUE TO POTENTIAL HIGH POLLUTANT LOAD. FILTERS AND POLLUTANT TRAPS SHOULD BE CHECKED AFTER LARGE STORM EVENTS AND CLEANED EVERY 6 MONTHS.
 16. PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS-3500, THE NATIONAL DRAINAGE & PLUMBING CODE.
 17. WHERE POSSIBLE DRAINAGE LINES SHALL BE LAID IN AREAS PREVIOUSLY DISTURBED BY OTHER SITE WORKS AND FOLLOW TOPOGRAPHICAL FEATURES TO REDUCE IMPACT AND AVOID TREE ROOTS
 18. THIS STORMWATER MANAGEMENT PLAN HAS BEEN PREPARED FOR SUBMISSION TO COUNCIL/CERTIFIER AND DOES NOT NECESSARILY CONTAIN ALL APPROPRIATE INFORMATION TO ENABLE FOR ISSUE TO PLUMBER/BUILDER FOR CONSTRUCTION. CONTACT TAYLOR CONSULTING FOR MORE INFORMATION.

RAINWATER RE-USE NOTES AND SPECIFICATIONS

1. ROOF WATER ONLY TO BE DRAINED TO THE RAINWATER STORAGE TANK.
2. THE RAINWATER STORAGE TANK NEEDS TO BE CONNECTED FOR RE-USE AS REQUIRED BY THE OWNER
3. RAINWATER STORAGE TANK TO BE CONFIGURED IN ACCORDANCE WITH SYDNEY WATER SPECIFICATIONS 'GUIDELINES FOR RAINWATER TANK ON RESIDENTIAL PROPERTIES'
4. PROVIDE MAINS 'TOP-UP' SUPPLY TO RAINWATER TANK. MAINS TOP-UP ZONE TO BE BASED ON THE DAILY NON-POTABLE USAGE THAT MAY BE EXPECTED FROM THE TANK.
5. PROVIDE A MECHANICAL PUMPING ARRANGEMENT (IN SOUND-PROOF HOUSING) TO PUMP SUPPLIERS SPECIFICATION TO SUIT INTENDED USAGE OF RAINWATER STORAGE. PUMPING ARRANGEMENTS MUST COMPLY WITH EPA GUIDELINES.
6. INLETS TO RAINWATER TANK MUST BE SCREENED TO PREVENT THE ENTRY OF FOREIGN MATTER, ANIMALS OR INSECTS.
7. A SIGN MUST BE AFFIXED TO THE RAINWATER TANK CLEARLY STATING THAT THE WATER IN THE TANK IS RAINWATER AND IS NOT TO BE USED FOR HUMAN CONSUMPTION.
8. RAINWATER TANK TO BE PLACED ON A STRUCTURALLY ADEQUATE BASE IN ACCORDANCE WITH THE MANUFACTURER'S OR STRUCTURAL ENGINEER'S DETAILS.
9. THE TANK MUST NOT BE INSTALLED OVER ANY MAINTENANCE STRUCTURE OR FITTINGS USED BY A PUBLIC AUTHORITY.
10. RAINWATER TANK AND ASSOCIATED PLUMBING WORKS TO BE INSTALLED AND CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN

ISSUE DATE	REVISION
8 SEP 23	BASIX TANK ADDED
13 SEPT 2024	UPDATED TO SUIT LATEST ARCHITECTURAL PLANS

TITLE STORMWATER MANAGEMENT DETAILS 1112-1116 BARRENJOEY ROAD, PALM BEACH	
DRAWN MDB	DATE 3 OCTOBER 2024
ENGINEER DMS	CHECKED BE Civil (Hons) MIE Aust.
SCALE @ A1 1:20 1:10	



DRAWING NO
STORM-3/B