

16 June 2009

COUNCIL COPY

The General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Attention Planning Department

Dear Sir/Madam,

**RE DA NO N0213/08
1753 PITTWATER ROAD, MONA VALE NSW**

Please find attached a copy of the Final Occupation Certificate for the above development that has been granted by the Principal Certifying Authority, Wayne Treble

The certificate relates to the alterations and additions to the commercial building at the above address

Together with the Certificate, we have enclosed the following for Council's record

- 1 Occupation Certificate Application Form
- 2 Fire Safety Certificate
- 3 Other documents relied upon

We have attached a cheque for the registration of this certificate. In forwarding the receipt for this cheque it is requested that reference be made to the address of the premises

If you have any queries regarding the above please do not hesitate to contact the undersigned on 9279 3657 during business hours

Yours faithfully,



Wayne Treble
Dix Gardner Pty Ltd

CC - B P Delmege Constructions Pty Ltd

Rec-261133

Occupation Certificate

Issued under the Environmental Planning and Assessment Act 1979
Sections 109C (1) (c) and 109H

Certificate No	217/09
Subject land Lot and DP	1753 Pittwater Road, Mona Vale NSW Lot 1 DP 715158
Applicant Address PH /Fax	B P Delmege Constructions Pty Ltd Level 5, 90 Mount Street, North Sydney NSW 2060 9922-7722 / 9922-3900
Owner	Kethel (Investments) Pty Ltd
Type of Certificate	Final
Determination Date of Determination	Approved 16/06/2009
Attachments	1 Other certificates relied upon 2 Final Fire Safety Certificate
Whole/Part of building works Description of part (if applicable) BCA Classification	Whole N/A Class 5 & 6
DA/CDC No Issued by	N0213/08 Pittwater Council
Construction Certificate No Date	537/08 21/10/2008
Accreditation Level Registration No Accreditation Body	A2 – Accredited Certifier – Building Surveyor Grade 2 BPB0413 Building Professional Board

I certify that

- the health and safety of the occupants of the building have been taken into consideration where an interim occupation certificate is being issued and
- a current development consent or complying development certificate is in force for the building and
- if any building work has been carried out a current construction certificate (or complying development certificate) has been issued with respect to the plans and specifications for the building and
- the building is suitable for occupation or use in accordance with its classification under the Building Code of Australia and
- a fire safety certificate has been issued for the building and
- a report from the Fire Commissioner has been considered (if required)

Signed



Wayne Treble
Principal Certifying Authority

Date 16/06/2009



Building Certifiers
 Strata Plan Certifiers
 Building Regulations
 Consultants
 Fire Safety Consultants

OCCUPATION CERTIFICATE APPLICATION FORM

Environmental Planning & Assessment Act 1979 s 109C
 Environmental Planning & Assessment Regulation 2000 cl 126 or 139

Interim Final

APPLICANT

Name B P DELMEGE CONSTRUCTIONS P/L
 Address LEVEL 5 90 MOUNT STREET
NORTH SYDNEY
 Signature & Date [Signature] 20 3-09

OWNER

Name KETHEL INVESTMENTS Pty Ltd
 Address 1792 PITWATER ROAD
BAYVIEW NSW 2104

SUBJECT LAND

Address 1753 PITWATER ROAD
MONA - VALE NSW 2103
 Lot & DP LOT 1 - DP. 715158

PROPOSAL

Description ALTERATIONS & ADDITIONS TO EXISTING
COMMERCIAL DEVELOPMENT
 Part or Whole of Building WHOLE OF BUILDING

DEVELOPMENT CONSENT

Not applicable for applications for CDC

DA No _____ Date of Determination _____

CONSTRUCTION/COMPLYING DEVELOPMENT CERTIFICATE

Construction or Complying Development Certificate No 537/08 Date 21/10/08

FINAL/INTERIM FIRE SAFETY CERTIFICATE

-----**(Form 15)**-----

issued under the Environmental planning and assessment regulation 2000
clauses 170, 171, 174

<p>Owner/Agents Address Owner (title holder / owner of the building) Agent (person who has been granted the power to sign on owner's behalf) Address (address of owner's agent)</p>		<p>I Gary Marshall for and on behalf of <i>D E Maintenance P/L(DEM), 40 Mary Parade Rydalmere N S W 2116</i> certify that (a) each essential fire safety measure specified in this statement has been assessed by a properly qualified person and was found, when it was assessed to be capable of performing i) in the case of an essential fire safety measure applicable by virtue of a fire safety schedule to a standard no less than that specified in the schedule OR ii) in the case of an essential fire safety measure applicable otherwise than by virtue of a fire safety schedule to a standard no less than that to which the measure was originally designed and implemented (b) the information contained in this certificate is to the best of our knowledge and belief true and accurate</p>	
<p>Identification of Building Council (council statement is issued to) Name (name of the building statement applies to if applicable)</p>		<p>Council Street Suburb Side of street Nearest cross street Name</p>	<p>Pittwater Pittwater road Mona Vale West Mona Vale Road 1753</p>
<p>Particulars of Building</p>		<p>Whole / part</p>	
<p>Owner's Details</p>		<p>Name Delmege Construction Pty Ltd Level 5 / 90 Mount Street NORTH SYDNEY NSW 2060</p>	
<p>Essential / Critical Fire Safety Measures (List of each essential fire safety measure specified in the Fire Safety Schedule for the building)</p>		<p>Equipment / Item and or Service Automatic Fire Sprinkler system Automatic retraction of external blinds upon sprinkler activation Configured for fail safe operation</p>	<p>Standard of performance AS2118 1-1999</p>
<p>Signature / Date</p>		<p>03/06/09</p>	<p><i>[Signature]</i> Owner / Agent</p>

- to be forwarded to the Council nominated above and a copy (together with a copy of the current Fire Safety Schedule) to the council and the Commissioner of the New South Wales Fire Brigades Locked Bag 12 GREENACRE N S W 2190
- to be prominently displayed (together with a copy of the current Fire Safety Schedule) within the building

* NB Certification provided on the basis of modification works to the sprinkler system currently being completed by DEM Fire and Essential Services Pty Ltd



Application Solutions Pty Ltd

ABN 45 124 991 073
Level 2, 41 Rawson St
EPPING NSW 2121

Ph 9868 4339
Fax 9868 2655

alatimer@applicationsolutions.com.au

SECTION J CERTIFICATE - COMPLETION

ADDRESS 1753 Pittwater Road, MONA VALE

PROJECT Alterations to Existing Commercial Development

Pursuant to the provisions of Clause A2.2 of the Building Code of Australia Volume 1

I **Andrew Latimer** of **Application Solutions Pty Ltd**
(Appropriately qualified person) (Firm)

Level 2, Rawson Street, EPPING NSW 2121
(Address)

Phone numbers Bus 9868 4339 Fax 9868 2655 Mob 0414 579 207

Qualifications and experience. **Bachelor of Engineering (Civil) RMIT**

**Specialising in Energy Efficiency Strategies in buildings and
Compliance Assessment advice with respect to the BCA Section J –
Energy Efficiency regulations**

(further information www.applicationsolutions.com.au)

hereby certify:

That I **have assessed the proposed development in a report dated 13/10/2008** with respect to Section J of the Building Code of Australia and further that **the development has been constructed in compliance with Section J of the BCA This statement is made subject to the builder's undertaking in Point 7 of the Completion Report A copy of the Completion Report is attached**

Signature

Date 15/04/2009

Alterations to Existing Commercial Development

1753 Pittwater Road
MONA VALE NSW

Completion Report

Building Code of Australia
Section J Energy Efficiency

April 2009



Application Solutions
Level Two – 41 Rawson Street
EPPING NSW 2121

Telephone 02 9868 4339

Facsimile 02 9868 2655



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 2 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

Summary

<input checked="" type="checkbox"/>	1) INSULATION (FOR CLASS 5 & 6 BUILDINGS)	5
	This item Complies	5
<input checked="" type="checkbox"/>	2) ROOF/CEILING INSULATION (FOR CLASS 5 OFFICES AND OTHER CONDITIONED SPACES, AND NEW INSTALLATION ONLY)	6
	This item Complies	6
<input checked="" type="checkbox"/>	3) SOLAR ABSORPTANCE (ROOF)	6
	Option not applicable therefore this item does not apply	6
<input checked="" type="checkbox"/>	4) EXTERNAL WALL INSULATION	6
	This item Complies	6
<input checked="" type="checkbox"/>	5) THERMAL BREAK (EXTERNAL WALLS)	7
	Inspection confirmed thermal break was not required	7
<input checked="" type="checkbox"/>	6) THERMAL PROPERTIES FOR EXTERNAL GLAZING	7
	Certificate from glazing confirms U and SHGC for First floor (West) glazing For other glazing standard glazing (or better) was specified Certificate for these glazing elements not required	8
	Note automated shading device has been fitted to the East and West glazing which complies with J2 5	8
	This item complies	8
<input checked="" type="checkbox"/>	7) SEALING NEW EXTERNAL WINDOWS AND DOORS	8
	Frameless glazed external doors which are unsealed are fitted to the front (East) and Rear (West) In the rear situation the external doors lead into an un conditioned airlock from which sealed door leading to tenanted areas The builder has installed a bottom seal to the tenant doors to complete the seal In this case sealing of the conditioned areas has been achieved	8
	The frameless unsealed front doors do not lead into an airlock The builder has undertaken to provide sealing to these doors	8
	All external doors comply with this part with the exception of the front door (East) Based on the builder's undertaking to seal the front frameless door this part complies	8
<input checked="" type="checkbox"/>	8) SEALING EXHAUST FANS	10
	This item complies	10



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 3 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

- | | | | |
|-------------------------------------|-----|---|-----------|
| <input checked="" type="checkbox"/> | 9) | SEALING NEW ROOFS, EXTERNAL WALLS AND OPENINGS | 10 |
| | | Inspection confirmed that this item complies | 10 |
| <input checked="" type="checkbox"/> | 10) | AIR-CONDITIONING GENERAL | 11 |
| | | The mechanical contractor Fred Crofts of Austral Air Air conditioning Services Pty Ltd has certified compliance with Part J5 See certificate attached | 11 |
| <input checked="" type="checkbox"/> | 11) | AIR-CONDITIONING ZONES | 11 |
| | | The mechanical contractor Fred Crofts of Austral Air Air conditioning Services Pty Ltd has certified compliance with Part J5 See certificate attached | 11 |
| <input checked="" type="checkbox"/> | 12) | OUTDOOR AIR ECONOMY CYCLE | 11 |
| | | The mechanical contractor Fred Crofts of Austral Air Air conditioning Services Pty Ltd has certified compliance with Part J5 See certificate attached | 11 |
| <input checked="" type="checkbox"/> | 13) | MOTOR SHAFT POWER | 11 |
| | | The mechanical contractor Fred Crofts of Austral Air Air-conditioning Services Pty Ltd has certified compliance with Part J5 See certificate attached | 11 |
| <input checked="" type="checkbox"/> | 14) | MECHANICAL VENTILATION SYSTEM – GENERAL | 12 |
| | | The mechanical contractor Fred Crofts of Austral Air Air conditioning Services Pty Ltd has certified compliance with Part J5 See certificate attached | 12 |
| <input checked="" type="checkbox"/> | 15) | MAXIMUM FAN MOTOR POWER TO AIR FLOW RATE RATIO | 12 |
| | | The mechanical contractor Fred Crofts of Austral Air Air conditioning Services Pty Ltd has certified compliance with Part J5 See certificate attached | 12 |
| <input checked="" type="checkbox"/> | 16) | TIME SWITCH | 12 |
| | | The mechanical contractor Fred Crofts of Austral Air Air conditioning Services Pty Ltd has certified compliance with Part J5 See certificate attached | 12 |
| <input checked="" type="checkbox"/> | 17) | MAXIMUM INTERIOR LIGHTING LOAD LIMIT | 12 |
| | | The electrician Andrew Drennan of Lynleigh Electrics Pty Ltd has certified that this item complies See attached certificate | 12 |
| <input checked="" type="checkbox"/> | 18) | LIGHTING CONTROL (SWITCHES) | 12 |
| | | The electrician Andrew Drennan of Lynleigh Electrics Pty Ltd has certified that this item complies See attached certificate | 12 |



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 4 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

<input checked="" type="checkbox"/>	19)	LIGHTING CONTROL (OCCUPANT SENSING DEVICE / TIME SWITCH)	13
		The electrician Andrew Drennan of Lynleigh Electrics Pty Ltd has certified that this item complies See attached certificate	13
<input checked="" type="checkbox"/>	20)	LIGHTING ADJACENT TO WINDOWS	13
		The electrician Andrew Drennan of Lynleigh Electrics Pty Ltd has certified that this item complies See attached certificate	13
<input checked="" type="checkbox"/>	21)	PERIMETER LIGHTING	13
		The electrician Andrew Drennan of Lynleigh Electrics Pty Ltd has certified that this item complies See attached certificate	13
<input checked="" type="checkbox"/>	22)	BOILING WATER/CHILLED WATER UNIT	13
		Not installed as part of the base building therefore not applicable	13
<input checked="" type="checkbox"/>	23)	HOT WATER HEATER	14
		The plumber Tim Watkin of Commodore Plumbing Pty Ltd have certified that this item complies See extract below The plumbing certificate is attached	14
<input checked="" type="checkbox"/>	24)	ACCESS FOR MAINTENANCE	14
		This item Complies	14
		ATTACHMENTS	15
		Insulation Certificate	15
		Glazing Certificate	16
		Plumbing Certificate	17
		Mechanical Equipment Certificate	18
		Electrical Certificate	19



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 5 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

The items below reference the documentation points listed in the Section J Compliance Assessment Report dated 13 October 2008 which was carried out prior to the issue of the Construction Certificate. This report looks at each item to ensure the building, as-built, complies with the BCA Section J.

The building was found to comply with Section J subject to the undertaking given by the builder in Point 7 with respect to sealing the front door.



1) Insulation (for Class 5 & 6 buildings)

This item Complies

Insulation must comply with AS/NZS 4859.1 so that it—

- (i) abuts or overlaps adjoining insulation and
- (ii) forms continuous barrier and
- (iii) does not effect the safe or effective operation of a service or fitting

Reflective insulation must be installed with—

- (i) the necessary airspace to achieve the required R-Value between a reflective side of the reflective insulation and a building lining or cladding, and
- (ii) the reflective insulation closely fitted against any penetration, door or window opening and
- (iii) the reflective insulation adequately supported by framing members, and
- (iv) each adjoining sheet of roll membrane being—
 - (A) overlapped not less than 50 mm, or
 - (B) taped together

Bulk insulation must be installed so that—

- (i) it maintains its position and thickness other than where it crosses roof battens, water pipes, electrical cabling or the like, and
- (ii) in a ceiling, where there is no bulk insulation or reflective insulation in the wall beneath, it overlaps the wall by not less than 50 mm

The following compliances have been met and approved by Delmege Constructions

The following compliances have been met and approved by Delmege Constructions

1) Insulation (for Class 5 & 6 buildings) – Complies with AS/NZS 4859.1



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 6 of 19

Date 15/04/2009

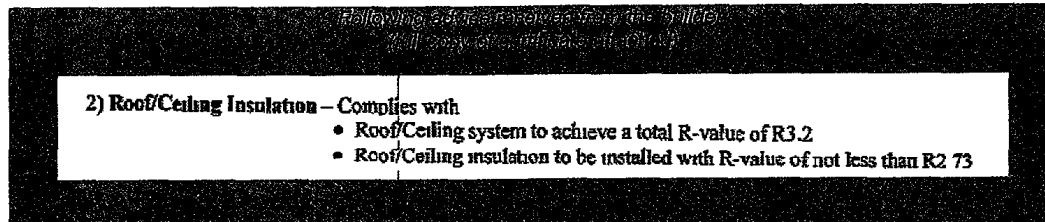
Building Code of Australia Section J – Energy Efficiency
Compliance Report



2) Roof/Ceiling Insulation (for Class 5 offices and other conditioned spaces, and new installation only)

Roof/Ceiling system to achieve a total R-value of R3.2
Roof/Ceiling insulation to be installed with R-value of not less than R2.73

This item Complies



3) Solar Absorptance (Roof)

The total R-Value required in the Roof/Ceiling system can be reduced by R0.25 if a roof upper surface solar absorptance value of not more than 0.55 is achieved, or by R0.5 if a roof upper surface solar absorptance value of not more than 0.35 is achieved. See J1.3b in this report for details.

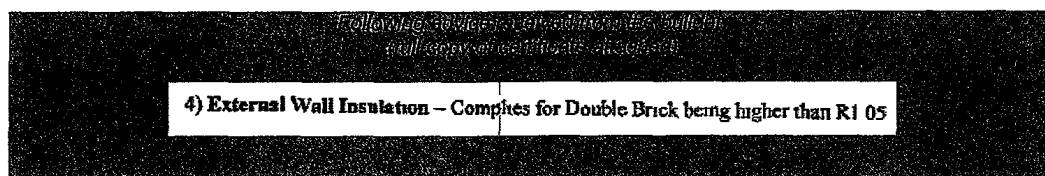
Option not applicable therefore this item does not apply



4) External Wall Insulation

The external wall system that is part of the envelope must achieve a total R-value of R1.8. For double-brick wall construction, insulation of not less than R1.05 is required as part of the plasterboard lining system. For Aluminium cladding wall system, insulation of not less than R1.42 is required as part of a lining system – see report for further details.

This item Complies





Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 7 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report



5) **Thermal Break (External Walls)**

A thermal break must be provided between external cladding and framing for a metal framed wall that has lightweight external cladding such as weather boards, fibre cement sheeting or other similar minimum thickness and R-value material. Thermal break of at least R0.2 required. This clause is not applicable if timber frame is used.

Inspection confirmed thermal break was not required



6) **Thermal Properties for External Glazing**

Thermal properties for external glazing for the proposed development shall have the following values:

Ground Floor (L1-Retail)

All Orientations U=0.8 and SHGC=0.86 or lower values

The requirements above indicate a large range of standard windows from combination of single clear 3mm glass with standard aluminium frame to any windows with higher thermal performance will achieve compliance in respect to Part J2 – External Glazing.

Therefore the proposed external glazing design complies with requirements in BCA Part J2 – External Glazing.

First Floor (L2-Commercial)

East Orientation

New external glazing elements to the eastern orientation must have the following thermal properties:

U-value is equal or less than 0.8 and

SHGC value is equal or less than 0.86

West Orientation

New external glazing elements to the western orientation must have the following thermal properties:

U-value is equal or less than 0.5, and

SHGC value is equal or less than 0.60

RJS Aluminium Windows Pty Ltd

This is to certify that windows and doors supplied to the above address are manufactured and glazed with 12mm Clear Toughened Glass which has U Value of 5.6 and SHGC of 0.71 and 6 38mm Comfortplus Glass which has U Value of 3.6 and SHGC of 0.51 and in accordance with Australian Standard **AS 2047 & AS 1288.**



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 8 of 19

Date: 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

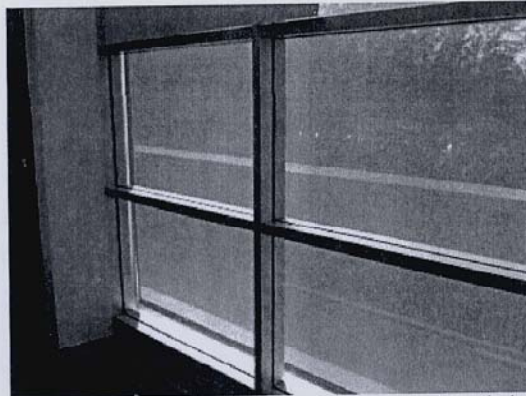
Certificate from glazing confirms U and SHGC for First floor (West) glazing. For other glazing standard glazing (or better) was specified. Certificate for these glazing elements not required.

Note: automated shading device has been fitted to the East and West glazing which complies with J2.5

This item complies



Rear-West Orientation: Note shade device pelmet above windows. Window at left not covered as this is the future lift shaft



Front - East Orientation: Shading device covering window automatically due to direct sun light on windows



7)

Sealing New External Windows and Doors

A seal to restrict air infiltration must be fitted to each edge of a new external door, openable external window or the like and may be a foam or rubber compressible strip, fibrous seal or the like.

Frameless glazed external doors, which are unsealed, are fitted to the front (East) and Rear (West). In the rear situation the external doors lead into an un-conditioned airlock from which sealed door leading to tenanted areas. The builder has installed a bottom seal to the tenant doors to complete the seal. In this case sealing of the conditioned areas has been achieved.

The frameless, unsealed, front doors do not lead into an airlock. The builder has undertaken to provide sealing to these doors.

All external doors comply with this part with the exception of the front door (East) Based on the builder's undertaking to seal the front frameless door this part complies.

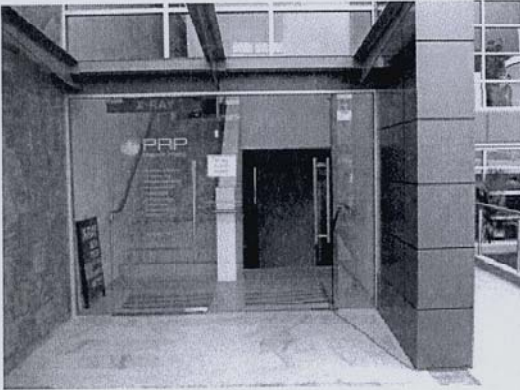


Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 9 of 19

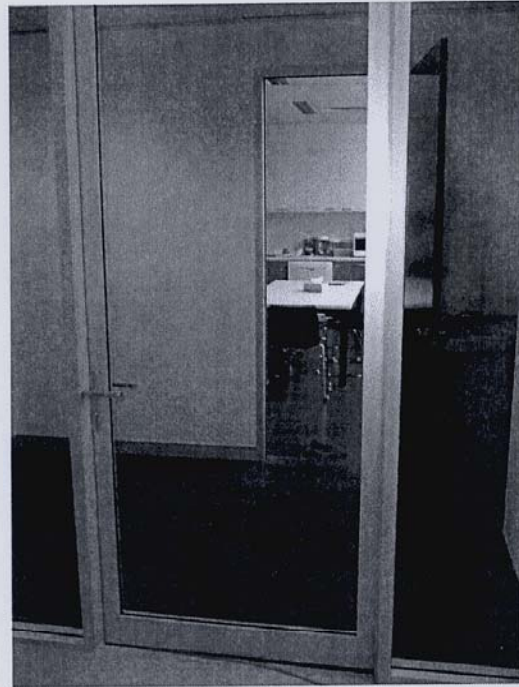
Date: 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

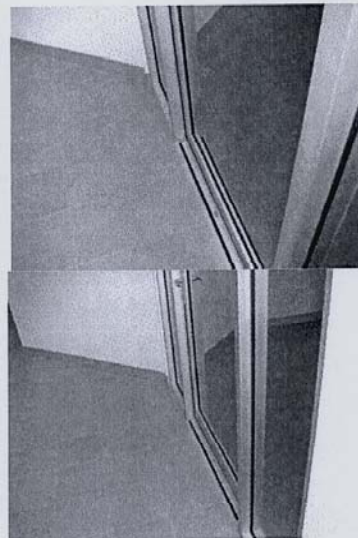
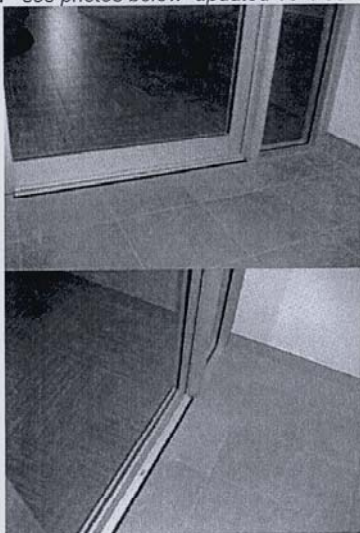


*Rear frameless external doors.
Leads to airlock - example tenant door. Currently
sealed on 3 sides. Builder has undertaken to seal
bottom of door.*

*Front frameless external doors - not shown.
Builder has undertaken to investigate options for
sealing this type of door.*



*Seals to bottom of doors to tenant spaces have been
installed - see photos below - updated 15-4-09*





Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 10 of 19

Date: 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report



8)

Sealing Exhaust Fans

A sealing device such as a self-closing damper or the like must be fitted to each miscellaneous exhaust fan, such as a bathroom exhaust fan, when serving a conditioned space.

Mr Brett Delmege for the builder has advised as follows" *Sealing Exhaust Fans- I can advise that self closing Dampers have been installed to all Bathroom Exhaust fans even though they are not servicing air conditioned areas*

This item complies

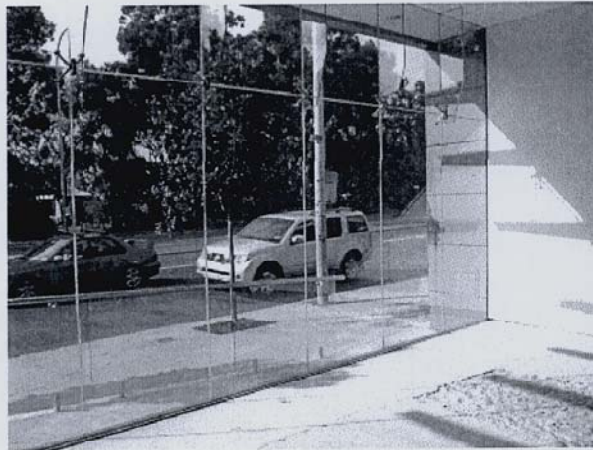
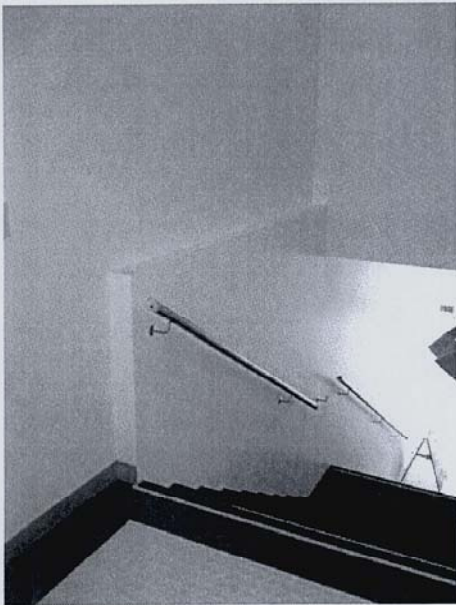


9)

Sealing New roofs, external walls and openings

New roofs, external walls and opening such as a window, door or the like must be constructed to minimise air leakage in accordance when forming part of the external fabric of a conditioned space and must be enclosed by internal lining systems that are close fitting at ceiling, wall and floor junctions; or sealed by caulking, skirting, architraves, cornices or the like.

Inspection confirmed that this item complies





Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 11 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report



10) **Air-conditioning General**

The air-conditioning system shall be capable of being inactivated when the building or part of building being served is not occupied
If motorized outside air and return dampers are installed they shall be capable of being closed when the system is inactivated
Any supply and return ductwork shall be insulated and sealed in accordance with BCA Specification J5 2

The mechanical contractor, Fred Crofts of Austral Air Air-conditioning Services Pty Ltd, has certified compliance with Part J5 See certificate attached



11) **Air-conditioning Zones**

The different air-conditioning zones shall be separately thermostatically controlled and shall not control the temperature by mixing actively heated air or actively cooled air and limit reheating to not more than a 7.5K rise in temperature at the supply air rate

The mechanical contractor, Fred Crofts of Austral Air Air-conditioning Services Pty Ltd, has certified compliance with Part J5 See certificate attached



12) **Outdoor Air Economy Cycle**

Outdoor air economy cycle must be used in climate zone 6 when the air-conditioning unit capacity is over 50 kW

The mechanical contractor, Fred Crofts of Austral Air Air-conditioning Services Pty Ltd, has certified compliance with Part J5 See certificate attached



13) **Motor Shaft Power**

The total motor shaft power of the fans in the air-conditioning unit must not exceed 15 W/m² if the air flow rate is greater than 1000 L/s

The mechanical contractor, Fred Crofts of Austral Air Air-conditioning Services Pty Ltd, has certified compliance with Part J5 See certificate attached



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 12 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report



14) Mechanical Ventilation System – General

The Mechanical ventilation system shall be capable of being inactivated when the building or part of the building served by that system is not occupied

The mechanical contractor, Fred Crofts of Austral Air Air-conditioning Services Pty Ltd, has certified compliance with Part J5 See certificate attached



15) Maximum Fan Motor Power to Air Flow Rate Ratio

If the air flow rate of the mechanical ventilation system is more than 1000 L/s have a fan motor shaft power to air flow ratio, or fan motor input power to air flow ratio, in accordance with Table J5 2

The mechanical contractor, Fred Crofts of Austral Air Air-conditioning Services Pty Ltd, has certified compliance with Part J5 See certificate attached



16) Time Switch

A time switch in accordance with BCA Specification J6 must be provided to control all air-conditioning / heating of more than 10 kW_r or kW_{heating}

The mechanical contractor, Fred Crofts of Austral Air Air-conditioning Services Pty Ltd, has certified compliance with Part J5 See certificate attached



17) Maximum Interior Lighting Load Limit

The maximum allowed interior illumination power load is 5,731W for Retail Shop 1, 4,805W for Retail Shop 2, 1 613W for Commercial Office 3 and 3,024W for Commercial Office 4
The aggregate design illumination power load for each unit in the proposed building must not exceed the allowed wattage

The electrician, Andrew Drennan of Lynleigh Electrics Pty Ltd has certified that this item complies See attached certificate



18) Lighting Control (Switches)

Lighting switches shall be located in a visible position in the room being served or visually adjacent
No lighting switch shall control lighting more than 250 m² for a space of not more than 2000 m²

The electrician, Andrew Drennan of Lynleigh Electrics Pty Ltd has certified that this item complies See attached certificate



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 13 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report



19) Lighting Control (Occupant Sensing Device / Time Switch)

Overall lighting control shall be controlled by a time switch in accordance with BCA Specification J6 or an occupant sensing device such as – a security key card reader, or a motion detector in accordance with BCA Specification J6

The electrician, Andrew Drennan of Lynleigh Electrics Pty Ltd has certified that this item complies See attached certificate



20) Lighting Adjacent to Windows

Lighting adjacent to windows shall be switched separately from artificial lighting not adjacent to windows

The electrician, Andrew Drennan of Lynleigh Electrics Pty Ltd has certified that this item complies See attached certificate



21) Perimeter Lighting

The lighting around the perimeter of the building shall be controlled by either a daylight sensor or a time switch in accordance with Specification J6 and
When the total perimeter lighting load exceeds 100 W it shall have an average light source efficacy of not less than 60 Lumens/W or be controlled by a motion detector in accordance with Specification J6 and
When used for decorative purposes, such as facade lighting or signage lighting, it shall have a separate time switch in accordance with BCA Specification J6

The electrician, Andrew Drennan of Lynleigh Electrics Pty Ltd has certified that this item complies See attached certificate



22) Boiling Water/Chilled Water Unit

Power supply to a boiling water or chilled water storage unit shall be controlled by a time switch in accordance with BCA Specification J6

Not installed as part of the base building, therefore not applicable



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 14 of 19

Date: 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report



23) Hot Water Heater

Any hot water service for food preparation or sanitary purposes must be designed and installed in accordance with Section 8 of AS/NZS3500.4.

The plumber, Tim Watkin of Commodore Plumbing Pty Ltd have certified that this item complies. See extract below . The plumbing certificate is attached.

BUILDING ADDRESS : 1753 Pittwater Rd, Mona Vale

This letter is certify that the hot water systems at the above mentioned site were installed in accordance with section 8 of AS/NZ 53500.4



24) Access for Maintenance

Access for maintenance must be provided to all services and their components, including—

- (i) time switches and motion detectors; and
- (ii) room temperature thermostats; and
- (iii) plant thermostats such as on boilers or refrigeration units; and
- (iv) outside air dampers; and
- (v) reflectors, lenses and diffusers of light fittings; and
- (vi) heat transfer equipment; and adjustable or motorised shading devices.

This item Complies



Provision has been made for access to all serviceable equipment. Ceiling access provided by fold down stair.



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 15 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

Attachments

Insulation Certificate



the property, the people, the vision

Head Office Level 5 90 Mount Street North Sydney NSW 2060
T 02 9922 7722 F 02 9922 3900 E brett@delmege.com.au W www.delmege.com.au



CERTIFICATE

Date: 12th March 2009

To: Application Solutions

Job Address: 1753 Pittwater Road, Mona Vale

This letter is a certificate of compliance in regards to the "Section J" energy efficiency regulations imposed by the Building Code of Australia.

The following compliances have been met and approved by Delmege Constructions

- 1) **Insulation (for Class 5 & 6 buildings)** – Complies with AS/NZS 4859.1
- 2) **Roof/Ceiling Insulation** – Complies with
 - Roof/Ceiling system to achieve a total R-value of R3.2
 - Roof/Ceiling insulation to be installed with R-value of not less than R2.75
- 4) **External Wall Insulation** – Complies for Double Brick being higher than R1.05

Yours Sincerely

Brett Delmege
Lic: 160619C
Delmege Constructions Pty Ltd

B P Delmege Constructions Pty Ltd ABN: 22 762 417 824



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 16 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

Glazing Certificate



RE CW00063

CERTIFICATE

DATE 09th February 2009
TO Delmege Constructions Pty Ltd
JOB ADDRESS 1753 Pittwater Road
MONA VALE NSW 2103

This is to certify that windows and doors supplied to the above address are manufactured and glazed with 12mm Clear Toughened Glass which has U Value of 5.6 and SHGC of 0.71 and 6 38mm Comfortplus Glass which has U Value of 3.6 and SHGC of 0.51 and in accordance with Australian Standard AS 2047 & AS1288.

Should you wish to discuss the contents of this certification please contact our office on (02) 9790 3445

RJS Aluminium Windows Pty Ltd

Sokny LECH
Accounts

RJS Aluminium Windows Pty Ltd
POB 37 107 821 456
P 02 9790 3445
F 02 9790 1944
www.rjsaluminium.com.au
5 Coffey Avenue Bankstown NSW 2200



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 17 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

Plumbing Certificate



commodore plumbing nsw ply ltd

CERTIFICATE OF INSTALLATION COMPLIANCE

BUILDING ADDRESS 1753 Pittwater Rd Mona Vale

This letter is certify that the hot water systems at the above mentioned site were
instafied in accordance with section B of AS/NZ 53500 4

Signed *Jim Wither* Date 12/2/09

© 2009 Application Solutions Pty Ltd. All rights reserved. This document is the property of Application Solutions Pty Ltd. No part of this document may be reproduced without the prior written permission of Application Solutions Pty Ltd. **Certificate of Compliance**
AB 1841 8 1 0 14



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 18 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

Mechanical Equipment Certificate



16th March 2008

Lindsay Hughes
Kethel Investments PTY Ltd
1792 Pittwater rd
Bayview NSW 2104

**CERTIFICATION OF COMPLIANCE
FOR
AIR CONDITIONING AND MECHANICAL VENTILATION
17-3 Pittwater Road Mona Vale,**

Austral Air Conditioning Services Pty Ltd hereby certifies that the complete design and construction of the mechanical services of the above premises within our contract is in accordance with all Authorities BCA2008 part J5 in particular spec J5.2 J5.3 and J5.4 standards thus deemed to comply with local and Australian standard AS1668

Yours Sincerely

Fred Crofts
Austral Air Conditioning Services P/L

154-0 Darby St Mona Vale NSW 2103 Ph: (0) 15939 0044 fax (02) 9980 0633 Web: www.australair.com.au



Proposed Alterations to Existing
Commercial/Retail Development
MONA VALE

Page 19 of 19

Date 15/04/2009

Building Code of Australia Section J – Energy Efficiency
Compliance Report

Electrical Certificate

Lynleigh Electrics Pty Ltd

A B N 47 067 598 832

24th March 09

Brett Delmege
Delmege Constructions Pty
Suite 501 Level 5
90 Mount Street
North Sydney NSW 2060

Section J Compliance Certificate

To Whom It May Concern

This is to certify that the requirements of the Building Code of Australia Section J –
Energy Efficiency have been met and comply with the relevant codes.
The following sections have all been installed and met compliance

- ❖ Maximum Interior Lighting Load Limit
- ❖ Lighting Control via switches, timers and occupancy sensors
- ❖ Lighting Adjacent to Windows switched independently
- ❖ Perimeter Lighting

Yours Truly

Andrew Drumman
Manufacturer

P O Box 1356, Mona Vale NSW 1668
Ph 02 9997 3016 Fax 02 9997 3745 Mobile 0414 441 747
Email lynleighelectrics@swiftdsl.com.au



ISBN 1 347 9374 1

02 9970 1111

02 9970 7150

PO Box 882

Mona Vale NSW 1660

DX 9018 Mona Vale

Mark Eriksson, Landscape Architect Principal Officer
8am to 5 30pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1356 Mobile 0417 219 541

1 April 2009

Mr B Delmege
Director
Delmege Construction
5/90 Mount Street
NORTH SYDNEY NSW 2060

Dear Mr Delmege

**Re Satisfactory Completion of Roadworks - 1753 Pittwater Road, Mona Vale - DA
N0213/08**

Council has inspected works carried out in the road reserve associated with the above consent (paving/landscaping) and has no objection to the release of the occupation certificate as all conditions of consent in this regard have been satisfied

Should you have any further enquiries please do not hesitate to contact the undersigned officer at your convenience

Yours faithfully

Mark Eriksson
LANDSCAPE ARCHITECT PRINCIPAL OFFICER

Margaret Clayton Administration Officer & Cemetery Supervisor
7 30am to 4 30pm Mon - Fri
Phone 9970 1341

30 March 2009

Kethel Investments Pty Ltd
C/- Vaughan Milligan Development Consulting
PO Box 49
NEWPORT NSW 2106

Dear Sir

Re Final inspection of Works in Road Reserve at 1753 Pittwater Rd, Mona Vale
Vehicular access construction for DA No N0213/08 - Compliance

A final inspection of the approved works in the road reserve at the above address was carried out on 27th March at 1pm

The work has been completed in accordance with the Approved application to Council's satisfaction

Should you wish to discuss the matter further please contact the Officer on the number above

Yours faithfully


Sigi Melderis
ASSETS & RESTORATIONS OFFICER



commodore plumbing nsw pty ltd

CERTIFICATE OF INSTALLATION COMPLIANCE

BUILDING ADDRESS 1753 Pittwater Rd, Mona Vale

BUILDING PARTICULARS Office Block

ESSENTIAL SERVICE	STANDARD OF PERFORMANCE BCA, Australian Standard or other code requirement applicable to original Design Installation and Performance	DATE OF COMMISSIONING OR INSPECTION
FIREHOSE REEL	AS 2441-1998 BCA Clause E1,4 & AS	12.02.09
FIRE COLLARS	AS1630.4	12.02.09
LICENSEE'S CERTIFICATE OF COMPLIANCE FOR PLUMBING & DRAINAGE WORKS	AS3600 A3500.3.2	12.02.09
STORMWATER	AS 3500 /Installed as per AKY Civil Engineer Stormwater Design Drawings H-01 and H-02	12.02.09
Section J Item 23 Hot water	AS 3500.4 section 8	12.02.09

I, Tim Watkin of Commodore Plumbing NSW Pty Ltd certify that the essential service(s) nominated above have been installed and commissioned by this company and at the date of commissioning / inspection was found to have been properly implemented and to be capable of performing to the abovementioned standard(s)

The information contained in this certificate is to the best of my knowledge and belief true and accurate

Signed Tim Watkin Date 17.07.09

6/17/09 11/11/09 street warswood nsw 2102 no box 1478 mona vale 1660 tel 02 999/3155 fax 02 999/2200
ABN 89 118 189 754



commodore plumbing nsw pty ltd

FLOW AND PRESSURE ASSESSMENT OF EXISTING STREET HYDRANT LOCATED AT 1753 PITTWATER ROAD MONA VALE

A pressure inquiry was lodged with Sydney Water to assess the available flow and pressure in the existing 225mm DIA Sydney Water watermain. AS 2419.1 - 2005 Table 2.2 specifies the min required flow and pressure for feed Hydrants as follows: 10 ltrs / sec at 15mHead (150kPa)

10 ltrs / sec at 46 mHead (460 kPa) and 20 ltrs / sec at 46 mHead (460 kPa) are available in the existing main. This is in excess of the required flow and pressure.

Regards,

Tim Watkin



Compliance with Conditions of Development Consent

Date 12th March 2009

Job Address 1753 Pittwater Road, Mona Vale

This is to certify that the above building complies with the following conditions of development consent

- **Condition B3** – Water conservation devices with an AAA rating have been installed and will be maintained throughout All new hot water systems have a minimum rating of 3.5 stars
- **Condition B5** – All external glazing has a U Value of 5.6, thus complies with the maximum reflectivity index of 25%
- **Condition B6** – The roof to the structure is of “Shale Gray”
- **Condition E1** – Street trees in relation to this project are non-existent All road reserve’s and adjoining buildings have been maintained and refurbished in relation to the major project (Photos can be obtained)
- **Condition E2** – Restoration of all damaged public infrastructure has been completed and attended to
- **Condition E4** – Street numbers are affixed to the building
- **Condition E5** – A Consistent street frontage to Pittwater Road has been provided and fully complies with the council’s requests

I Brett Delmege of Delmege Construction Pty Ltd hereby certify that the above “conditions of development consent” have been fully met

Yours Sincerely
Brett Delmege
Lic 160619C
Delmege Constructions Pty Ltd

ACCESS REPORT

OCCUPATION CERTIFICATE

1753 PITTWATER ROAD,
MONA VALE

26TH MARCH 2009

Project Name	<i>N/a</i>
Address	<i>1753 Pittwater Road, Mona Vale</i>
Part of Building to be certified	<i>Base building works consisting of ground floor entries, internal circulation within the ground floor areas, stairway construction to the first floor and mezzanine levels, accessible parking, tactile & Braille signage and unisex accessible toilet (ground floor)</i>

I hereby certify that

- a) The construction of the approved works have been inspected and comply with the nominated Standards of Performance as listed below

Measure and/or system	Standards of Performance
Access and egress	<p>Access into and within the building BCA2007 Part D3 2, D3 3, DPI, DP2, DP7 and ASI428 I</p> <p>Carparking BCA2007 Part D3 5 and AS2890 I</p> <p>Braille and tactile signage BCA2007 Clause D3 6, Specification D3 6 and ASI428 I</p> <p>Tactile indicators BCA2007 Clause D3 8 and ASI428 4</p> <p>Sanitary facilities BCA2007 Clause F2 4 and ASI428 I</p>



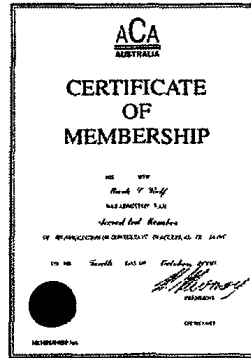
The review of the alterations and additions relating to the principal entrances, accessible carparking, lift access to all levels, accessible toilet and general internal building access and circulation is,

- Satisfactory
 Unsatisfactory

- a) I am a properly qualified person and have a good working knowledge of the relevant codes and standards referenced above (My qualifications and accreditations are listed below)

Relevant qualifications and accreditations Accredited Member of the Association for Consultants in Access Australia (ACAA)

- b) The information contained in this statement is true and accurate to the best of my knowledge



Name of Access Consultant Mark Relf

Company Accessibility Solutions (NSW) Pty Ltd

Address 467 Beauchamp Road Maroubra, NSW 2035

Phone 9661-1945 0417-467-007

Fax 9661-1982

Email markrelf@bigpond.com

Mark Relf

26th March 2009

Signature

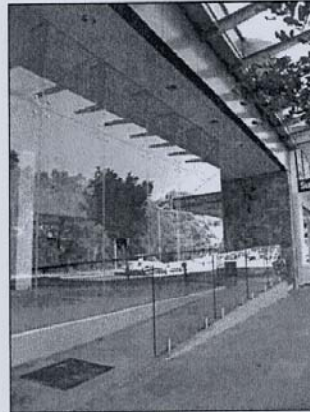
Date

ISSUES/RECTIFICATION WORKS REQUIRED

#	Issue	Comment/requirement
(i)	Nil	Nil

REVIEW COMMENTS

1. **Principal Entrance** – The development provides a 1:20 gradient accessway from the Pittwater Road footpath into the site and to the new ground floor tenancy in a manner that complies with AS1428.1 to satisfy Parts D3.2 and D3.3 of the BCA, including the doorway entry and associated circulation spaces.



2. **Pittwater Road external entry stairway** – The stairway adjoining the accessible walkway provides tactile indicators in accordance with AS1428.4 to satisfy Part D3.8 of the BCA.



3. **Pittwater Road First Floor Stairway** – The stairway linking the ground and first floor levels provides handrails in accordance with AS1428.1 to satisfy Part D3.3(a)(ii) of the BCA, with extended handrail at the bottom landing consistent with AS1428.1.

The tactile indicators comply with AS1428.4 to satisfy Part D3.8 of the BCA.



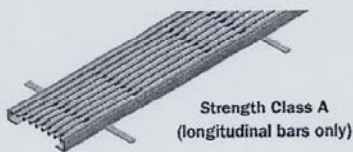
4. **Carpark (Bungan Lane) Stairway access** – The stairways from the existing rear carpark to the ground and first floor levels provides handrails in accordance with AS1428.1 to satisfy Part D3.3(a)(ii) of the BCA, with extended handrail at the bottom landing consistent with AS1428.1.

The tactile indicators comply with AS1428.4 to satisfy Part D3.8 of the BCA.

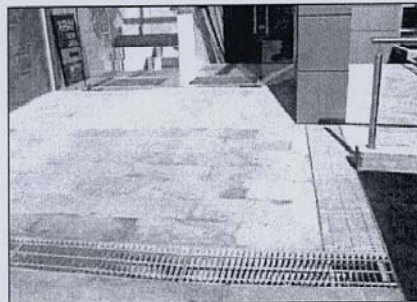


5. **Carparking** – The development provides an accessible widebay car space on the ground floor in accordance with AS2890.1 and Part D3.5 of the BCA, with appropriate line marking and the international symbol for access.

The drainage grates are to be installed with “easywalk” openings that will be 10mm width and the elongate openings shall be transverse to the path of travel in accordance with AS1428.1.



The area adjacent to the entry shall incorporate a lift to the first floor in a future stage of “fitout” works.



6. **Internal Circulation** – The internal access and circulation within the ground floor level provides appropriate access in accordance with Part D3.3 of the BCA.
7. **First Floor Mezzanine Stairway** – The stairway linking the first floor to the upper mezzanine provides handrails in accordance with AS1428.1 to satisfy Part D3.3(a)(ii) of the BCA, with extended handrail at the bottom landing consistent with AS1428.1.
8. **Tactile Ground Surface indicators** – The public stairways provide hazard warning indicators in appropriate locations with adequate luminance contrast in accordance with AS1428.4 to satisfy Part D3.8 of the BCA.
9. **Unisex Accessible Toilet** - The ground floor accessible toilet provides an appropriate size and layout of fittings and fixtures in accordance with AS1428.1 to satisfy Part F2.4 of the BCA, including grabrails, shelf, mirror, toilet paper dispenser and hand drier/paper towel dispenser in accordance with AS1428.1.



10. **Accessible Toilet Signage** provides tactile and Braille information in accordance with Specification D3.6 of the BCA, with appropriate signs 50-300mm from the door jamb and 1350mm height to the line of Braille for the unisex accessible toilet and other new/refurbished male and female toilets.

CONSULTANCY PROFILE & STATEMENT OF EXPERTISE

Accessibility Solutions consultancy offers a range of services to provide advice for clients to develop new and modify existing buildings facilities and services to be accessible to people with disabilities to comply with legislation and regulations relevant to people with disabilities

Relevant legislation and regulations that underpins advice includes the Disability Discrimination Act (DDA) Building Code of Australia Australian Standards 1428 HREOC Advisory Notes on Premises DDA Transport Standard, State Environment Planning Policy No 5 Housing for Older People or People With a Disability (SEPP 5) / Seniors Living Policy, SEPP 65 – Residential Flat Buildings Design Code and various local government DCP's

The scope of services provided by Accessibility Solutions includes

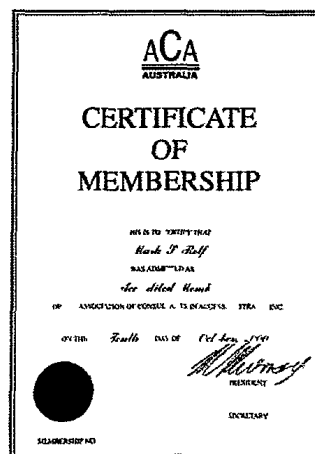
- Plan Appraisals and design advice
- Access Reports for development applications and construction certificates
- Expert Reports for Court evidence
- Access Auditing of existing buildings, facilities transport conveyances and infrastructure
- Policy and document reviews and development of Disability Action Plans
- Staff training in access auditing

The services consider issues concerning people with all types of disability including physical, vision hearing, intellectual and other cognitive impairments that may affect access for people with a disability consistent with the Disability Discrimination Act

As principle consultant Mark Relf has considerable experience and expertise in a wide range of access related projects and is a recognised Access Adviser approved by the NSW Ageing and Disability Department and has attained accreditation with the Association of Consultants in Access Australia for the purposes of providing advice concerning access to the built environment and services for people with disabilities

His expertise has been gained over 20 years working in management and advocacy roles within the disability sector and since 1994 providing advice to clients on access issues Mark also participates on various key committees concerning access for people with disabilities His qualifications and affiliations are

- Accredited Member of the Association of Consultants in Access Australia and Committee of Management member
- Accredited Member of the Access Institute of NSW
- Member Standards Australia ME/64 Committee responsible for the AS1428 suite and AS4299 – Adaptable Housing
- Member, NSW Heritage Office's – Fire, Access and Services Advisory Panel





the property, the people, the vision

Head Office Level 5, 90 Mount Street North Sydney NSW 2060
T 02 9922 7722 F 02 9922 3900 E: info@delmege.com.au W www.delmege.com.au

Dix Gardner
Level 4, Castlereagh Street
Sydney NSW 2000

25th March 2009

Dear Wayne,

RE- 1753 Pittwater Road, Occupation Certificate


We are responding to you to certify that the following areas of construction have been completed and have met the relevant AS code of practice

3b) Termite Protection - All works and Management of Termite systems have been carried out in accordance with AS 3660.1

3h) we can confirm that the storage cupboard and the Bathroom underneath the Stairs have been provided with an FRL of 60/60/60 and all doorways have been fitted with self closing -/60/30 fire doors

Please advise the undersigned if you require any further information.

Kind Regards



Brett Delmege
Director
Lic 160619C



ESSENTIAL SERVICES CERTIFICATE

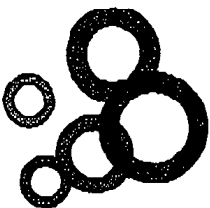
Date: 27/2/09		City/Municipality/Shire: Pittwater	
Name of Premises: PRP Radiology			
Address 17-53 Pittwater Road Mona Vale			
Owner's Name & Address:			
Essential Services Required	Relevant Australian Standard	Was service found to be maintained to this standard?	Name & Address of person by whom service was inspected/tested
Fire Extinguishers	AS 2444 2001 & BCA E1 6, AS 1851 1	Yes	FORM 1 FIRE PROTECTION PO BOX 1575 NEUTRAL BAY NSW 2089
Fire Blankets	AS 2444 2001 & E1 6 BCA & AS 1851 1	Yes	

Declaration by person inspecting/testing essential services

FORM 1 FIRE PROTECTION PTY LTD certify that the persons who inspected and/or installed the services named above on this certificate were competent to carry out those installations or tests and that the information contained in this certificate is, to the best of my knowledge and belief, true and accurate

SIGNED _____

For Form 1 Fire Protection Pty Ltd



Form 1 Fire Protection Pty Ltd
E: contact@form1.com.au
ACN 086 420 900 ABN 73 909 430 396
W www.form1.com.au

Sydney
PO Box 1575 Neutral Bay NSW 2089
P: 02 9966 4200 F: 02 9438 4002

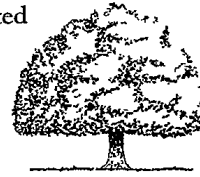
Newcastle
PO Box 2125 Gateshead DC NSW 2290
P: 02 4948 2733 F: 02 4948 2944



KYORA LANDSCAPES Pty Limited

Professional Landscape Design and Construction

www.kyora.com.au



To whom it may concern

3rd March 09

The landscaping of the carpark at the rear of 1753 Pittwater rd Mona vale has been completed by Kyora Landscapes according to the plan provided

Regards,

Stuart Mercer (horticulturalist)
Director of Kyora Landscapes



ABN 93 130 448 663 Lic No 208836C
P O Box 343 NARRABEEN NSW 2101
Ph 9999 4441 Fax 9999 4074 Mobile 0418 979 059

HIA member 
the best in the business



the property, the people, the vision

Head Office Level 5 90 Mount Street North Sydney NSW 2060
T 02 9922 7722 F 02 9922 3900 E info@delmege.com.au W www.delmege.com.au

Dix Gardner
Level 4, Castlereagh Street
Sydney NSW 2000

25th March 2009

Dear Wayne,

RE- 1753 Pittwater Road, Occupation Certificate

I am writing to you to inform you of the height of our Plant room above our main roof line

Our roof line height is RL 17 24 top of parapet

Mechanical Plant is 150mm higher at RL 17 39

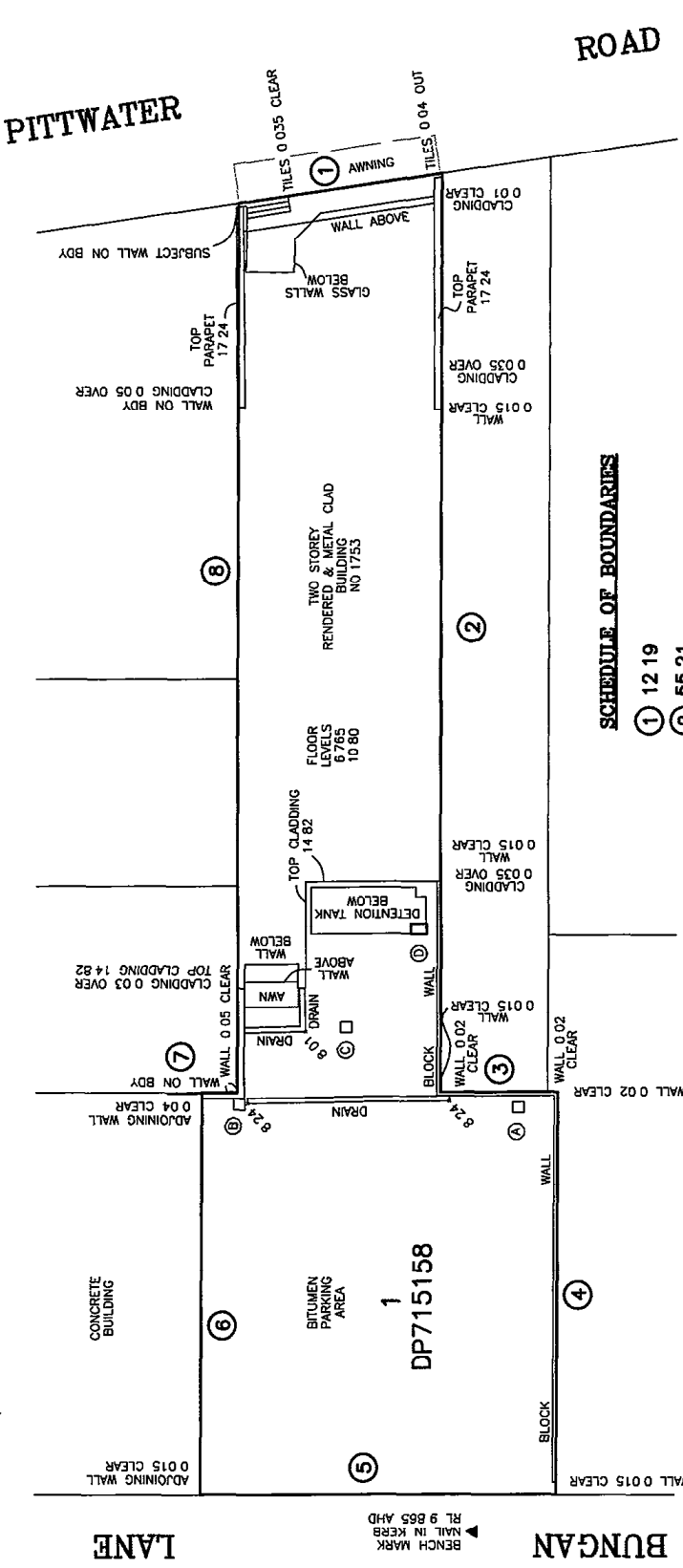
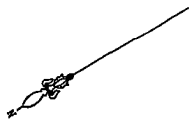
Please call for any further information

Kind Regards

Brett Delmege
Director
Lic 160619C

PLAN

OF
ALTERATIONS &
ADDITIONS AT
MONA VALE



SCHEDULE OF BOUNDARIES

- ① 12 19
- ② 55 21
- ③ 6 99
- ④ 24 11
- ⑤ 21 195
- ⑥ 24 11
- ⑦ 2 135
- ⑧ 53 50

- INLET PITS:**
- Ⓐ OLD GRATE 8 37
 - Ⓑ OLD GRATE 8 22
 - Ⓒ NEW GRATE 7 94
 - Ⓓ NEW GRATE 8 14
 - INVERT 0.15^m INLETS 7.58 7.59
 - INVERT 0.25^m OUTLET 7.44
 - INVERT TANK 5.76
 - OBVERT TANK 7.35
 - AREA 10.750 m²
 - CAPACITY 5600 m

DP SURVEYING SERVICES

LAND & ENGINEERING SURVEYORS
760A BARRENDOEY RD AVALON 2107
PHONE 9574-3384
FAX 9574-3382
DATE 12 FEBRUARY 2009
MY REF 855

DAVID PARSONS
REGISTERED SURVEYOR

▲ BENCH MARK
MAIL IN KERS
RL 9 665 AHD

Kirriily Burnes

From Brett Delmege [Brett@delmege.com.au]
Sent Wednesday, 17 June 2009 12:58 PM
To Kirriily Burnes
Cc keth8998@bigpond.net.au
Subject RE: 1753 Pittwater Rd, Mona Vale
Attachments Fire Safety Certificate - Delmege.pdf

Kirriily

Thank you, please find attached signed copy

BRETT DELMEGE
DIRECTOR



Level 5 / 90 Mount St
North Sydney NSW 2060

P 99 22 77 22
F 99 22 39 00
M 0408 432 687
E brett@delmege.com.au

From Kirriily Burnes [mailto:kb@dixgardner.com.au]
Sent Tuesday, 16 June 2009 1:27 PM
To Brett Delmege
Subject 1753 Pittwater Rd, Mona Vale

Good afternoon Brett,
Please find attached the Final Fire Safety Certificate (amended). As soon as you have signed & sent back to us the OC can be issued.
Cheers

Regards

Kirriily Burnes
Administration Assistant



Level 4, 155 Castlereagh Street,
SYDNEY NSW 2000
Tel 02 9279 3657
Fax 02 9279 3686

Fire Safety Certificate

Issued under the Environmental Planning and Assessment Regulation 2000
Clauses 170 to 174

Type of Certificate

Interim Final

Owner / Agent

I **BRETT DELMEGE**

Address

of **DELMEGE CONSTRUCTIONS P/L**

Certify that

each of the essential fire safety measures specified in the current fire safety schedule for the building to which the certificate relates

- a) has been assessed by a properly qualified person and
- b) was found when it was assessed to be capable of performing to at least the standard required by the current fire safety schedule for the building for which the certificate is issued

Identification of Building

Street Pittwater Road, Mona Vale NSW 2103

House/Unit No or Building Name 1753

Side of Street

Nearest Cross Street Waratah Street

Particulars of Building

Scope Whole Part

Description of Part (where applicable) Two-storey commercial building

House/Unit No or Building Name 1753

Date of Assessment

Owner's Details

Name Kethel Investments Pty Ltd


Address 1792 Pittwater Road Bayview NSW

Essential Fire and other Safety Measures	Standard of Performance
Automatic fire sprinkler system (Automatic retraction of external blinds upon sprinkler activation Configured for fail safe operation)	BCA C3 4 & AS 2118 1-1999
Discharge from exits	BCA Clause D1 10
Exit Signs	BCA Clauses E4 5/NSW E4 6/E4 7/E4 8 and AS/NZS 2293 1-2005
Fire hydrant systems	BCA Clause E1 3 & AS 2419 1-2005
Fire Windows	BCA Spec C3 4
Hose reel system	BCA Clause E1 4 & AS 2441-2005
Latching devices	BCA Clause D2 21 & Manufacturers Spec
Path of travel for stairways, passageway and ramps	BCA Clauses D1 4, D1 6 & D2 7

Essential Fire and other Safety Measures	Standard of Performance
Portable fire extinguishers	BCA Clause E1 6 and AS 2444-2001
Required (automatic) Exit Doors	BCA Clause D2 19
Warning and Operational Signs	BCA Clause D2 23 & EPA Regs 2000

Date of Certificate dated this day of 16.6 2009

Signature


owner/agent

A copy of this certificate together with the relevant fire safety schedule must be forwarded to the Council and the Commissioner of the New South Wales Fire Brigades

A copy of this certificate together with the relevant fire safety schedule must be prominently displayed in the building

Notes for completing the Fire Safety Certificate

Note 1

An **interim fire safety certificate** or a **final fire safety certificate** is required before

- an interim occupation certificate can be issued to allow a partially completed new building (including and altered portion of or an extension to a new building) to be occupied or used or
- an interim occupation certification can be issued to allow a change of building use for part of an existing building

A **final fire safety certificate** is required

- before a final occupation certificate can be issued to allow a new building (including an altered portion of or extension to a new building) to be occupied or used or
- before a final occupation certificate can be issued to allow a change of building use for an existing building or
- in accordance with a fire safety order given by a council

An **interim fire safety certificate** is issued for part of the building and may deal only with those essential fire safety measures appearing on the most recent fire safety schedule (see note 3) relevant to the part of the building for which interim occupation certificate will be sought.

A **final fire safety certificate** must deal with all essential fire safety measures appearing on the most recent fire safety schedule (see note 3) subject to the following

An **interim fire safety certificate** or a **final fire safety certificate** need not deal with those essential fire safety measures which have been the subject of some other final fire safety certificate or annual fire safety statement within the previous 6 months unless the person or authority responsible for determining the relevant development consent complying development certificate construction certificate or fire safety order has specified otherwise in the schedule. See also note 3

Note 2

The person who carries out the assessment

- must inspect and verify the performance of each fire safety measure being assessed and
- in the case of a (interim or final) fire safety certificate for a new building (not an alteration to or enlargement or extension of an existing building) must test the operation of each item of fire safety equipment installed in the building

Note 3

The relevant essential fire safety measures are those specified in the most recent fire safety schedule attached to one of the following

- development consent for a change of building use or
- complying development certificate for the erection of a building or a change of building use or
- construction certificate for proposed building work including building work associated with a change of building use or
- a fire safety order

The fire safety schedule will also identify standard of performance for each essential fire safety measure

16 June 2009

The General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Attention Planning Department

Dear Sir/Madam,

**RE DA NO N0213/08
1753 PITTWATER ROAD, MONA VALE NSW**

Please find attached a copy of the amended Fire Safety Schedule for Council's record, in regard to the above project (Note The addition of an Automatic Fire Sprinkler System – *Automatic retraction of external blinds upon sprinkler activation Configured for fail safe operation*)

If you have any queries regarding the above please do not hesitate to contact the undersigned on 9279 3657 during business hours

Yours faithfully,



Wayne Treble
Dix Gardner Pty Ltd

CC - Kethel (Investments) Pty Ltd

Fire Safety Schedule - Amended

(Clause 168 of the Environmental Planning and Assessment Regulation 2000)

Premises 1753 Pittwater Road Mona Vale NSW
Development Consent No N0213/08
Construction Certificate No 537/08

The following essential fire safety measures shall be implemented in the whole of the building premises and each of the fire safety measures must satisfy the standard of performance listed in the schedule which for the purposes of Clause 168 of the Environmental Planning and Assessment Regulation 2000, is deemed to be the current fire safety schedule for the building

SCHEDULE

Essential Fire and other Safety Measures	Standard of Performance	Existing	Proposed
Automatic fire sprinkler system (Automatic retraction of external blinds upon sprinkler activation Configured for fail safe operation)	BCA C3 4 & AS 2118 1-1999		✓
Discharge from exits	BCA Clause D1 10		✓
Emergency Lighting	BCA Clauses E4 2/E4 4 & AS/NZS 2293 1-2005		✓
Exit Signs	BCA Clauses E4 5/NSW E4 6/E4 7/E4 8 and AS/NZS 2293 1-2005		✓
Fire hydrant systems	BCA Clause E1 3 & AS 2419 1-2005		✓
Fire Windows	BCA Spec C3 4		✓
Hose reel system	BCA Clause E1 4 & AS 2441-2005		✓
Latching devices	BCA Clause D2 21 & Manufacturers Spec		✓
Path of travel for stairways, passageway and ramps	BCA Clauses D1 4, D1 6 & D2 7		✓
Portable fire extinguishers	BCA Clause E1 6 and AS 2444-2001		✓
Required (automatic) Exit Doors	BCA Clause D2 19		✓
Warning and Operational Signs	BCA Clause D2 23, & EPA Regs 2000		✓