



Construction Traffic Management Plan

882A Pittwater Road, Dee Why

Mixed-Use Development

Prepared for: Developmentlink Pty Ltd

Prepared By: Matthew Young
RMS Prepare a Work Zone Traffic Management Plan
Certificate #: TCT0048974

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1 Project Details

1.1 Project Summary

Project: Mixed-Use Development
Location: 882A Pittwater Road, Dee Why NSW
Hours of Operation: DA approved hours

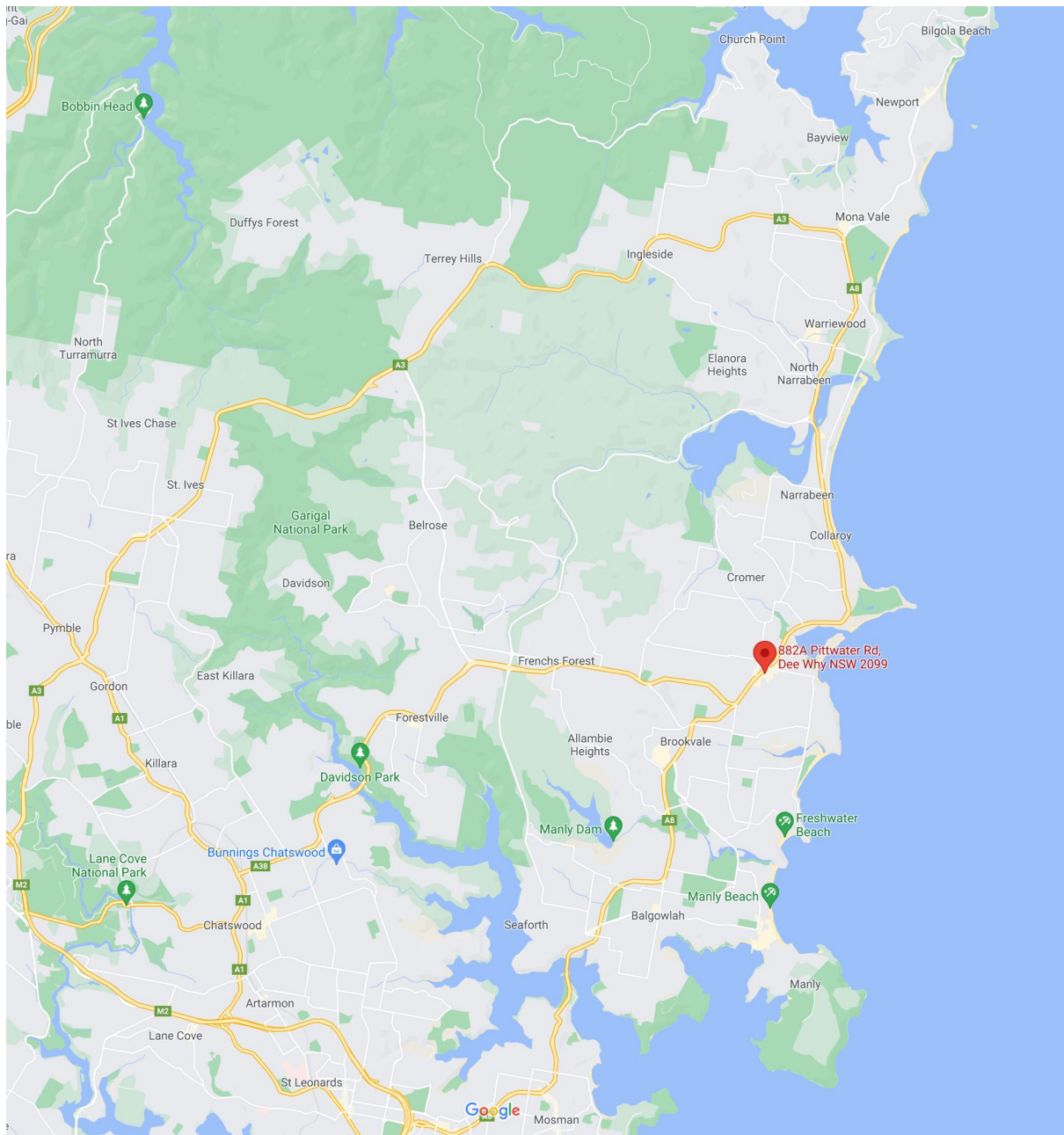
Scope of Works: Demolition of existing structures and construction of a new mixed-use development.

This Traffic Management Plan has been prepared to support the development application for the proposed mixed-use development works.

1.2 Revisions

Rev	Date	Description
0	29/07/21	Initial Submission

1.3 Location Map



1.4 Development Process

This traffic management plan covers the stage(s) listed below, subsequent stages will require amendments and additional plans to be prepared.

Included Stages / Phases:

Stage / Phase	Duration (approx.)
Demolition	1 Month
Construction	10 Months

1.5 Demolition Phase

General Type of Works:

- Awning removal
- Install B-Class hoarding over the footpath
- Demolition of existing structures
- Removal of demolished material from site

Awning removal to be done at night when pedestrian activity is low. Demolition works carried out by hand and with small equipment within the site boundary.

Daily Vehicle Movements:

	SRV	MRV	HRV	AV	Truck & Dog	Total
Length	6.4m	8.8m	12.5m	19m	18.4m	
Peak Movements (Vehicles)		12(6)	2(1)			14(7)
Average Movements (Vehicles)		6(3)				6(3)

1.6 Construction Phase

General Type of Works:

- General construction activity for building structure (floor slabs, walls, etc.)
- Concrete pours
- Associated plumbing and electrical works
- Fit-out works

The structure to utilise precast panels for walls with the floor slabs to be poured using a line pump from the works zone.

Daily Vehicle Movements:

	SRV	MRV	HRV	AV	Truck & Dog	Total
Length	6.4m	8.8m	12.5m	19m	18.4m	
Peak Movements (Vehicles)		8(4)	2(1)	4(2) Precast		14(7)
Average Movements (Vehicles)		4(2)	2(1)	2(1)		8(4)
Concrete Pours (pour days only)		24(12)	2(1)			26(13)

Concrete Pour Schedule: approx. 1 day every 2 weeks per level

2 Existing Conditions

2.1 Roadways

Road Name	Direction	Lanes	Speed Limit	Kerb Restrictions	Pedestrian Access
Pittwater Road	Southbound	2 Traffic Lanes 1 dedicated Bus Lane and 1 Bus Zone bay	60	Bus Zone along the site frontage. Bus Lane 6am – 10m Mon – Fri & Clearway 3pm – 7pm Mon – Fri along the kerb lane northern and south of the site	Wide concrete footpath along the site frontage

2.2 Public Transport

Rail – No rail infrastructure in close proximity to the site

Buses – Dedicated bus lanes along both sides of Pittwater Road. The Bus Zone along the site frontage used for the 'B-Line' service which requires frequent with services every 5 minutes during peak hours and 10-15 minutes at other times.

Taxi – No dedicated infrastructure along the site frontage, however, taxi use common in the local area.

2.3 Unique Conditions

- No existing vehicular access to the site
- Site is very narrow and is surrounded by existing multistorey buildings restricting all access to the Pittwater frontage only.
- No basement level in the existing site or the proposed development.
- Site located in a high pedestrian area with multiple traffic generating developments surrounding the site such as the B-Line bus service, supermarkets, retail shops and residential apartments.

3 Proposed Management of Construction Vehicles

3.1 General

- A schedule of site inductions shall be held on regular occasions and as determined necessary to ensure all new employees are aware of the construction management obligations.

3.2 Demolition Phase

- a) Approach and Departure Routes
 - Approach Route – Traveling south along Pittwater Road turn in the kerb lane and stand within the Works Zone in a forward-facing direction.
 - Departure Route – In a forward-facing direction exit the Works Zone and continue south along Pittwater Road.
- b) Site Access
 - No vehicle access possible onto the site.
- c) Vehicle movements within the site
 - N/A
- d) Loading and Unloading of Vehicles
 - All vehicles to be loaded and unloaded within the Works Zone.
- e) Vehicle Queuing
 - Vehicles to stand within the approved Works Zone only.
 - The site to manage vehicles approaching the site to ensure all vehicles are contained within the Works Zone only. Drivers are in contact with the site prior to arrival to confirm adequate space is available.
- f) Removal of material from site
 - Vehicles to be loaded from the site by hand or using small equipment.
- g) Works Zone
 - 20m Works Zone along the Pittwater Road site frontage starting from the existing light pole and traveling south.
- h) Standing Plant
 - All equipment to be used within the site boundary only.
- i) Parking for Site Workers
 - No parking available within the site boundaries. All staff to use surrounding off-street parking facilities abiding by existing conditions.
 - Site workers will be encouraged to use public transport to travel to and from the site with facilities available onsite for tool and equipment storage.
- j) Storage for Material, Waste and Equipment
 - All storage to be located within the site boundaries only.
- k) Pedestrian Management
 - Pedestrian access past the site as per existing conditions along the concrete footpath

- Traffic controllers located at gate to manage pedestrian activity when vehicles are crossing the footpath.
 - B-Class Hoarding placed along the site frontage for overhead protection.
- l) Traffic Lanes
- Traffic access along Pittwater Road maintained as per existing conditions.

3.3 Construction Phase

- a) Approach and Departure Routes
- Approach Route – Traveling south along Pittwater Road turn in the kerb lane and stand within the Works Zone in a forward-facing direction.
 - Departure Route – In a forward-facing direction exit the Works Zone and continue south along Pittwater Road.
- b) Site Access
- No vehicle access possible onto the site.
- c) Vehicle movements within the site
- N/A.
- d) Loading and Unloading of Vehicles
- All vehicles to be loaded and unloaded from the Works Zone.
- e) Vehicle Queuing
- Vehicles to stand within the approved Works Zone only.
 - The site to manage vehicles approaching the site to ensure all vehicles are contained within the Works Zone only. Drivers are in contact with the site prior to arrival to confirm adequate space is available.
- f) Works Zone
- 20m Works Zone continues from previous phase.
- g) Standing Plant
- All equipment to be used within the site boundary.
 - Concrete pour from within the approved Works Zone using a line pump, see Appendix B for relevant TCP.
- h) Material Handling
- Onsite tower crane installed within the site to load / unload material for vehicles within the Works Zone and for moving material and equipment between levels
- i) Parking for Site Workers
- Site workers to park within site boundaries or surrounding off-street parking facilities abiding by existing conditions.
 - Site workers will be encouraged to use public transport to travel to and from the site with facilities available onsite for tool and equipment storage.
 - Basement may be used by suitable vehicles once its construction is complete.
- j) Storage for Material, Waste and Equipment
- All storage to be located within the site boundaries only.
- k) Pedestrian Management
- Pedestrian access past the site as per existing conditions along the concrete footpath
 - Traffic controllers located at gate to manage pedestrian activity when vehicles are crossing the footpath.
 - B-Class Hoarding placed along the site frontage for overhead protection.
- l) Traffic Lanes
- Traffic access along Pittwater Road maintained as per existing conditions.

4 Impact of Project

4.1 Surrounding Properties

- Existing access to surrounding properties maintained throughout the project.
- Pedestrian and vehicular travel paths maintained as per existing facilities throughout works.

4.2 Pedestrians

- Pedestrian access maintained along the footpath with B-Class hoarding placed along the site frontage for overhead protection and reduce impact on pedestrian movements when items are being lifted over the footpath.
- Traffic controllers used as required for pedestrian safety when material or small equipment are being transported across the footpath. Traffic controllers to ensure site movements give priority to pedestrian activity along the footpath

4.3 Cyclists

- No significant cyclist impact due to the project; existing travel routes to remain as per normal conditions.

4.4 Local Traffic

- Limited impact on traffic flow with existing traffic lanes maintained throughout works.

4.5 Emergency Services

- Access along surrounding streets maintained throughout the project with access to surrounding properties also as per existing conditions.
- Emergency vehicles are given priority access as per normal road rules.

4.6 Public Transport

- The existing Bus Lane southbound along Pittwater Road to have minimal impact from the site activities as all vehicle standing to be limited to the Works Zone.
- The impact on the Bus Zone to be limited to a 20m section towards the end of the zone. This location reduces the impact on access for buses as the approach access path is unaffected and where buses must pull out from the kerb before the Works Zone is just prior to where the existing lane merge is located.
- The construction methodology has been developed to utilise items such as precast panels to ensure the program is kept short as possible to reduce the duration of the required Works Zone.

Appendix A – Site Plans

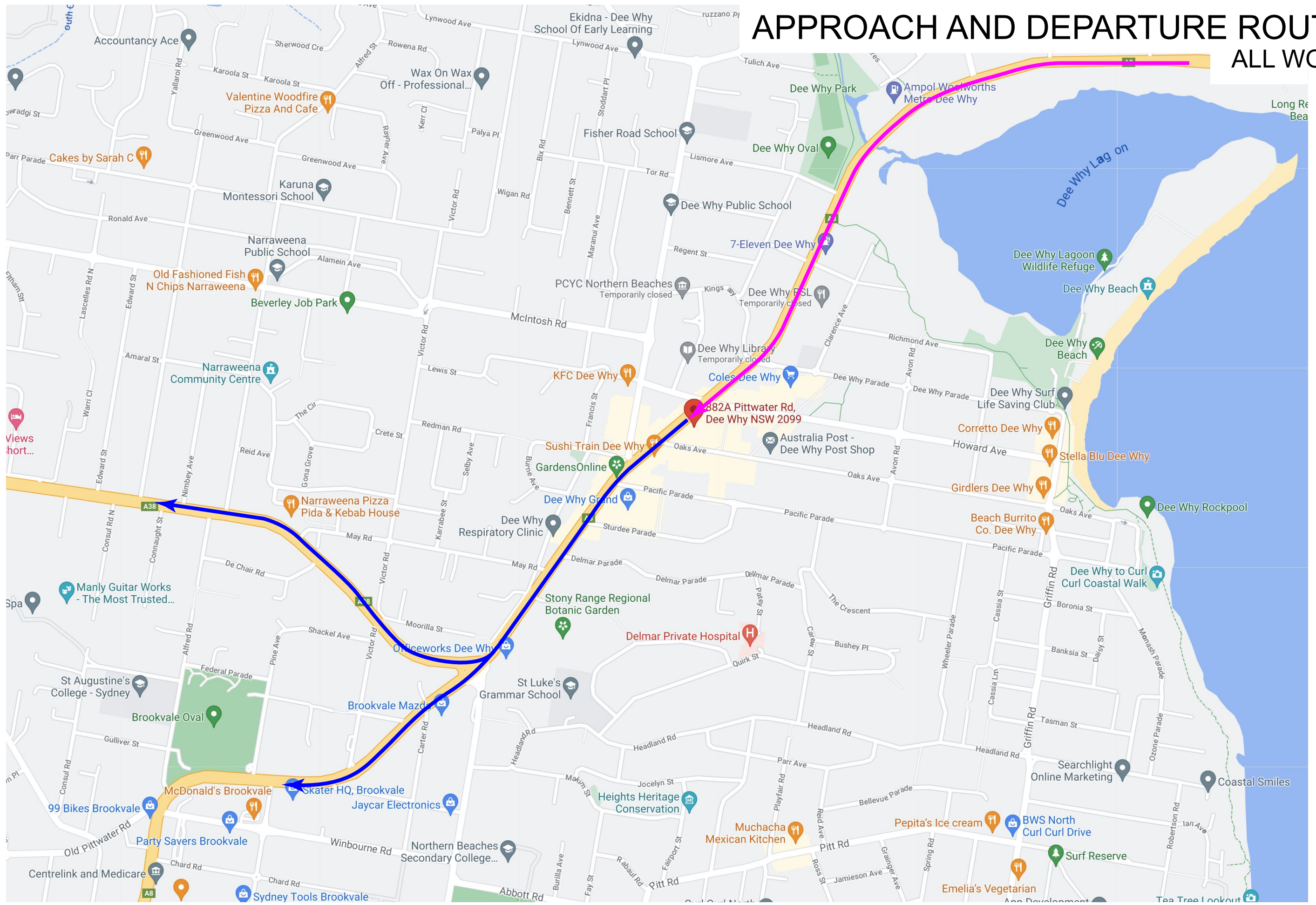
- SBMG02187-01 – Approach and Departure Routes - All Works
- SBMG02187-02 – Site Overview – Demolition Phase
- SBMG02187-03 – Site Overview – Construction Phase
- SBMG02187-04 – Works Zone – Proposed Signage

Appendix B – Traffic Control Plans

- SBMG02187-05 – Awning Removal
- SBMG02187-06 – Demolition Works
- SBMG02187-07 – Construction Works

Appendix A

APPROACH AND DEPARTURE ROUTES ALL WORKS



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Project/Event:	MIXED-USE DEVELOPMENT		
Location:	882A PITTWATER ROAD, DEE WHY NSW		
Client :	DEVELOPMENTLINK PTY LTD		
Plan No.	SBMG02187-01	A	Date: 29TH JULY 2021
SCALE: NOT TO SCALE			

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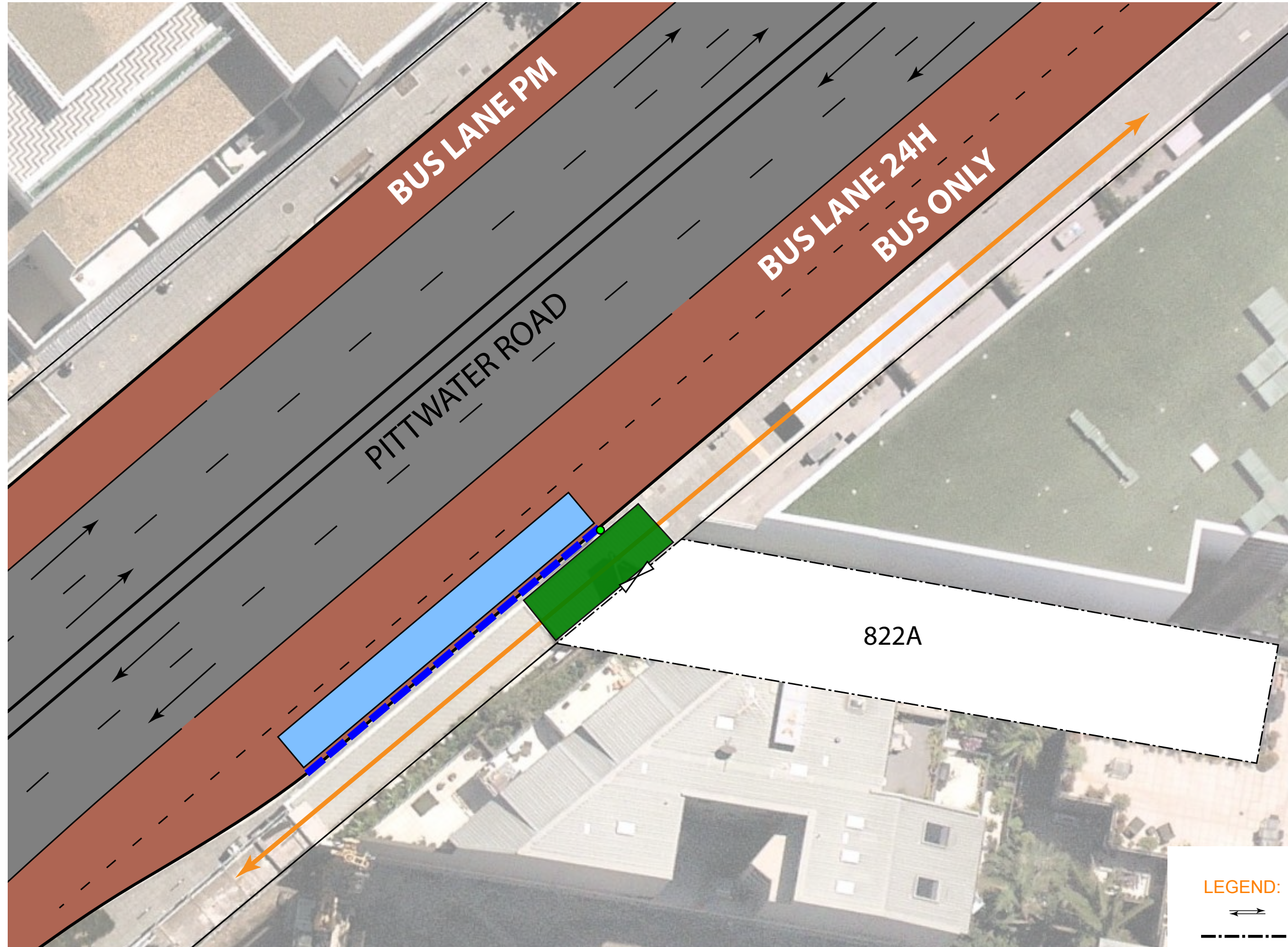
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LEGEND:

- SITE APPROACH ROUTE
- SITE DEPARTURE ROUTE

SITE OVERVIEW DEMOLITION PHASE



LEGEND:


-  TRAFFIC FLOW
-  SITE BOUNDARY
-  EXISTING LIGHT POLE
-  SITE GATE
-  WORKS ZONE
-  B-CLASS HOARDING
-  VEHICLE STANDING
-  PEDESTRIAN ROUTE

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Client :	DEVELOPMENTLINK PTY LTD		
Plan No.	SBMG02187-02	A	Date: 29TH JULY 2021
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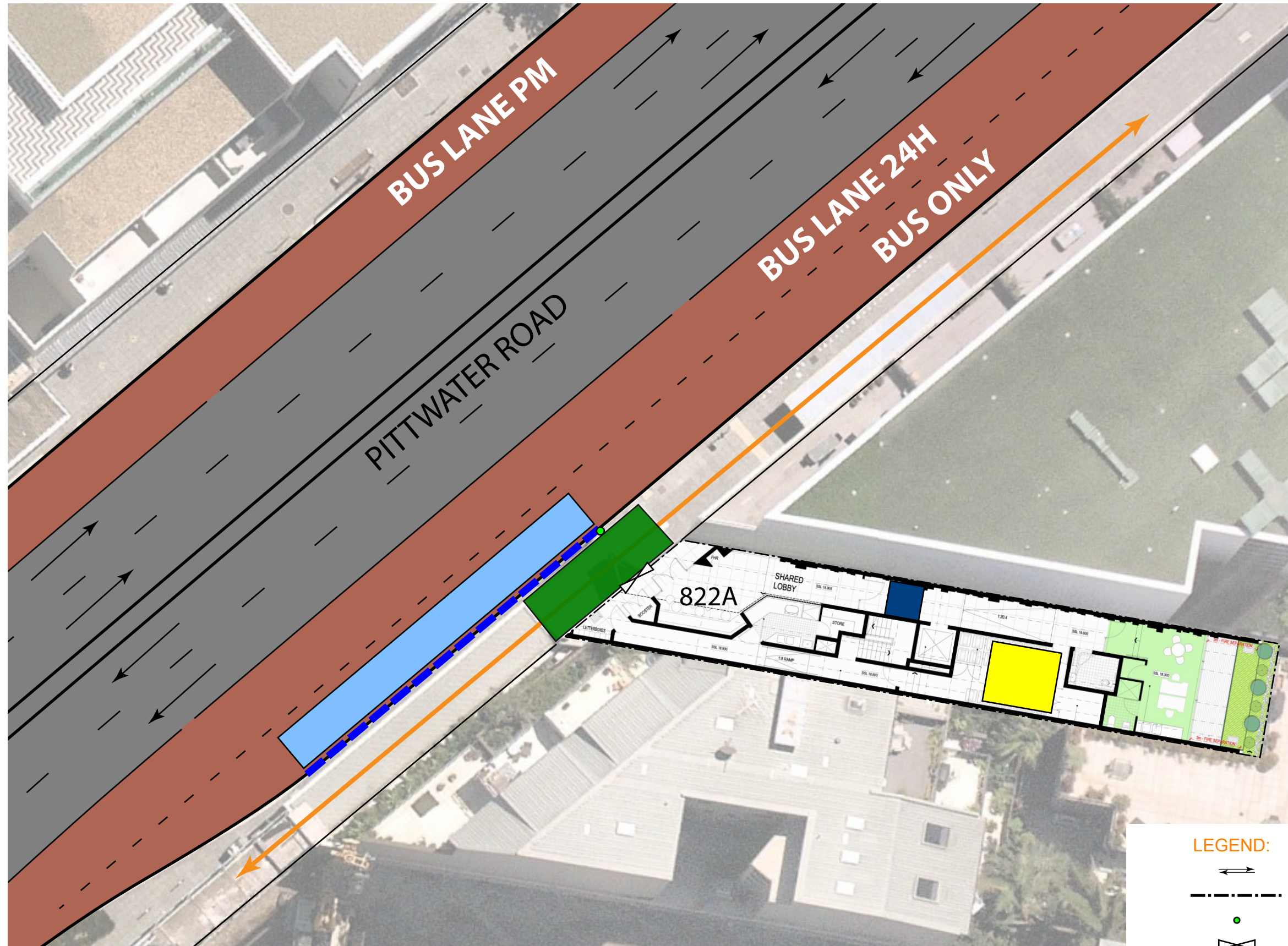
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









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SITE OVERVIEW CONSTRUCTION PHASE




LEGEND:

-  TRAFFIC FLOW
-  SITE BOUNDARY
-  EXISTING LIGHT POLE
-  SITE GATE
-  WORKS ZONE
-  B-CLASS HOARDING
-  VEHICLE STANDING
-  TOWER CRANE BASE
-  SITE SHED / AMENITIES
-  PEDESTRIAN ROUTE

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WORKS ZONE ALL PHASES



LEGEND:

- TRAFFIC FLOW
- SITE BOUNDARY
- EXISTING LIGHT POLE
- EXISTING NO STOPPING ZONE
- EXISTING BUS ZONE
- PROPOSED WORKS ZONE

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TRAFFIC CONTROL BUILDING & CONSTRUCTION SPECIAL EVENTS SWEEP PATH DIAGRAMS

Project/Event:	MIXED-USE DEVELOPMENT		
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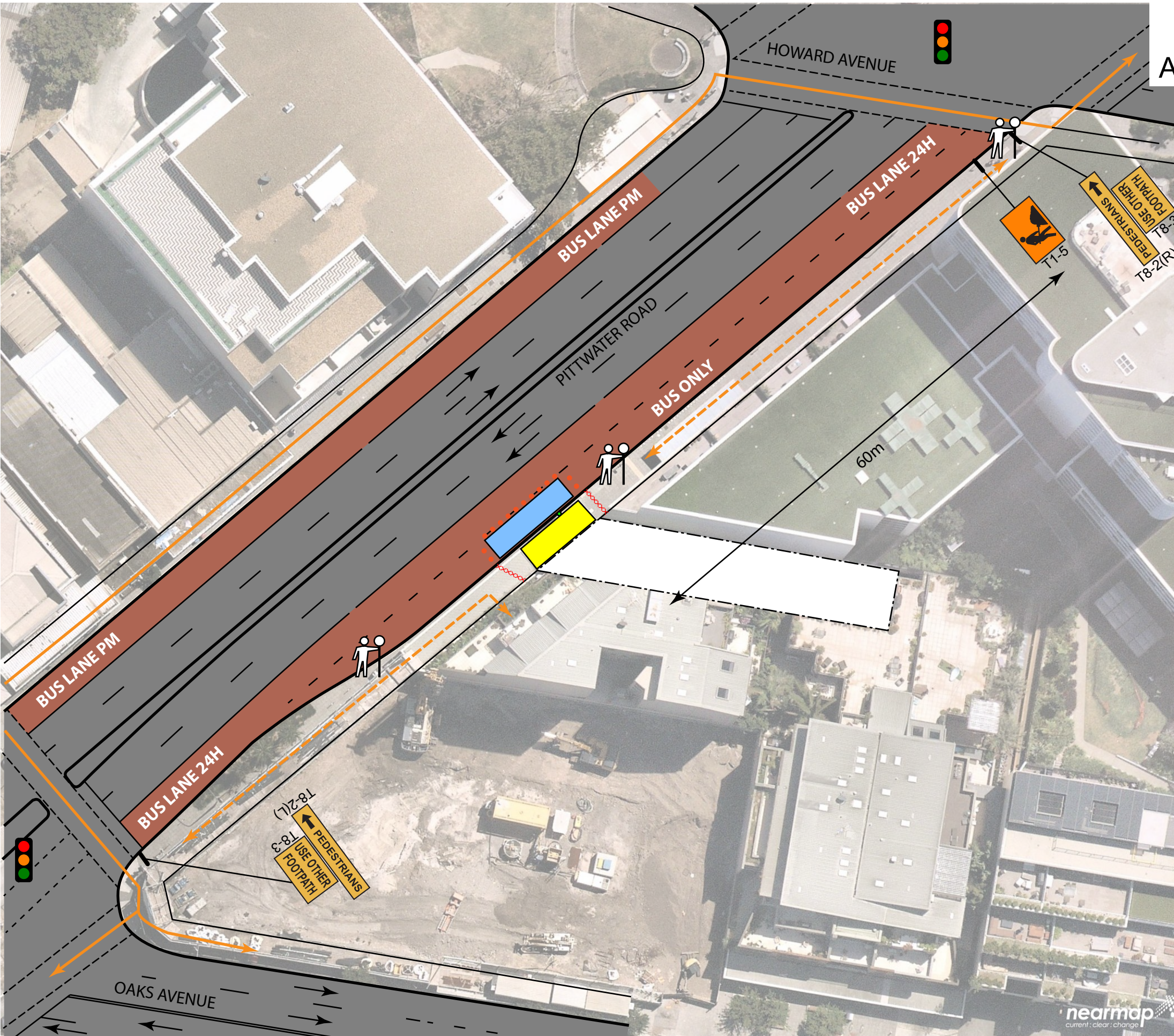
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Appendix B

TRAFFIC CONTROL PLAN AWNING REMOVAL - NIGHT WORKS



NOTES:

1. ALL SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH RMS "TRAFFIC CONTROL AT WORKSITES" MANUAL AND AS1742.3.
2. ALL SIGNAGE AND DELINEATION MUST BE INSTALLED BY RMS CERTIFIED TRAFFIC CONTROLLER(S) ONLY.
3. SURROUNDING PROPERTY ACCESS TO BE MAINTAINED AT ALL TIMES.
4. TRAFFIC CONTROLLERS TO MANAGE PEDESTRIAN ACCESS AROUND THE WORK AREA AND GUIDE PEDESTRIANS AS REQUIRE TO AND FROM SURROUNDING PROPERTIES AND THE BUS STOP AREA.
5. WORKS CARRIED OUT AT NIGHT WHEN PEDESTRIAN ACTIVITY IS LOW.

LEGEND:

- SITE BOUNDARY
- TRAFFIC FLOW
- VEHICLE STANDING
- SITE SHEDS AND AMENITIES
- DELINEATION (i.e. TRAFFIC CONES)
- PEDESTRIAN BARRIER
- PEDESTRIAN DETOUR ROUTE
- PEDESTRIAN ROUTE (LOCAL ACCESS)
- TRAFFIC CONTROLLER

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TRAFFIC CONTROL BUILDING & CONSTRUCTION SPECIAL EVENTS SWEEP PATH DIAGRAM

Project/Event:	MIXED-USE DEVELOPMENT
Location:	882A PITTWATER ROAD, DEE WHY NSW
Client :	DEVELOPMENTLINK PTY LTD
Plan No.	SBMG02187-05
A	Date: 29TH JULY 2021

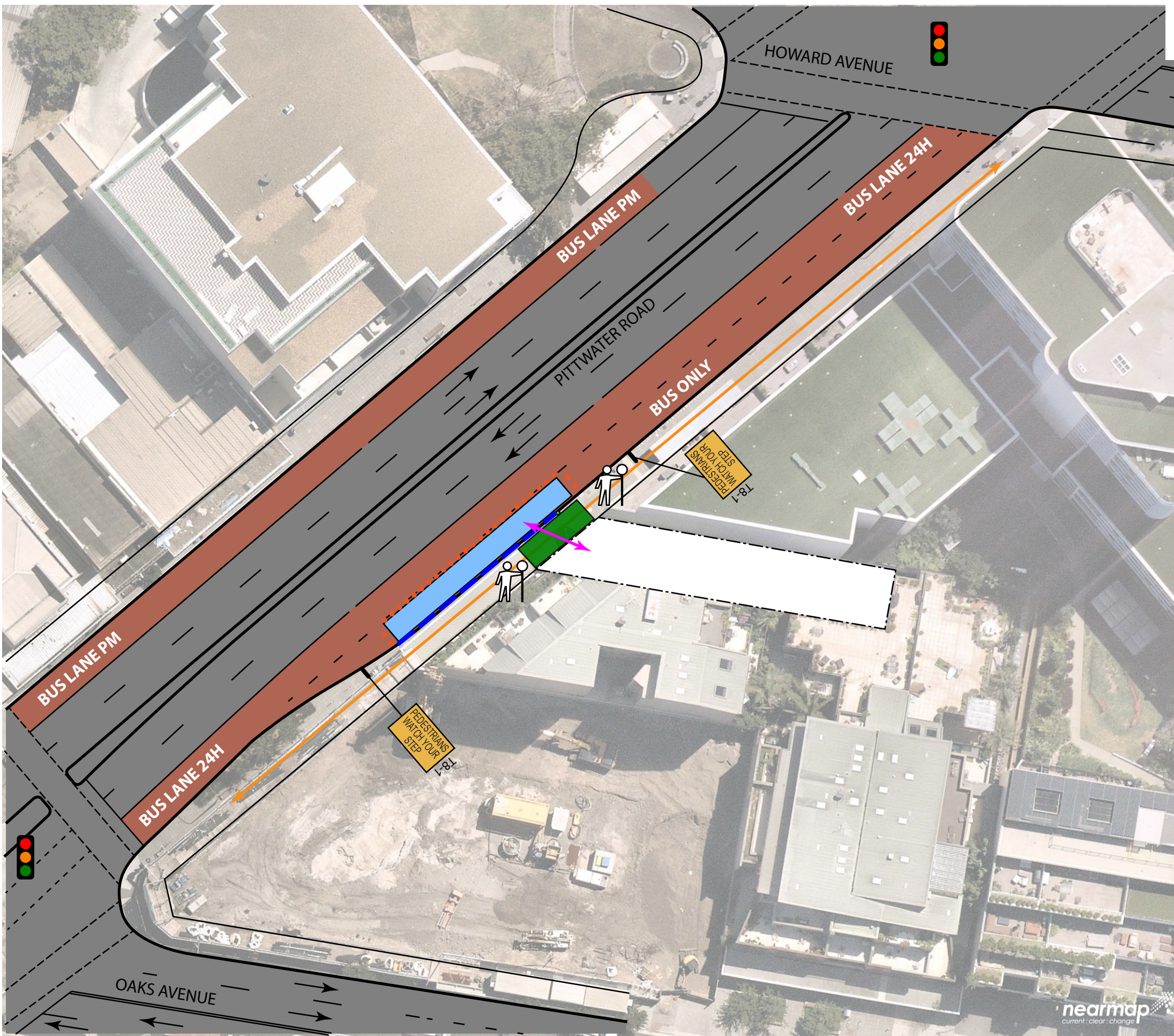
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TRAFFIC CONTROL PLAN DEMOLITION WORKS



NOTES:

1. ALL SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH RMS "TRAFFIC CONTROL AT WORKSITES" MANUAL AND AS1742.3.
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3. SURROUNDING PROPERTY ACCESS TO BE MAINTAINED AT ALL TIMES.
4. TRAFFIC CONTROLLERS TO MANAGE PEDESTRIANS PAST THE SITE WHEN EQUIPMENT AND MATERIAL IS BEING TRANSPORTED ACROSS THE FOOTPATH.
5. B-CLASS HOARDING INSTALL OVER THE FOOTPATH FOR OVERHEAD PROTECTION AND TO ALLOW MATERIAL AND EQUIPMENT TO BE TRANSPORTED OVER THE FOOTPATH WHILST MAINTAINING A TRAVEL PATH.

LEGEND:

- TRAFFIC FLOW
- SITE BOUNDARY
- EXISTING LIGHT POLE
- SITE GATE
- WORKS ZONE
- B-CLASS HOARDING
- VEHICLE STANDING
- MATERIAL AND EQUIPMENT TRAVEL PATH
- PEDESTRIAN ROUTE

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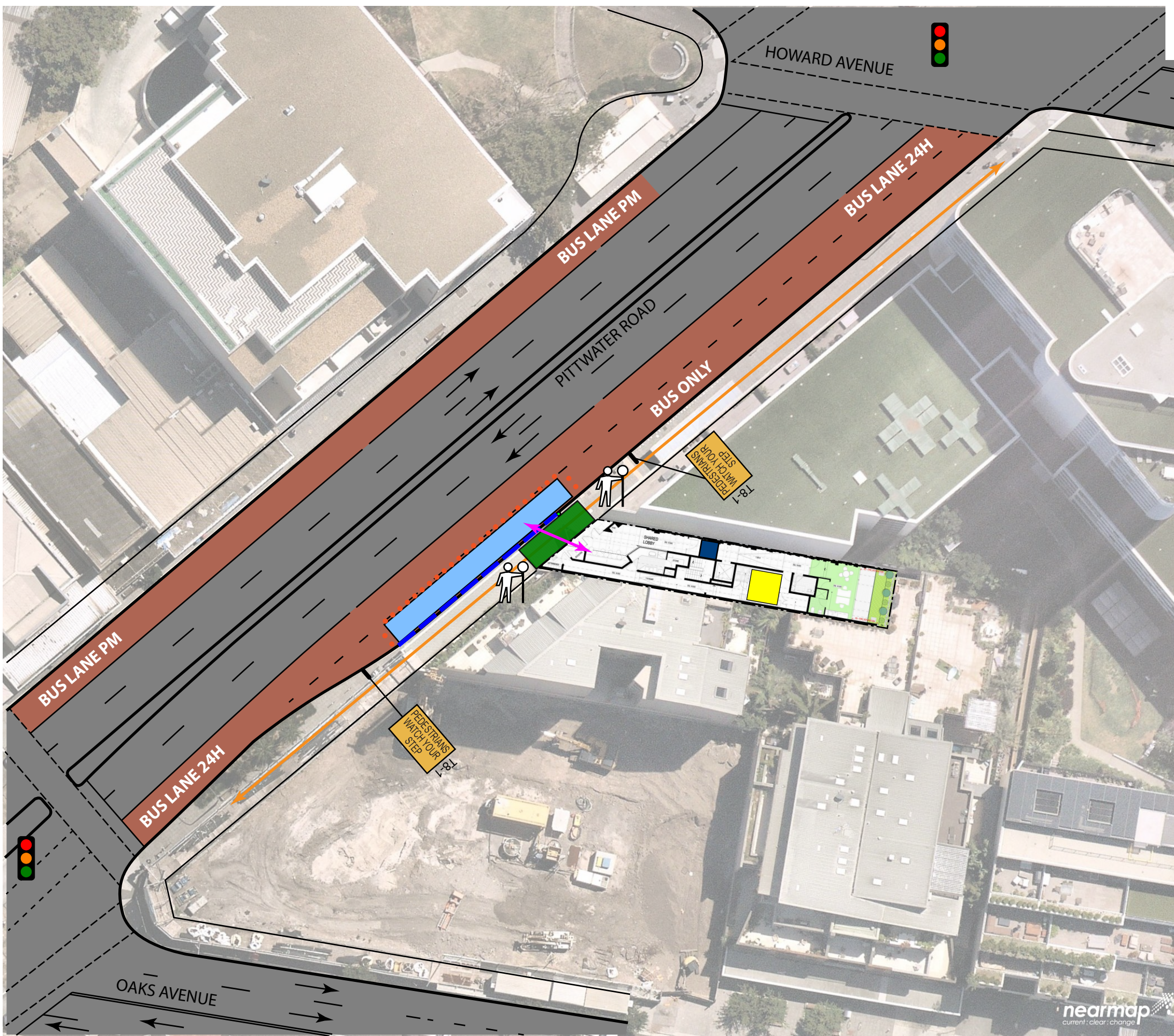
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TRAFFIC CONTROL PLAN CONSTRUCTION WORKS



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5. B-CLASS HOARDING INSTALL OVER THE FOOTPATH FOR OVERHEAD PROTECTION AND TO ALLOW MATERIAL AND EQUIPMENT TO BE TRANSPORTED OVER THE FOOTPATH WHILST MAINTAINING A TRAVEL PATH.

LEGEND:

- TRAFFIC FLOW
- SITE BOUNDARY
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