

JILLIBY

Kathryn Parker  
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DEVELOPMENT APPLICATION TO NORTHERN BEACHES COUNCIL

APRIL 2019

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J - 11 - DA	SECTION AA	1:100
J - 12 - DA	SHADOW DIAGRAMS JUNE 21 EXISTING + PROPOSED	N/A
J - 13 - DA	SCHEDULE OF EXTERNAL FINISHES	N/A
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BASIX Requirements:

WATER COMMITMENTS

Landscape - low water use species 300m2

FIXTURES

Showerheads: 3 star minimum (>4.5 but <=6L/min)  
Toilets: 5 star minimum  
Taps: 5 star minimum

ALTERNATE WATER

Rainwater tank 5,000L - connect to 265m2 of roof area

ARTIFICIAL LIGHTING

The applicant must ensure that the 'primary type of artificial lighting' is fluorescent or light emitting diode (LED) as per BASIX certificate

CONSTRUCTION

Floor - concrete slab on ground (insulation nil)  
External wall: framed (weatherboard, fibro, metal clad) : R3.00 (or R3.40 including construction)  
Ceiling and roof - flat ceiling / pitched roof: ceiling R3.45 (up), roof: foil backed blanket (55mm), unventilated; medium (solar absorptance 0.475-0.7)

WINDOWS AND GLAZED DOORS

W1: Orientation: NE, 1670mm(h) x 1900mm(w), timber/UPVC/fibreglass, single, clear, shading device 3400mm verandah, 1870mm above base

W2: Orientation: NE, 1670mm(h) x 1900mm(w), timber/UPVC/fibreglass, single, clear, shading device 3400mm verandah, 1870mm above base

W3: Orientation: NW, 2300mm(h) x 5000mm(w), timber/UPVC/fibreglass, single, clear, shading device 360mm eave, 0mm above head

W4: Orientation: NW, 2300mm(h) x 5000mm(w), timber/UPVC/fibreglass, single, clear, shading device 360mm eave, 0mm above head

HOT WATER

Gas instantaneous  
3 stars minimum

LIGHTING

The applicant must install a window and or/skylight in the kithen of the dwelling for natural lighting  
The applicant must install a window and or/skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting

OTHER

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling  
The applicant must construct each refrigerator space in the development so that it is 'well ventilated' as defined in the BASIX  
The applicant must install a fixed outdoor clothes drying line as part of the development

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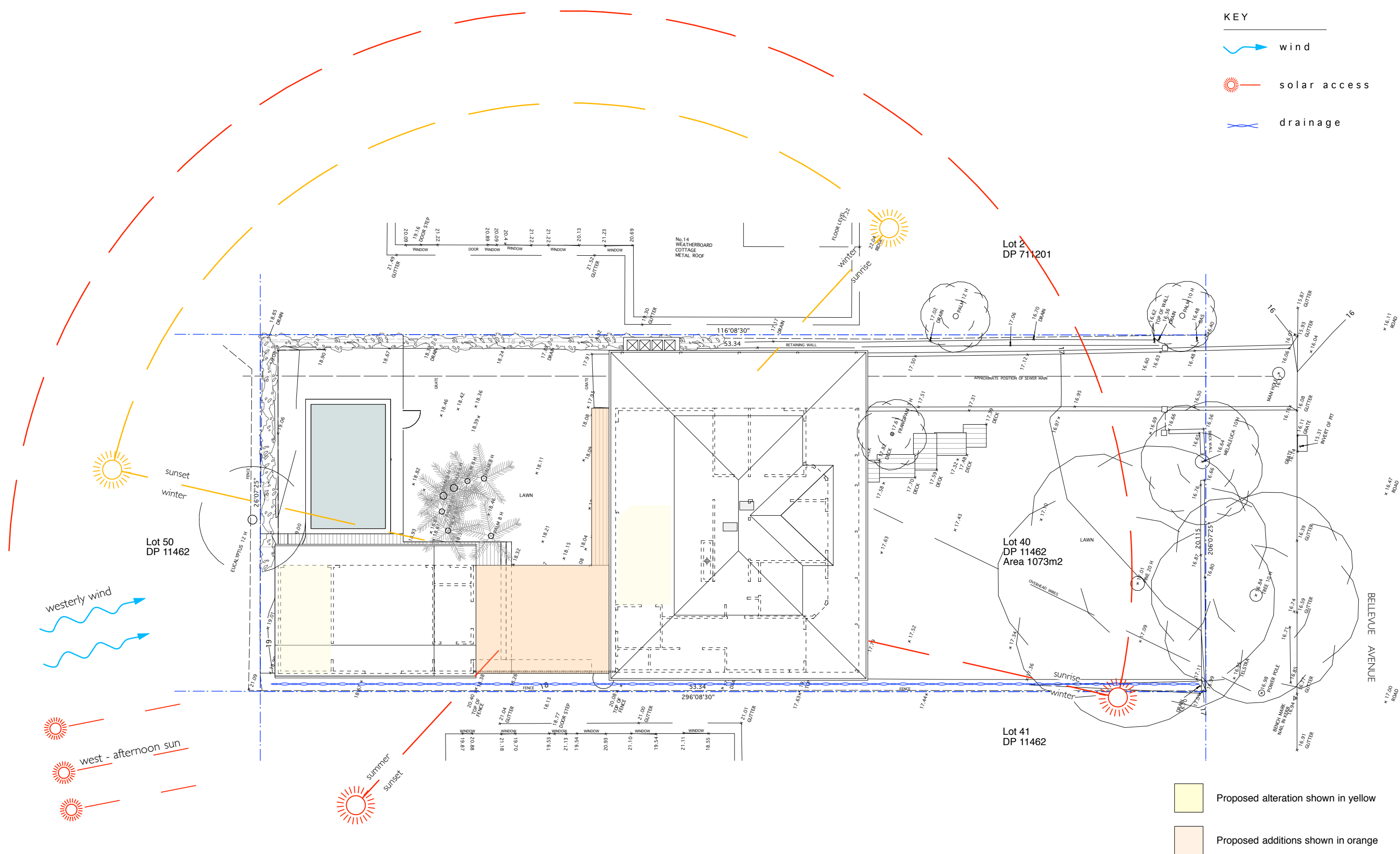
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KEY

wind

solar access

drainage



All Erosion and Sediment Control measures detailed herein are to be confirmed by the Contractor to be fully functional after any rainfall exceeding 6mm (in a 24 hour Period) and on a weekly basis. This confirmation shall be provided as a condition for undertaking any further work under the Construction Contract.

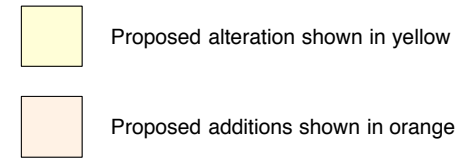
Any road vehicle leaving the site which has been in contact with clay soil shall be washed or brushed down on the Site Entry Platform.

The public road in the vicinity of the site is to be swept at regular intervals to prevent sediment buildup at the Site Entry

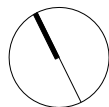
1. Site works are not to be commenced until all erosion and sedimentation works as outlined on these documents has been completed.
2. Entry and exit to the site is to be via a single means of access/egress - the Site Entry Platform - use site fencing to ensure that all site access and egress is by way of this Platform. Either the existing, concrete driveway; a new, temporary driveway or new Site Entry Platform (as per detail on these drawings) shall be used as the sole site access point.
3. Sediment Control fences are to be installed as indicated on these drawings and are to include provision for site water ingress by means of mounded banks at the outboard edge of the Site Entry Platform or other overland flow paths which may be evident on site.
4. Geotextile 'sausages' filled with aggregate are to be provided to protect Council's Street Stormwater system from sediment pollution from the site.
5. All existing topsoil that is disturbed to facilitate excavation is to be stockpiled on site for landscaping purposes. Where any material (topsoil or excavated) is stockpiled on the site, stockpiles are to be covered with a water repellent covering and located outside any area of concentrated Stormwater flow, away from the street and at a distance greater than 2.4m clear of any boundary of the site. Where possible, stockpiles are to be located on a local high point or are to be protected with diversion channels and swales around the stockpile.
6. Areas towards the boundaries of the site are not to be disturbed during the works except where these works are essential for the completion of the project. Where disturbance is essential, work shall be carried out in a manner that minimizes the erosion hazard for as short a time as practicable and includes suitable erosion protection, reinstatement or rehabilitation as part of the disturbance process.
7. The Contractor shall provide approved bins for all site waste to be accumulated and stored for collection and disposal.

- Litter
- All packaging
- mortar, cement and concrete slurries, acid wash down water, paint and any contaminated water

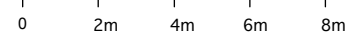
8. Site Stormwater drainage is to be connected and commissioned as soon as practicable following completion of the works.



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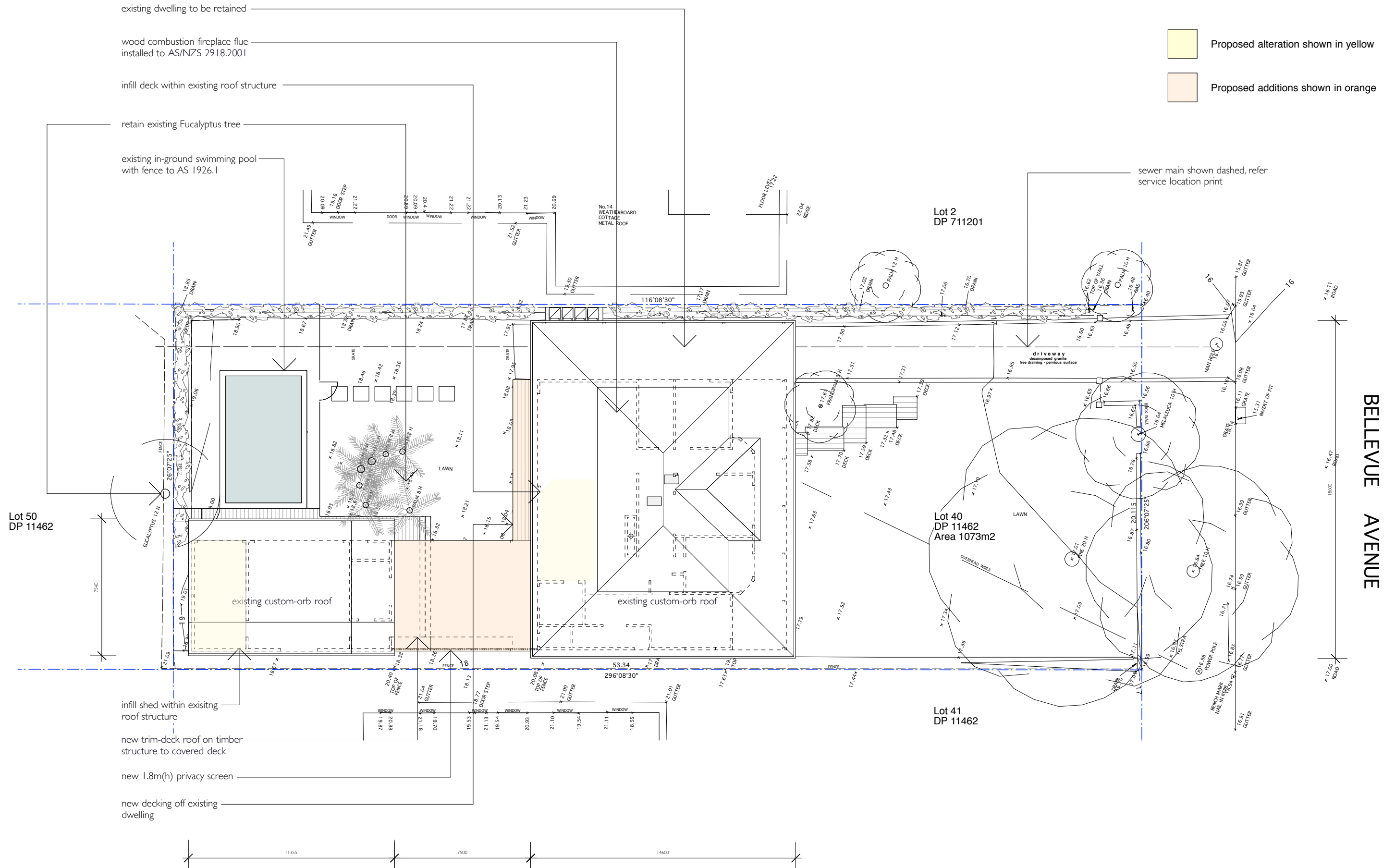
DWG	<b>J-02-DA</b>
DATE	04.04.19
ISSUE	A
JOB #	75
SCALE	1:200 @ A3

## SEDIMENT / EROSION CONTROL WASTE MANAGEMENT PLAN

— sewer main shown dashed, refer  
service location print

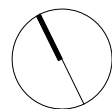
 Proposed alteration shown in yellow

 Proposed additions shown in orange



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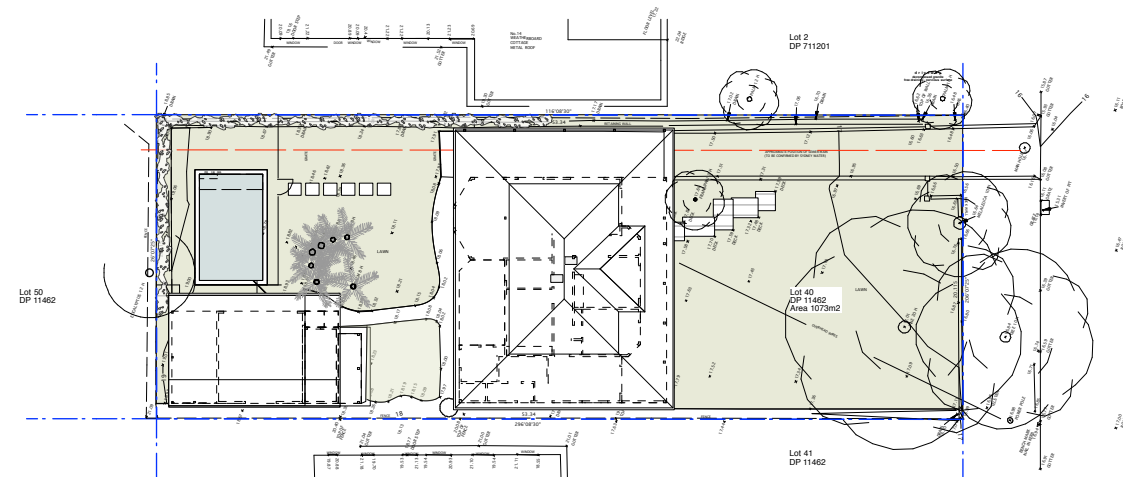
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## SITE PLAN



Site area = 1073m2  
50% = 536.5m2  
6% variation = 64.38m2

Existing Landscape Area = 630m2

Lot 50  
DP 11462

Site area = 1073m2  
50% = 536.5m2  
6% variation = 64.38m2

Proposed Landscape Area = 590m2

### D1.13 Landscaped Area - General Controls

The total landscaped area on land zoned R2 Low Density Residential or R3 Medium Density Residential shall be 50% of the site area.

The use of porous materials and finishes is encouraged where appropriate.

Any alterations or additions to an existing dwelling shall provide a minimum 50% of the site area as landscaped area.

#### Variations

Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:

- impervious areas less than 1 metre in width (e.g. pathways and the like);
- for single dwellings on land zoned R2 Low Density Residential or R3 Medium Density Residential, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing)).

#### Statement

Site Area  
Required Landscaped Area  
6% variation  
Proposed Landscaped Area

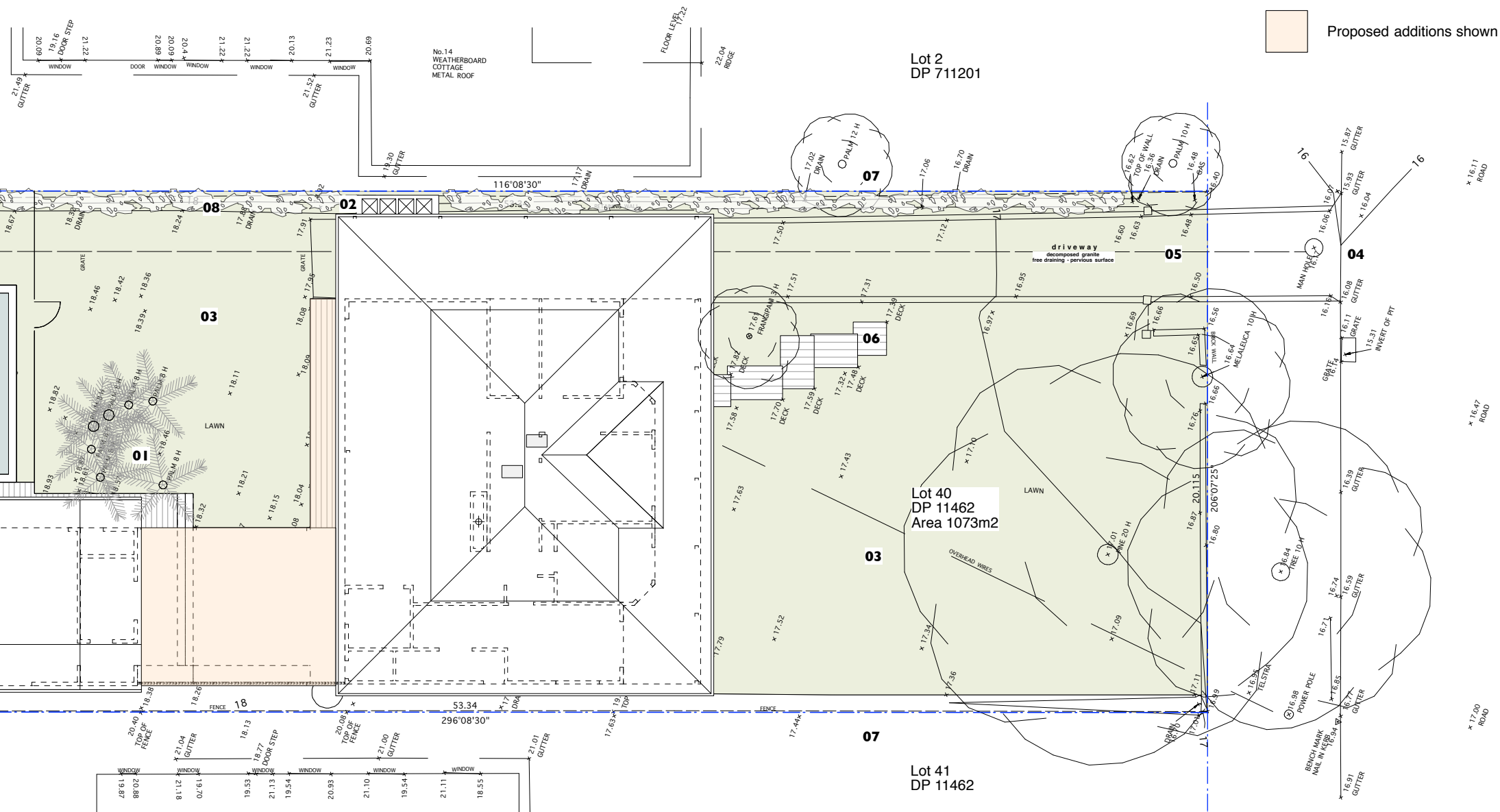
1073m2  
50% - 536.5m2  
6% - 64.38m2  
590m2

### Landscape Legend

- Retain existing palm trees (not *Livistona australis* species)
- Residential binstore
- Retain existing lawn area
- Existing driveway crossover
- Existing driveway - decomposed granite, free draining pervious surface
- Existing 900mm(w) decking
- Retain existing paling fence
- Small local native shrubs and groundcover
- Existing perimeter planting

PLANT STOCK TO BE AT LEAST **80% LOCALLY NATIVE PLANT SPECIES** FROM THE **SHALE SLOPES COMMUNITY**

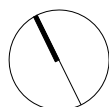
- Proposed alteration shown in yellow
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BELLEVUE AVENUE

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0 2m 4m 6m 8m

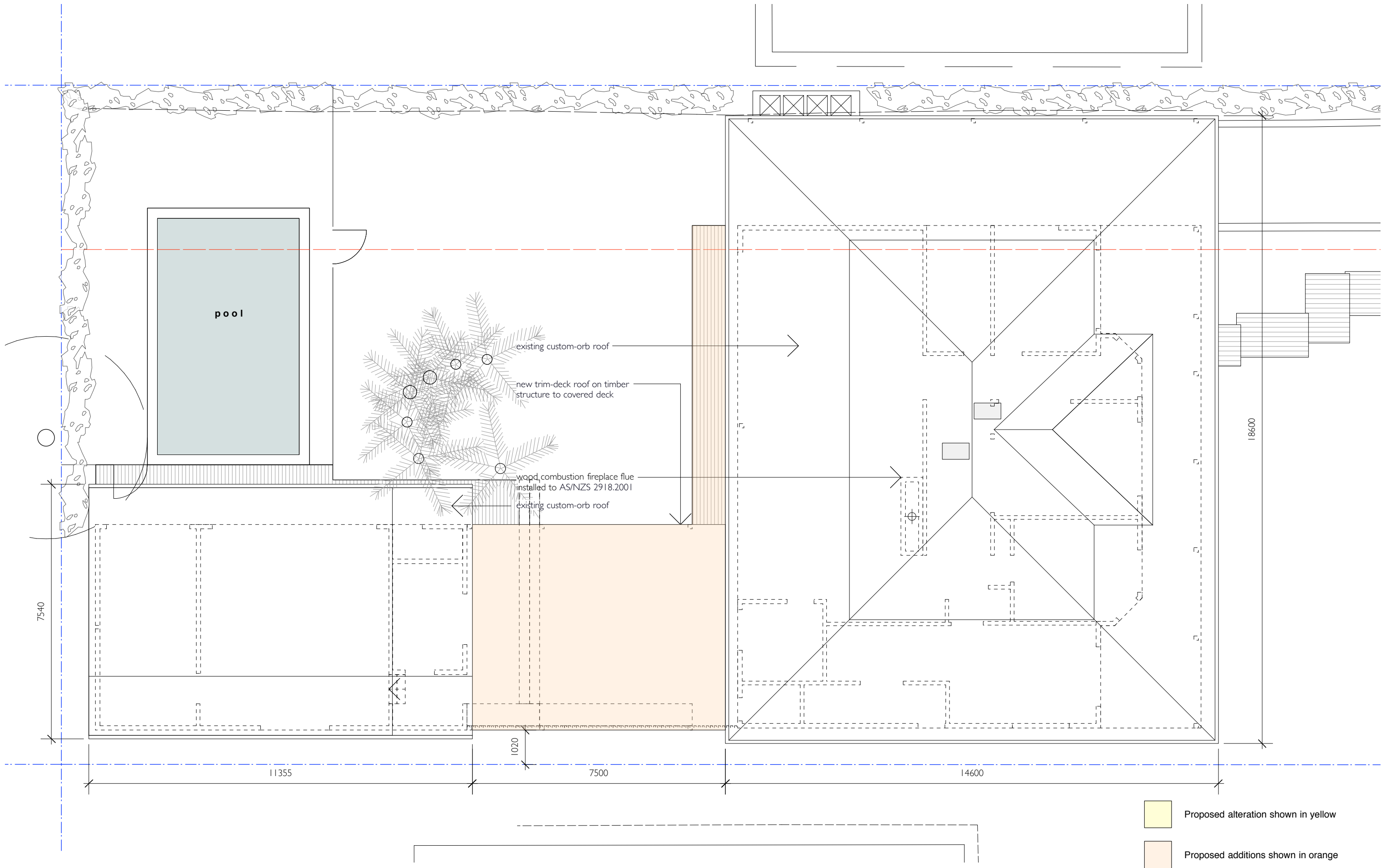
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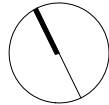
LANDSCAPE PLAN





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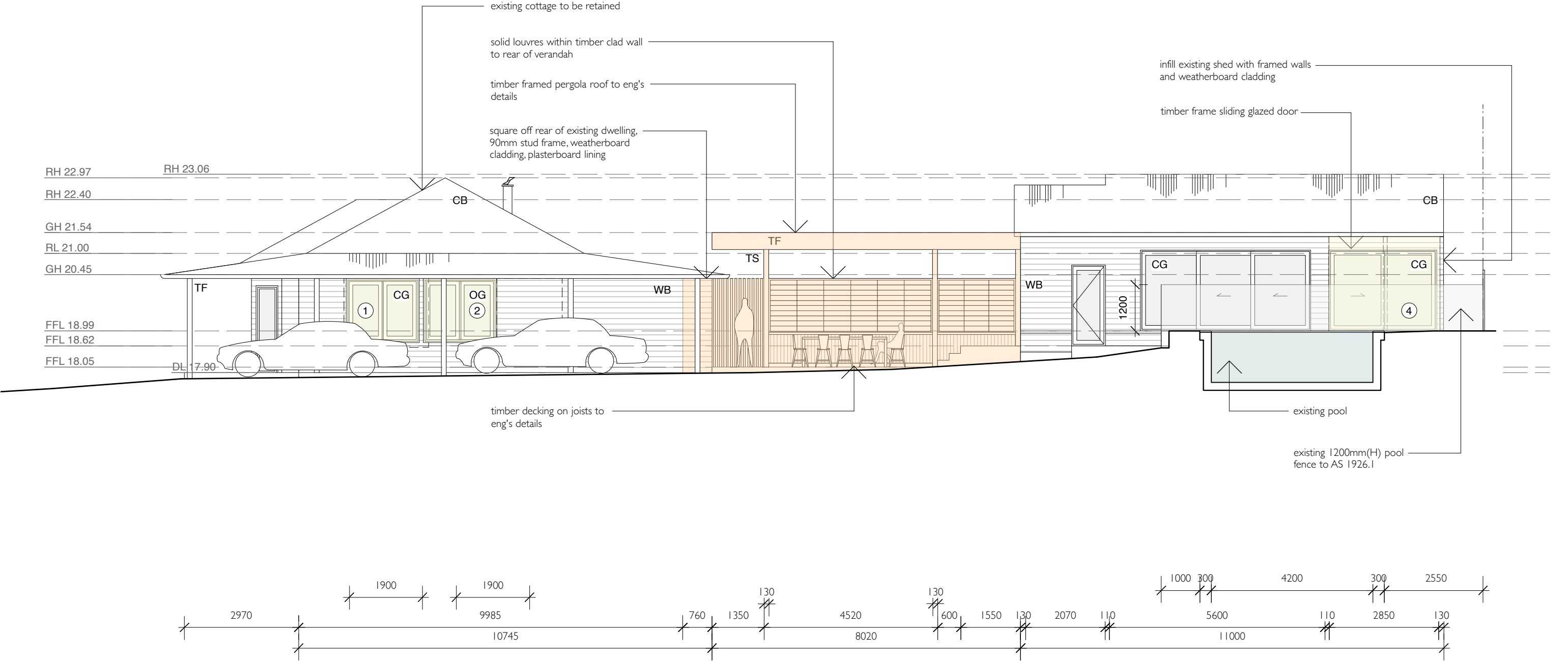
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**ROOF PLAN**

LEGEND

- WB weatherboard cladding - paint finish
- TF timber frame - paint finish
- CR Colourbond - mid grey
- CG clear glazing
- OG opaque glazing
- TS timber screen
- SS sandstone



- Proposed alteration shown in yellow
- Proposed additions shown in orange

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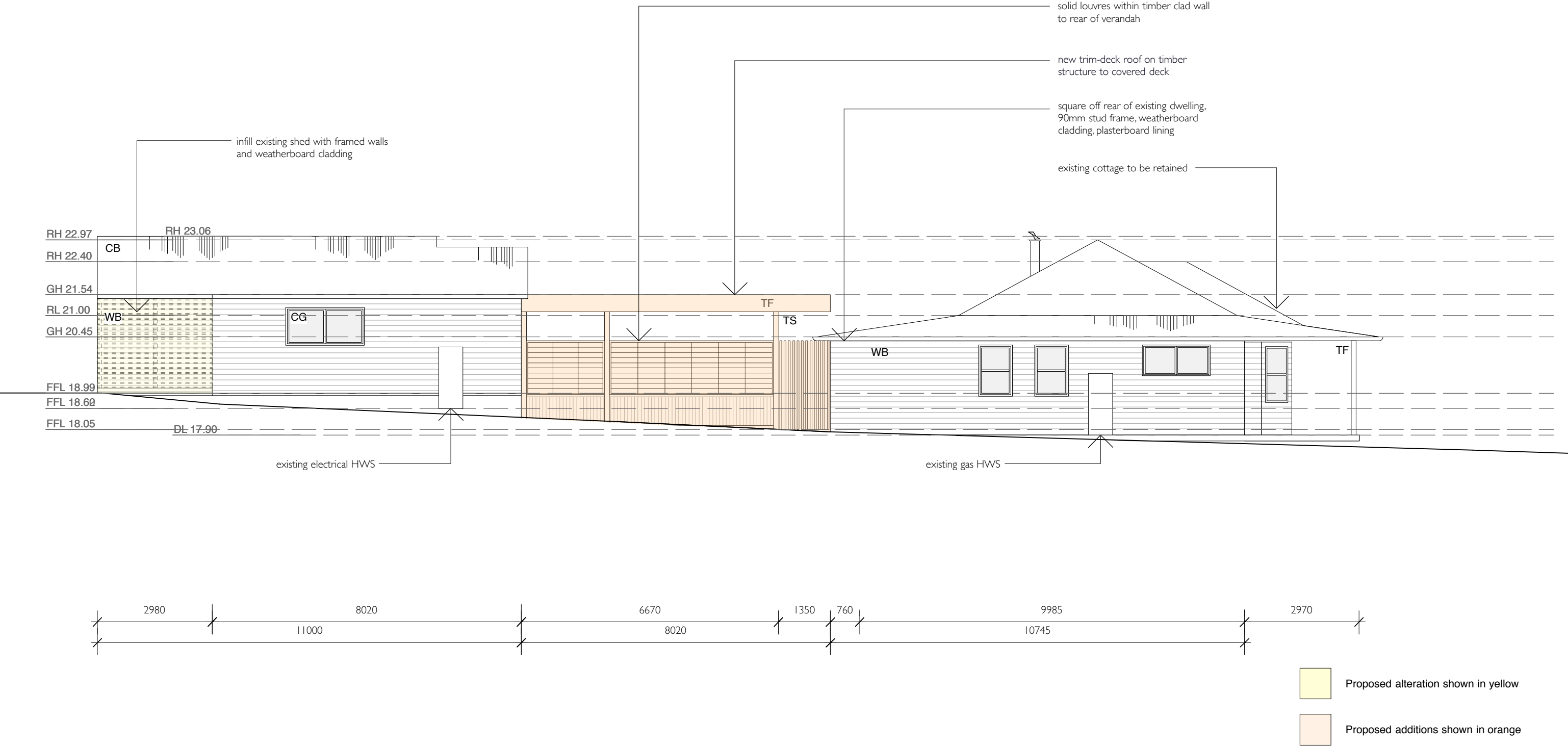
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**NORTH ELEVATION**

- LEGEND
- WB weatherboard cladding - paint finish
  - TF timber frame - paint finish
  - CR Colourbond - mid grey
  - CG clear glazing
  - OG opaque glazing
  - TS timber screen
  - SS sandstone



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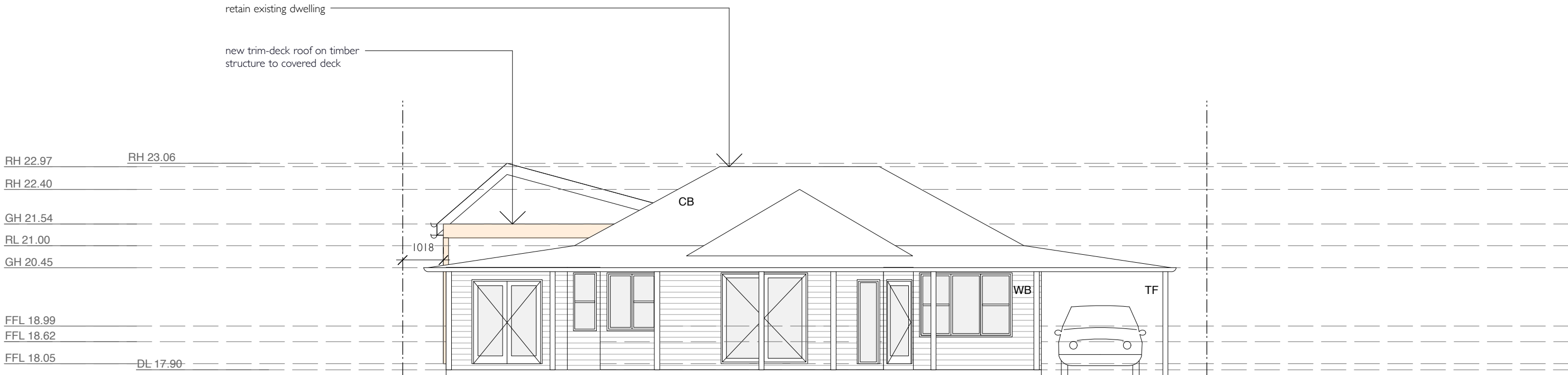
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SOUTH ELEVATION



LEGEND

- WB weatherboard cladding - paint finish
- TF timber frame - paint finish
- CR Colourbond - mid grey
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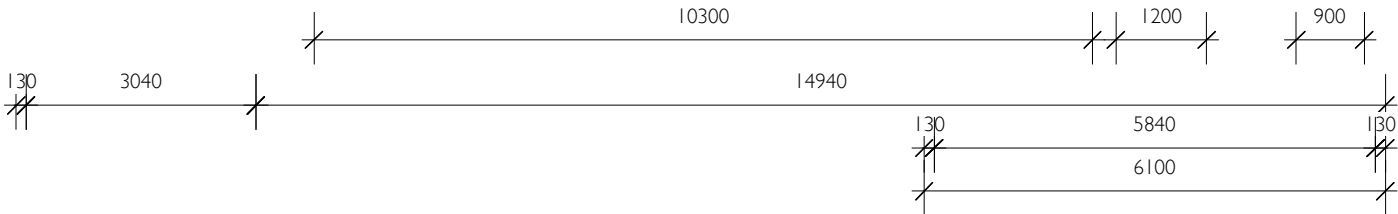
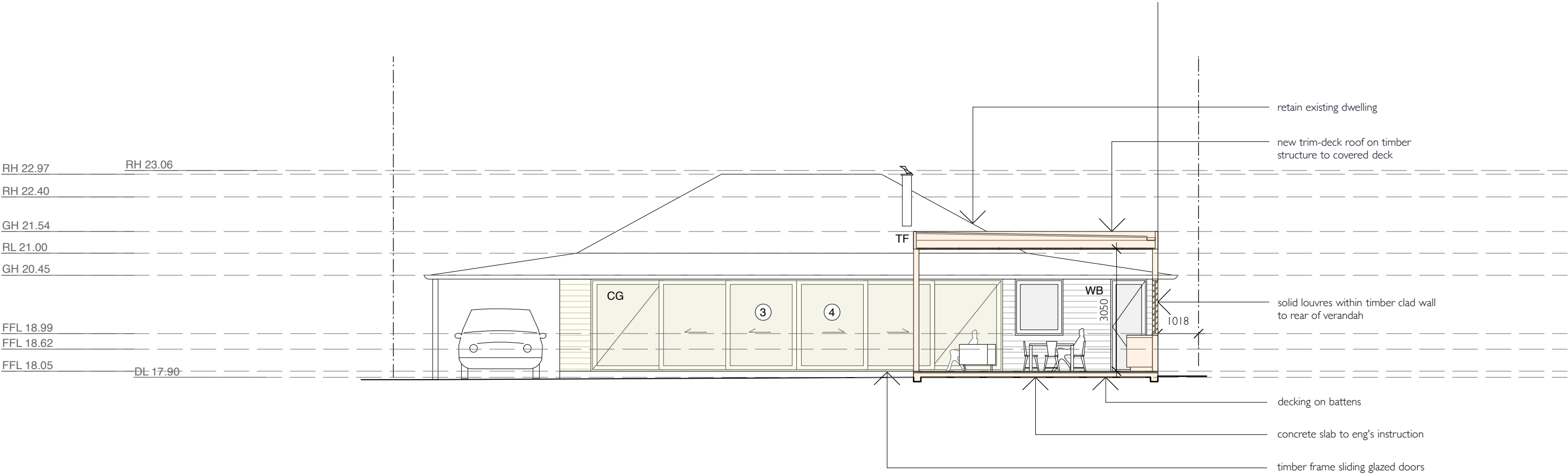
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**EAST ELEVATION**

LEGEND

- WB weatherboard cladding - paint finish
- TF timber frame - paint finish
- CR Colourbond - mid grey
- CG clear glazing
- OG opaque glazing
- TS timber screen
- SS sandstone



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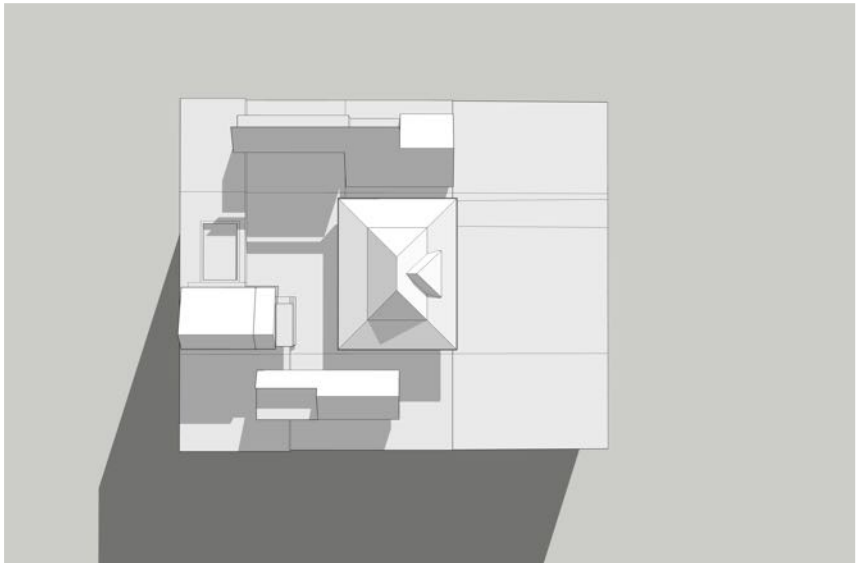
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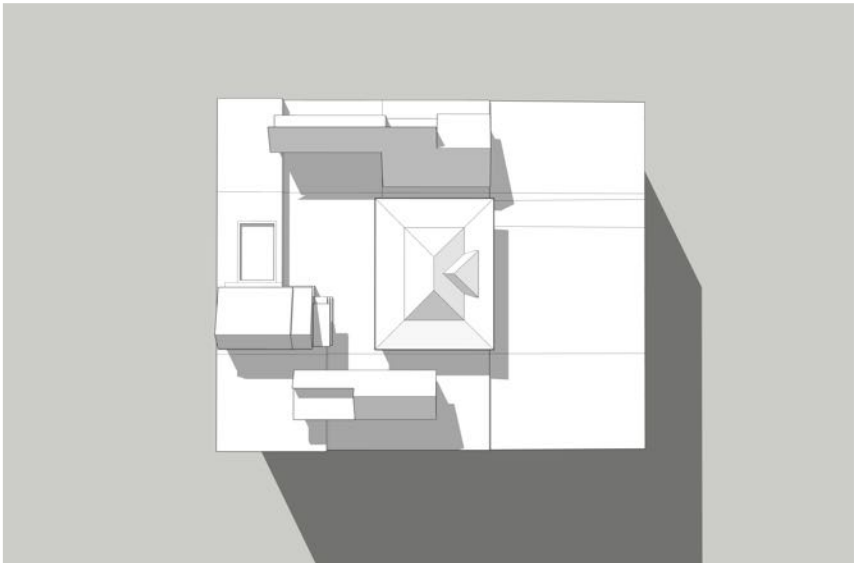
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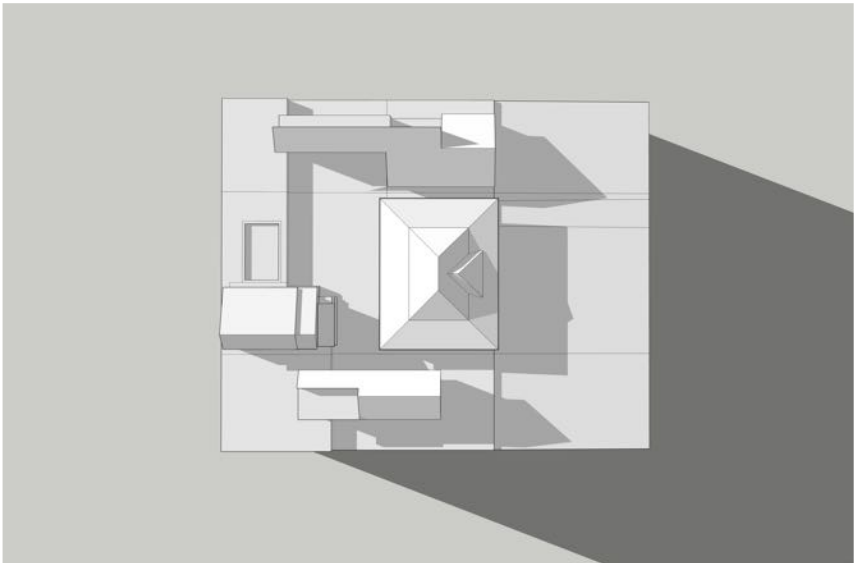
WEST ELEVATION



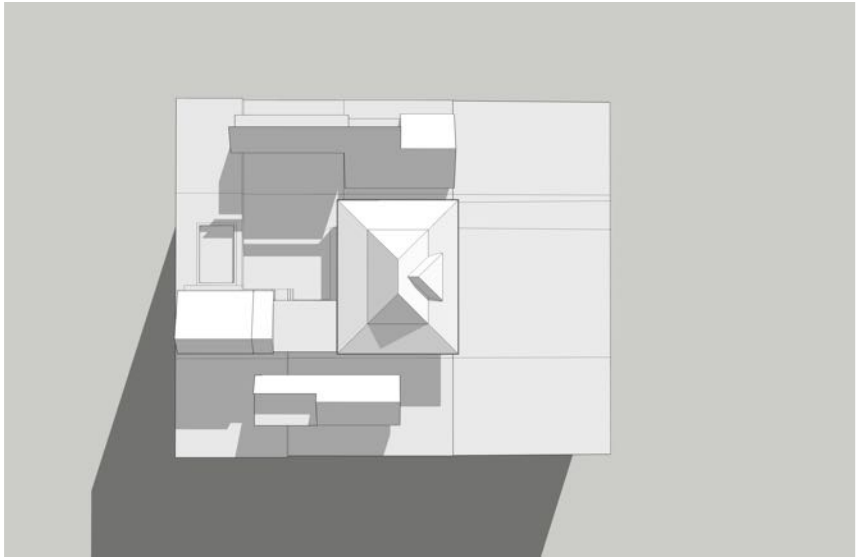
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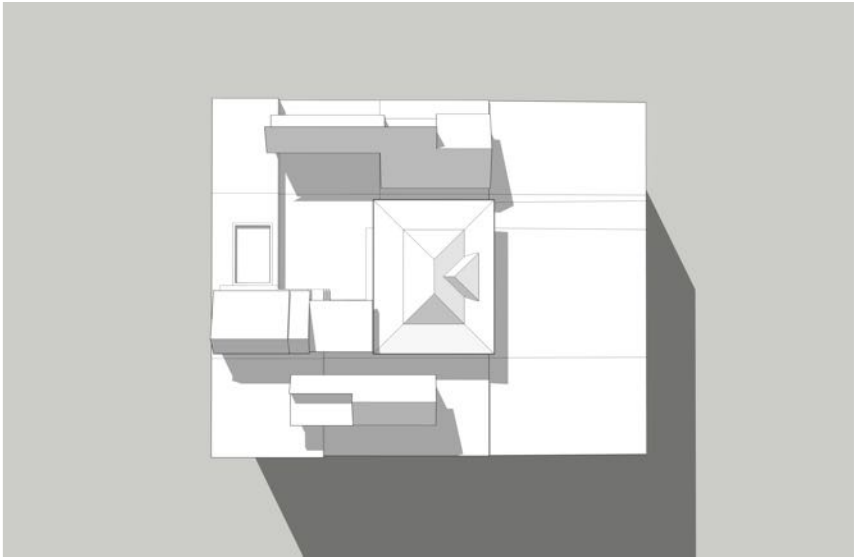
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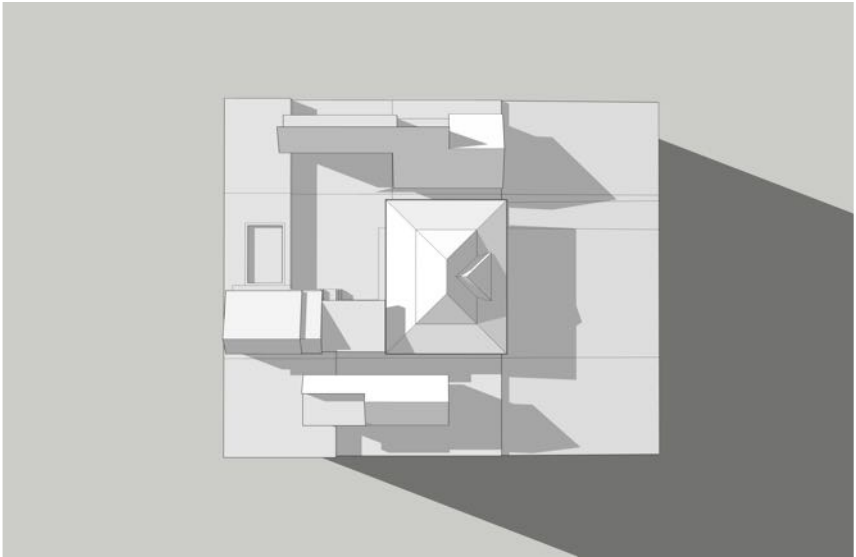
3:00PM 21st JUNE - EXISTING DWELLING



9:00AM 21st JUNE - PROPOSED DWELLING



12:00PM 21st JUNE - PROPOSED DWELLING



3:00PM 21st JUNE - PROPOSED DWELLING



**Weatherboard Cladding + Doors/Windows**  
- weatherboard black paint finish  
- windows/doors white paint finish



**Timber Frame**  
- pergola structures



**Concrete**  
- landscaping



**Tallowwood**  
- decking



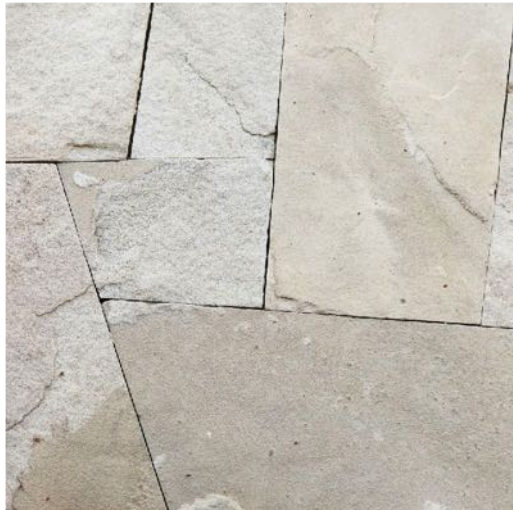
**Greenery**  
- site condition



**Water**  
- swimming pool



**Colorbond Windspray**  
- roofing  
- gutters  
- downpipes



**Sandstone**  
- landscaping