



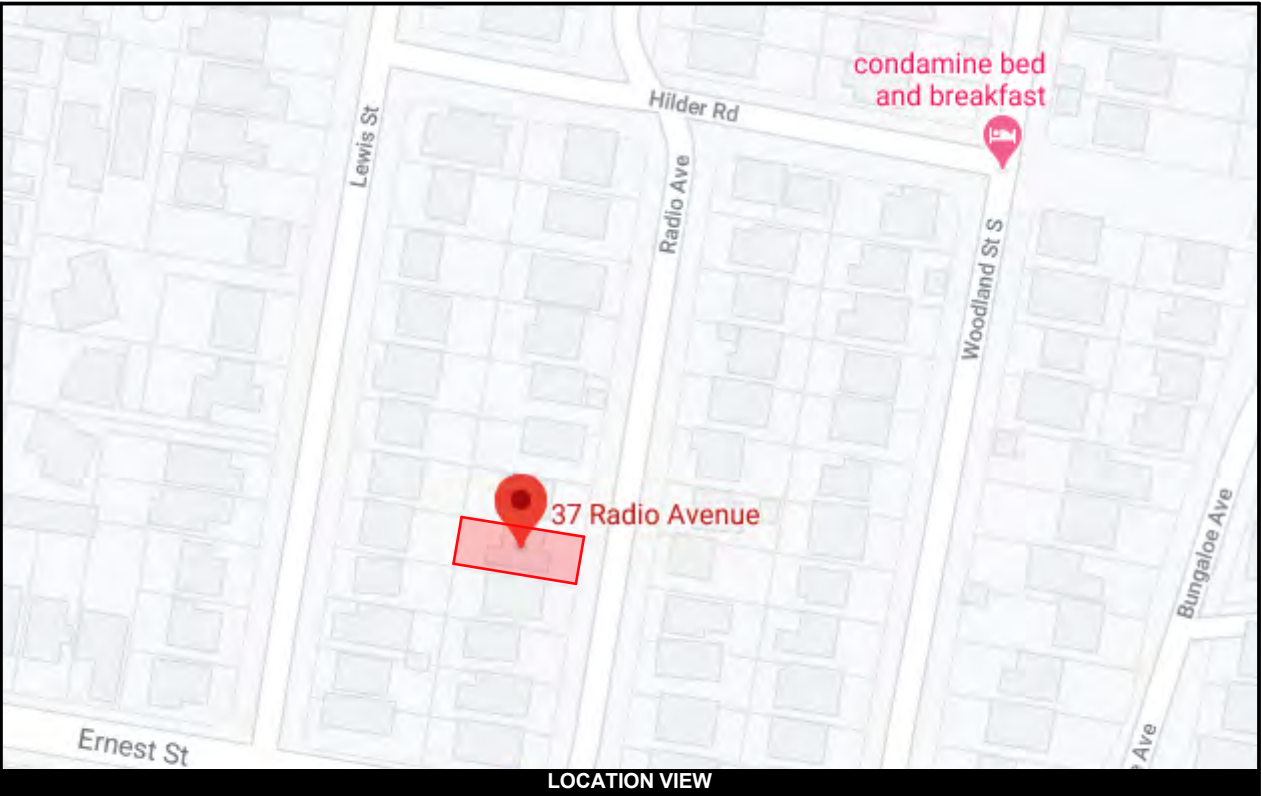
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37 RADIO AVENUE, BALGOWLAH HEIGHTS 2093

DEVELOPMENT APPLICATION

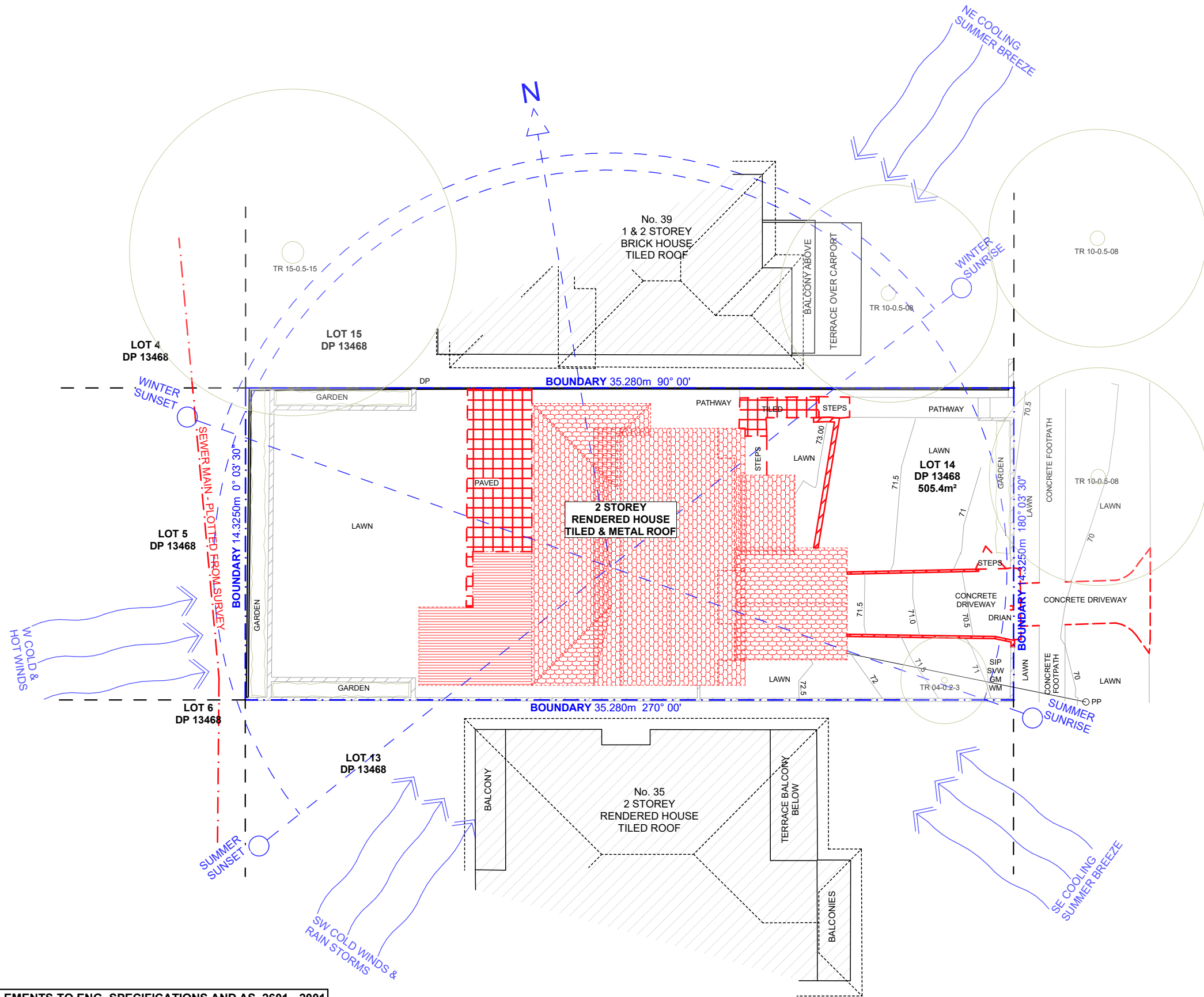
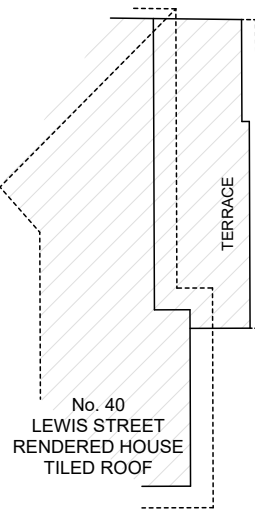
ITEM DETAILS	DEVELOPMENT APPLICATION		
ADDRESS	37 RADIO AVENUE, BALGOWLAH HEIGHTS, NSW, 2093		
LOT & DP/SP	LOT 14 DP 13468		
COUNCIL	NORTHERN BEACHS COUNCIL (MANLY)		
SITE AREA	505.4m²		
FRONTAGE	14.325m		
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED
	m / m² / %	m / m² / %	m / m² / %
LEP			
LAND ZONING	R2	R2	R2
MINIMUM LOT SIZE	500m²	505.4m²	UNCHANGED
FLOOR SPACE RATIO	0.45 : 1 (227.43m²)	0.37 : 1 (185.04m²)	0.50 : 1 (254.62m²)
MAXIMUM BUILDING HEIGHT	8.5m	7.563m	7.758m
DCP			
RESIDENTIAL OPEN SPACE	AREA OS3		
TOTAL OPEN SPACE (TOS)	55% (277.97m²)	53% (266.45m²)	49% (244.57m²)
LANDSCAPE AREA	35% OF TOS (55%) : 97.29m²	88% (233.58m²)	64% (156.52m²)
OPEN SPACE ABOVE GROUND	MAX. 25% OF TOS : 69.49m²	8.57m²	28.71m²
PRINCIPAL PRIVATE OPEN SPACE	18m²	132.63m²	129.61m²
FRONT SETBACK	PREVALING BULDING LINE: 6m	7.64m	UNCHANGED
REAR SETBACK	8.0m	8.269m	8.198m
SIDE SETBACKS	1/3 WALL HEIGHT	N:1.014m S:0.971m	UNCHANGED UNCHANGED
CAR PARKING SPACES	Required: 1	1	UNCHANGED



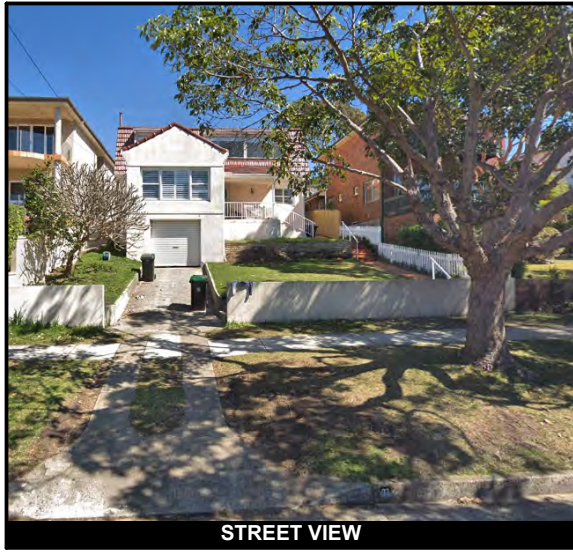
NCC & AS COMPLIANCES SPECIFICATIONS

- Earthworks - part 3.1.1 of NCC
- Earth retaining structures - part 3.1.2 of NCC
- Drainage - part 3.1.3 of NCC
- Termite-risk management - part 3.1.4 of NCC
- Footings & slab - part 3.2 of NCC including as 2870-2011
- Masonry - part 3.3 of ncc including as 3700:2018
- Framing - part 3.4 of NCC
- Sub floor ventilation - part 3.4.1 of NCC
- Roof cladding and wall-cladding - part 3.5 of NCC
- Glazing - part 3.6 of NCC including as 1288
- Fire safety - part 3.7 of NCC
- Fire separation of external walls - part 3.7.2 of NCC
- Fire protection of separating walls and floors- part 3.7.3 of NCC
- Smoke alarms - part 3.7.5 of NCC
- Wet areas and external waterproofing - part 3.8.1 of NCC
- Room heights - part 3.8.2 of NCC
- Facilities - part 3.8.3 of NCC
- Light - part 3.8.4 of NCC
- Ventilation - part 3.8.5 of NCC
- Sound insulation - part 3.8.6 of NCC
- Stairway and ramp construction - part 3.9.1 of NCC
- Barriers and handrails - part 3.9.2 of NCC
- Swimming pools - part 3.10.1 of NCC
- Demolition works - AS 2601-2001 the demolition of structures.
- Waterproofing of wet areas to comply with AS 3740-2010
- All plumbing & drainage work to comply with AS 3500:2018
- All plasterboard work to comply with AS 2588:2018
- All structural steel work to comply with AS 4100-1992 & AS 1554
- All concrete work to comply with AS 3600:2018
- All roof sheeting work to comply with AS 1562.1-2018
- All skylights to comply with AS 4285-2019
- All ceramic tiling to comply with AS 3958.1-2007 & 3958.2-1992
- All glazing assemblies to comply with AS 2047-2014 & 1288
- All timber retaining walls are to comply with AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-2002 & AS 1170.4-2007
- All retaining walls are to comply with 3700:2018 & AS 3600:2018

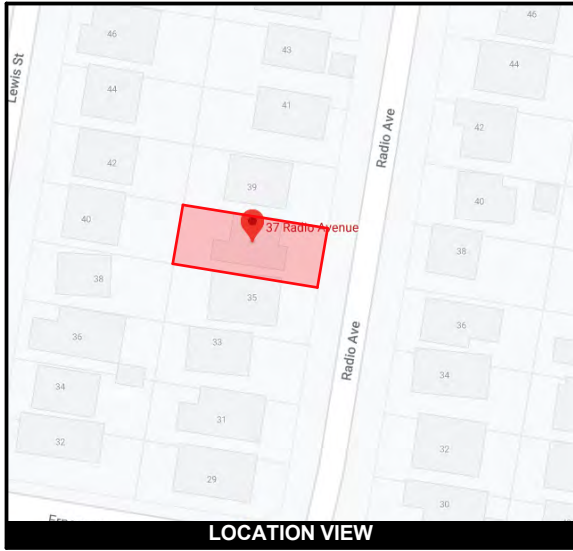
SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	11/02/2021
DA01	SITE ANALYSIS	11/02/2021
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	11/02/2021
DA03	EXISTING GARAGE FLOOR LEVEL	11/02/2021
DA04	EXISTING GROUND FLOOR PLAN	11/02/2021
DA05	EXISTING FIRST FLOOR PLAN	11/02/2021
DA06	PROPOSED GARAGE FLOOR LEVEL	11/02/2021
DA07	PROPOSED GROUND FLOOR PLAN	11/02/2021
DA08	PROPOSED FIRST FLOOR PLAN	11/02/2021
DA09	NORTH / EAST ELEVATION	11/02/2021
DA10	SOUTH / WEST ELEVATION	11/02/2021
DA11	LONG / CROSS SECTION	11/02/2021
DA12	CROSS SECTION 2 & POOL LONG SECTION	11/02/2021
DA13	FLOOR SPACE RATIO CALCULATIONS	11/02/2021
DA14	SITE CALCULATIONS	11/02/2021
DA15	WINTER SOLSTICE 9 AM	11/02/2021
DA16	WINTER SOLSTICE 12 PM	11/02/2021
DA17	WINTER SOLSTICE 3 PM	11/02/2021
DA18	DRIVEWAY PLAN & LONG SECTION	11/02/2021
DA19	SAMPLE BOARD	11/02/2021
DA20	BASIX COMMITMENTS	11/02/2021



NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



STREET VIEW



LOCATION VIEW



AERIAL MAP

RADIO AVENUE



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REV.	DATE	COMMENTS	DRWN
A	01.02.2021	DA: FOR SUBMISSION	RNA

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LEGEND
■ EXISTING
■ PROPOSED
- - - DEMOLISHED

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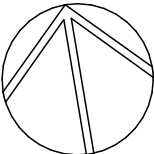
PROJECT ADDRESS
37 RADIO AVENUE,
BALGOWLAH HEIGHTS
2093

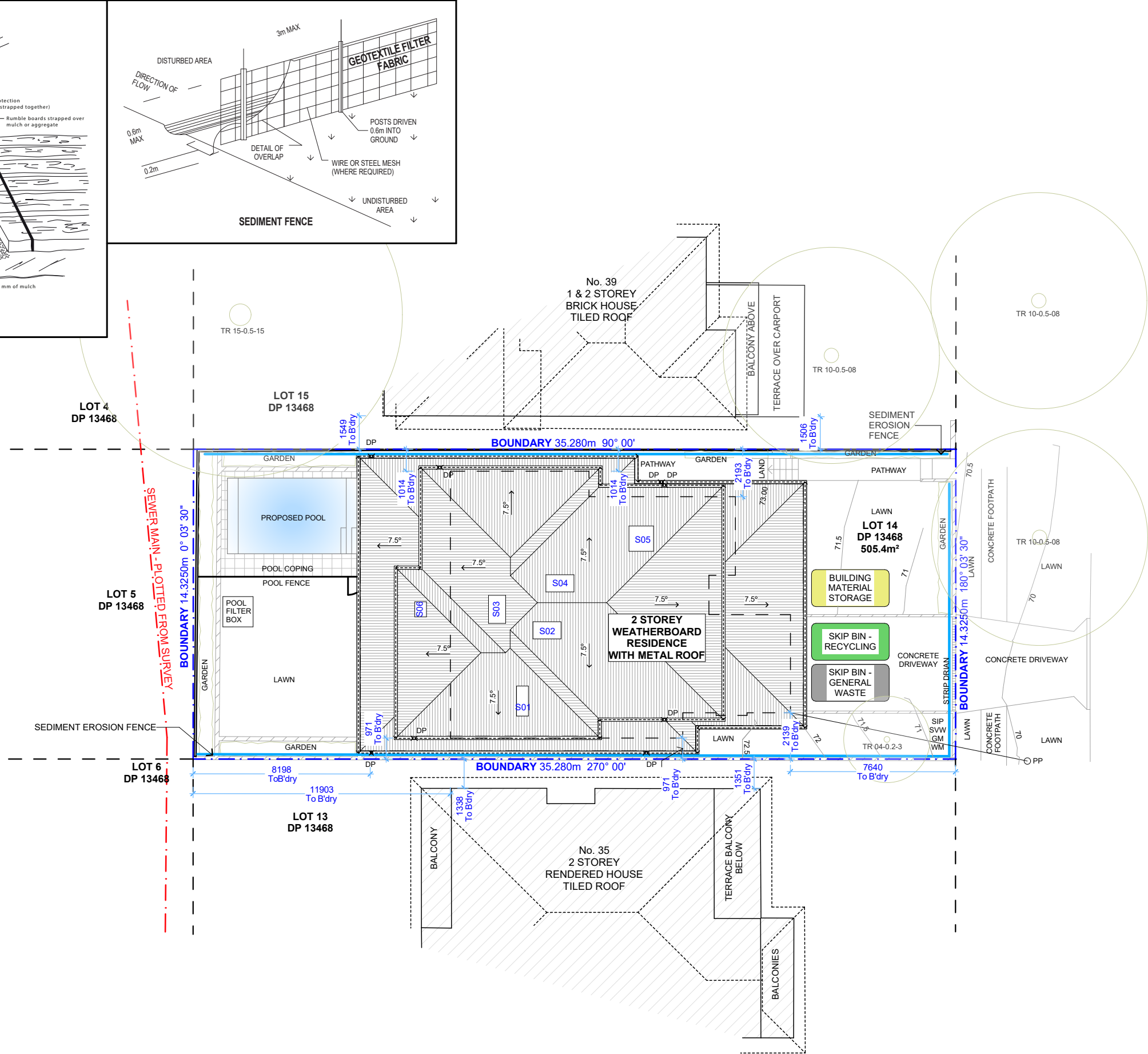
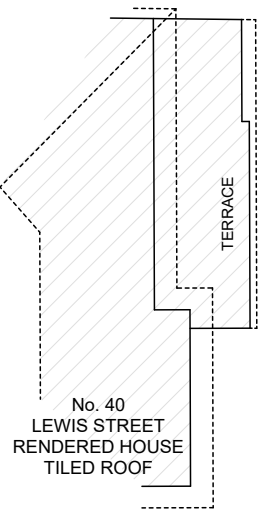
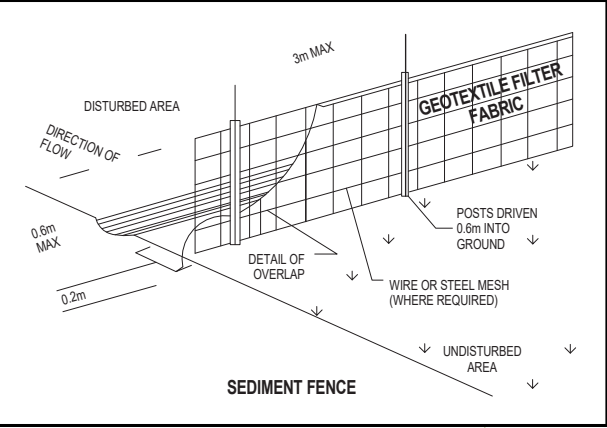
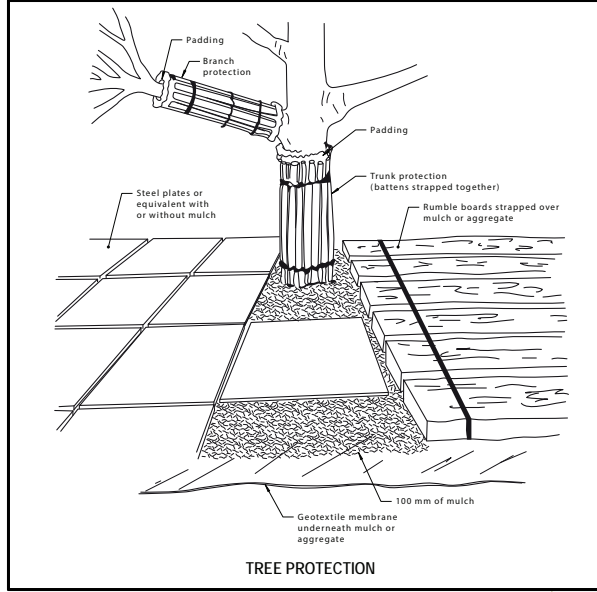
DRAWING NO.
DA01

DATE
Thursday, 11 February
2021

DRAWING NAME
SITE ANALYSIS

SCALE
1:200 @A3





NOTES REGARDING BOUNDARY
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

RADIO AVENUE

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LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED

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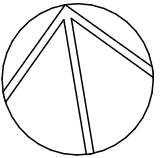
PROJECT ADDRESS
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BALGOWLAH HEIGHTS
2093

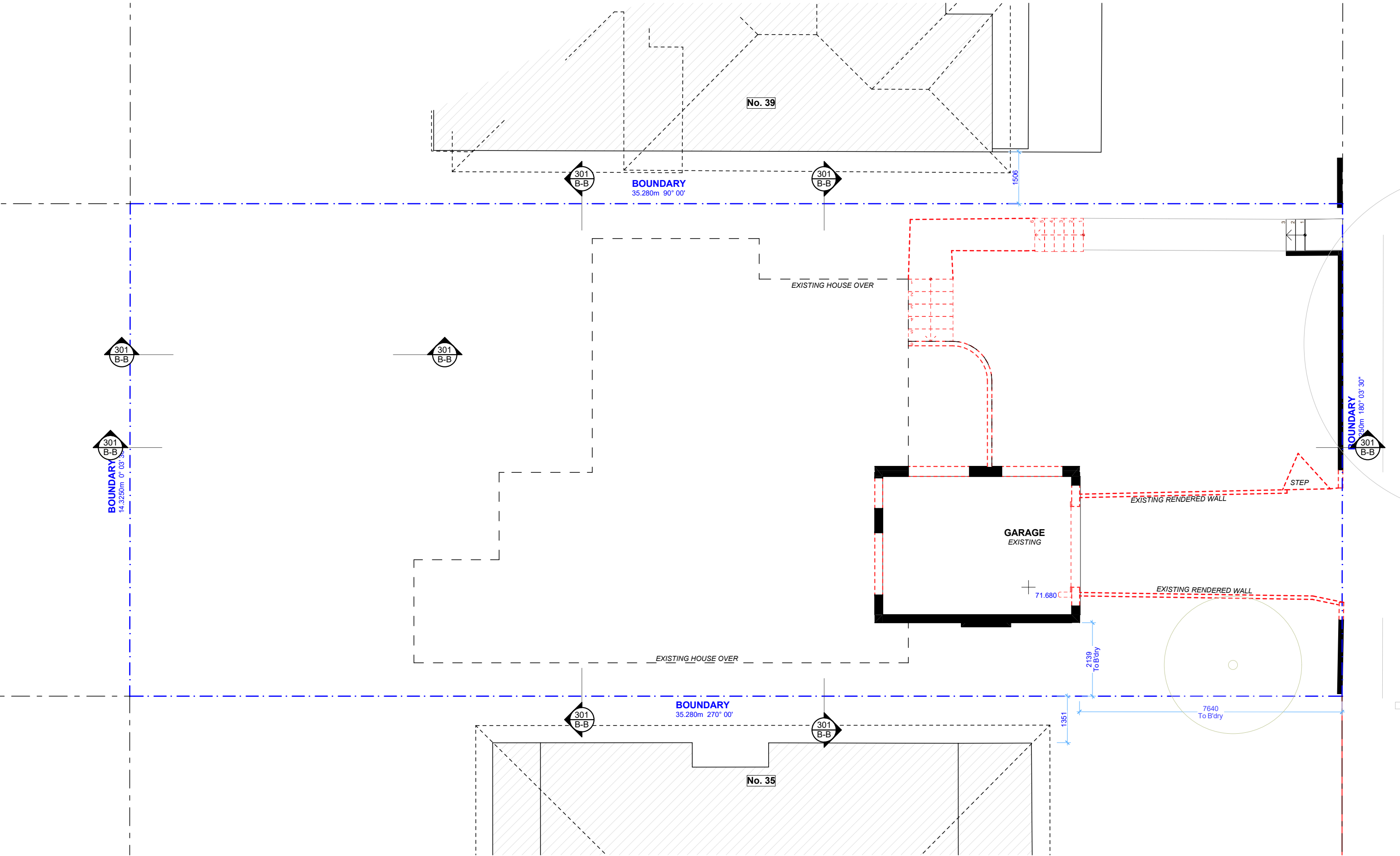
DRAWING NO.
DA02

DATE
Thursday, 11 February 2021


DRAWING NAME
SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

SCALE
1:200 @A3





NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001






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-  PROPOSED
-  DEMOLISHED

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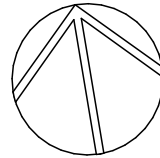
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2093

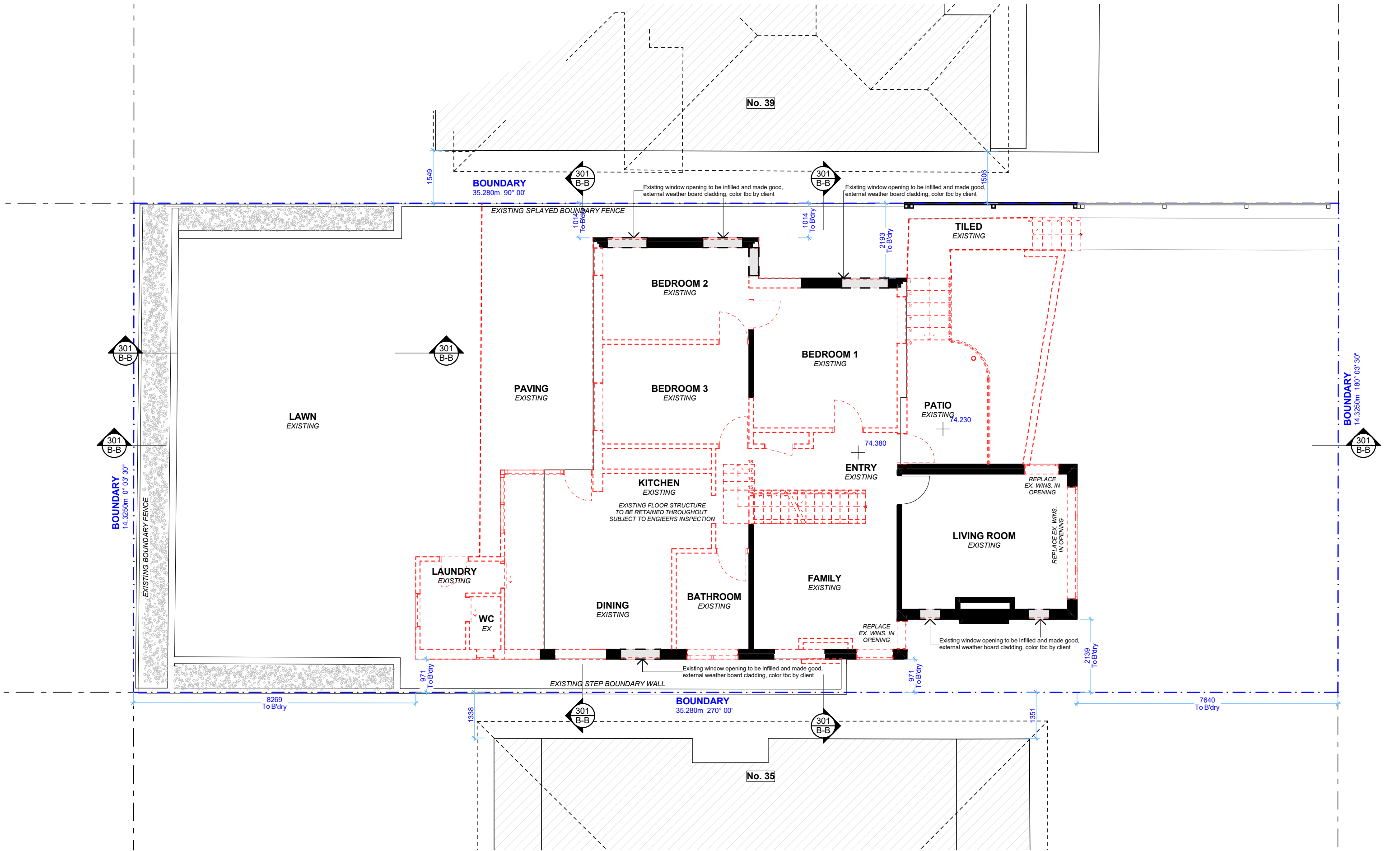
DRAWING NO.
DA03

DATE
Thursday, 11 February
2021


DRAWING NAME
EXISTING GARAGE FLOOR LEVEL

SCALE
1:100 @A3





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LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED

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2093

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DA04

DATE

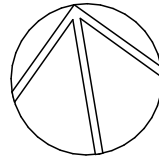
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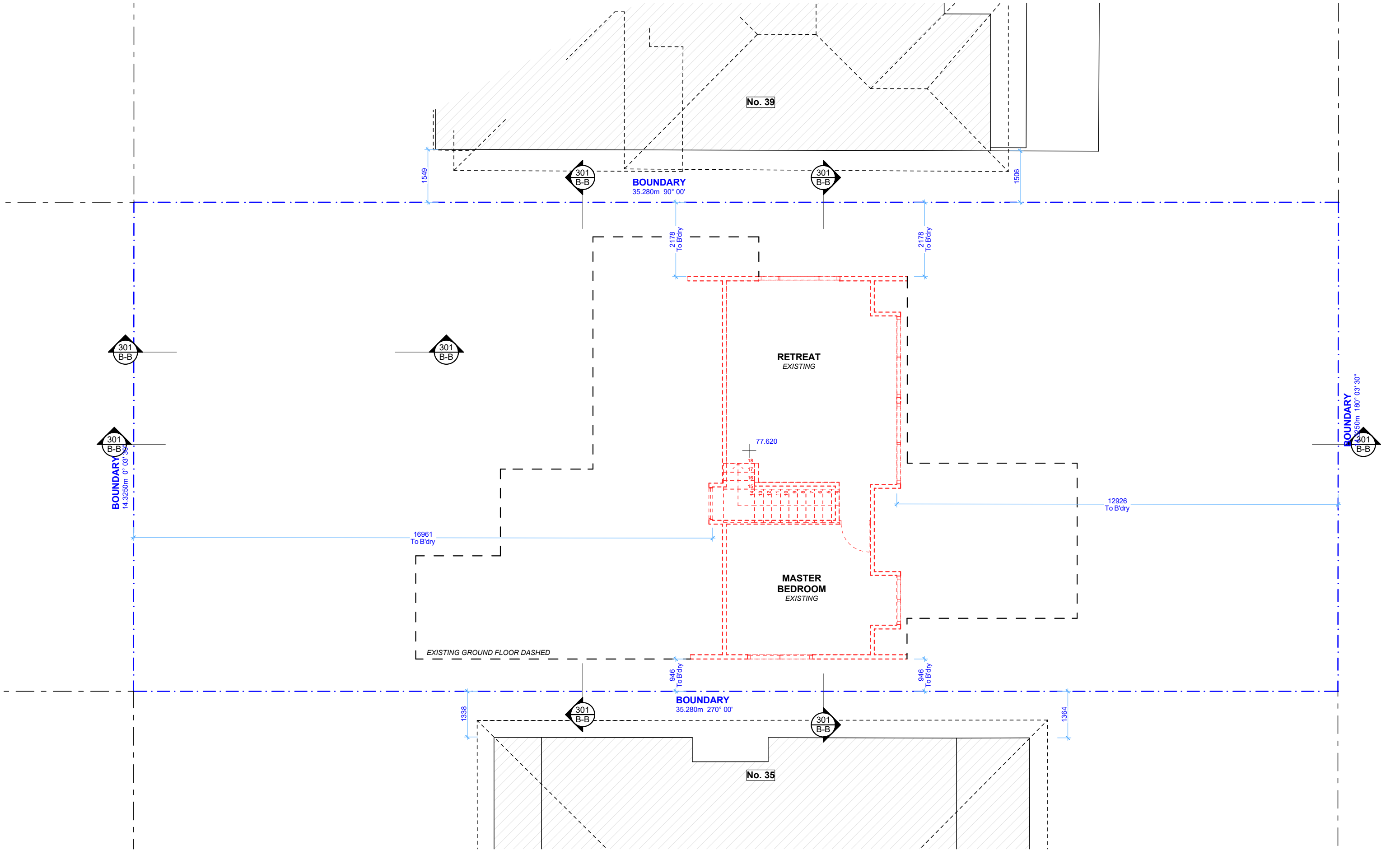
DRAWING NAME

EXISTING GROUND FLOOR PLAN


SCALE

1:100 @A3





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LEGEND

- EXISTING
- PROPOSED
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2093

DRAWING NO.

DA05

DATE

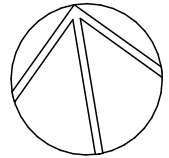
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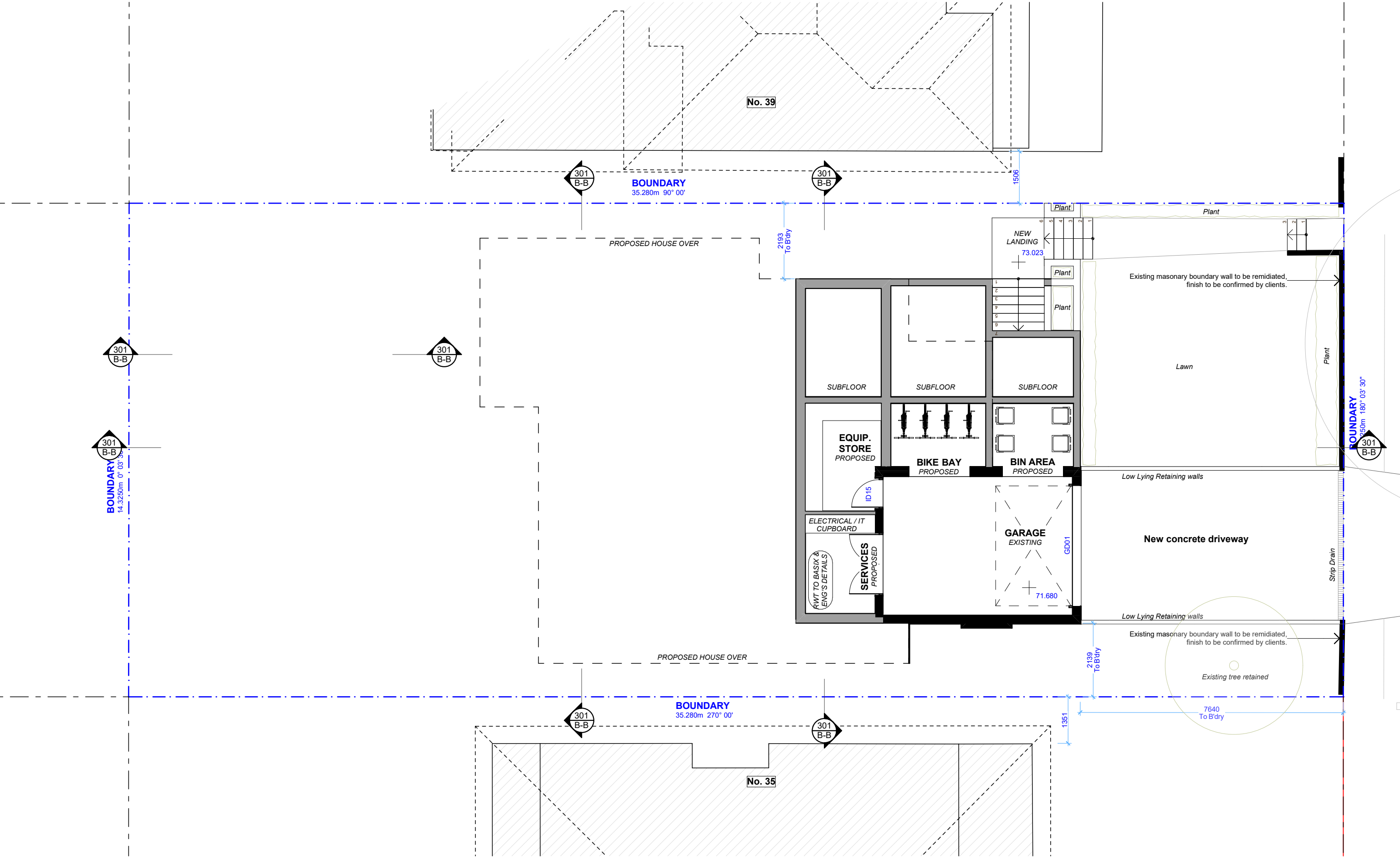
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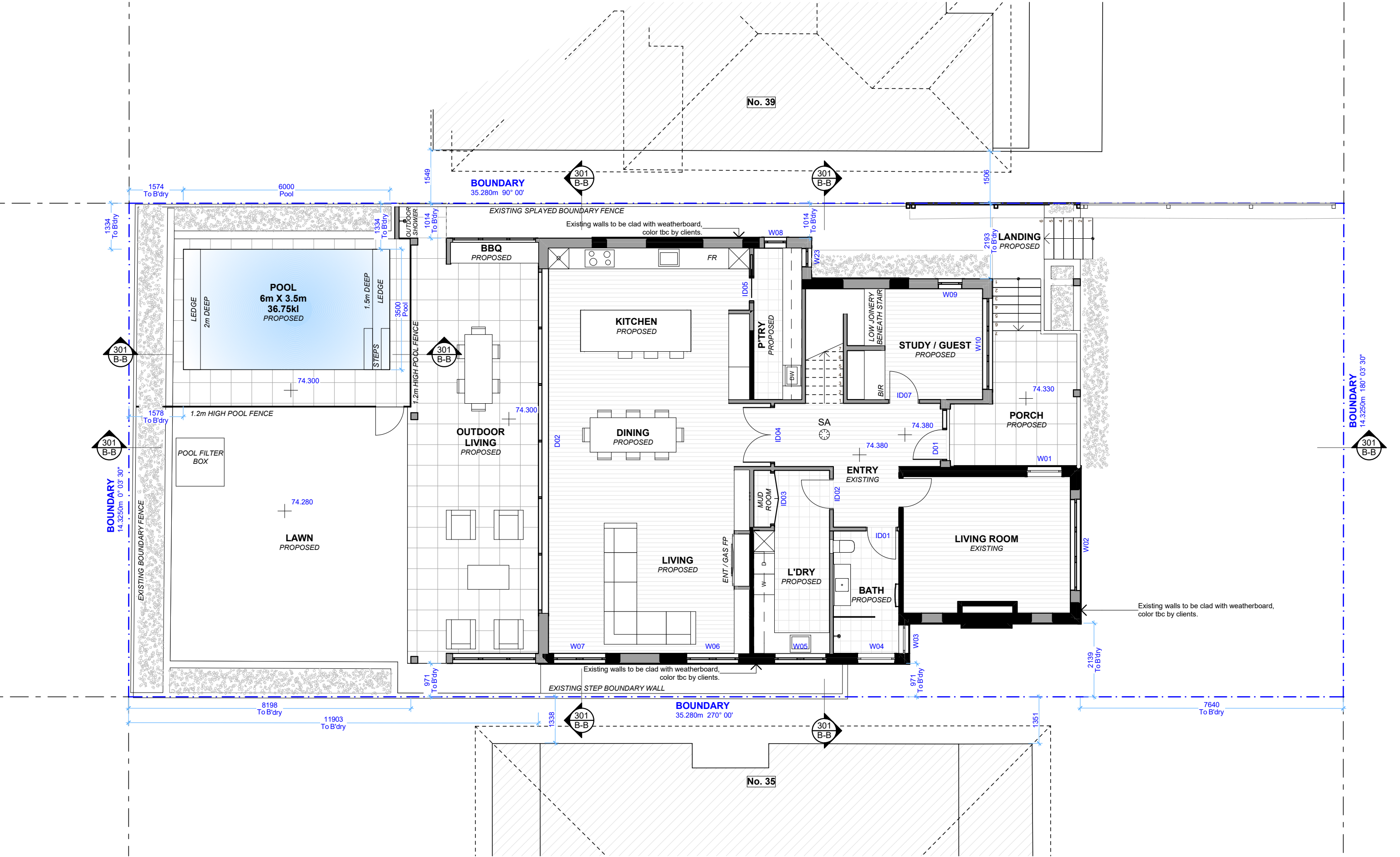
EXISTING FIRST FLOOR PLAN

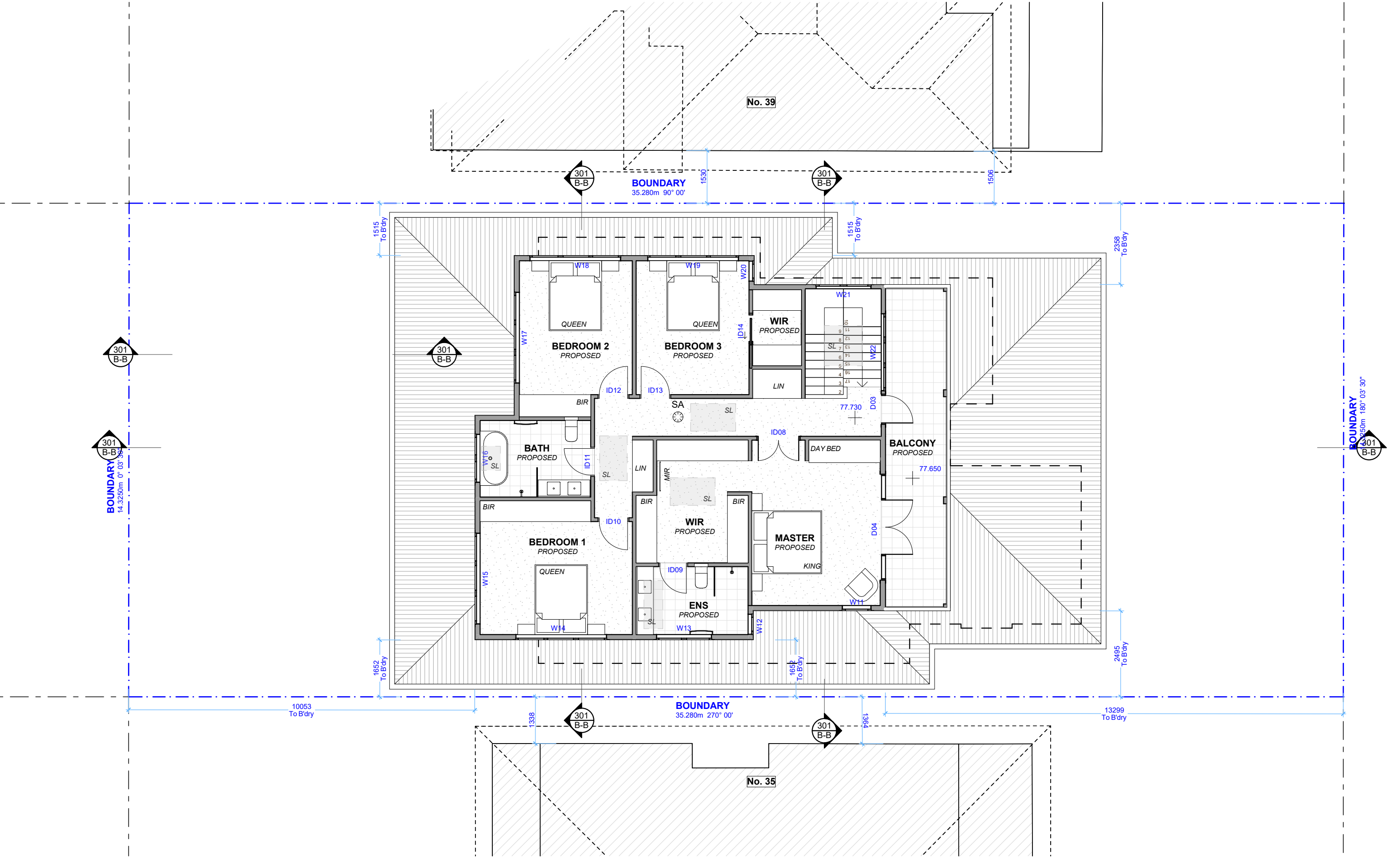
SCALE

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LEGEND	
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	PROPOSED
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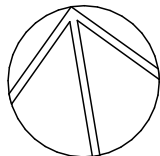
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2093

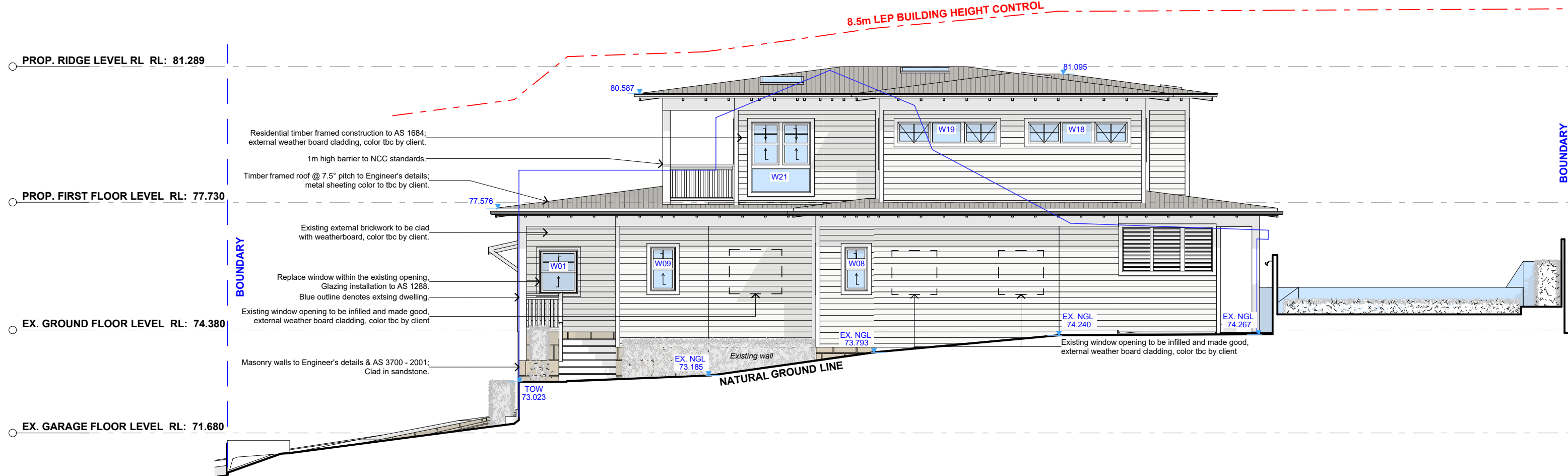
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DA08

DATE
Thursday, 11 February
2021

DRAWING NAME
PROPOSED FIRST FLOOR PLAN

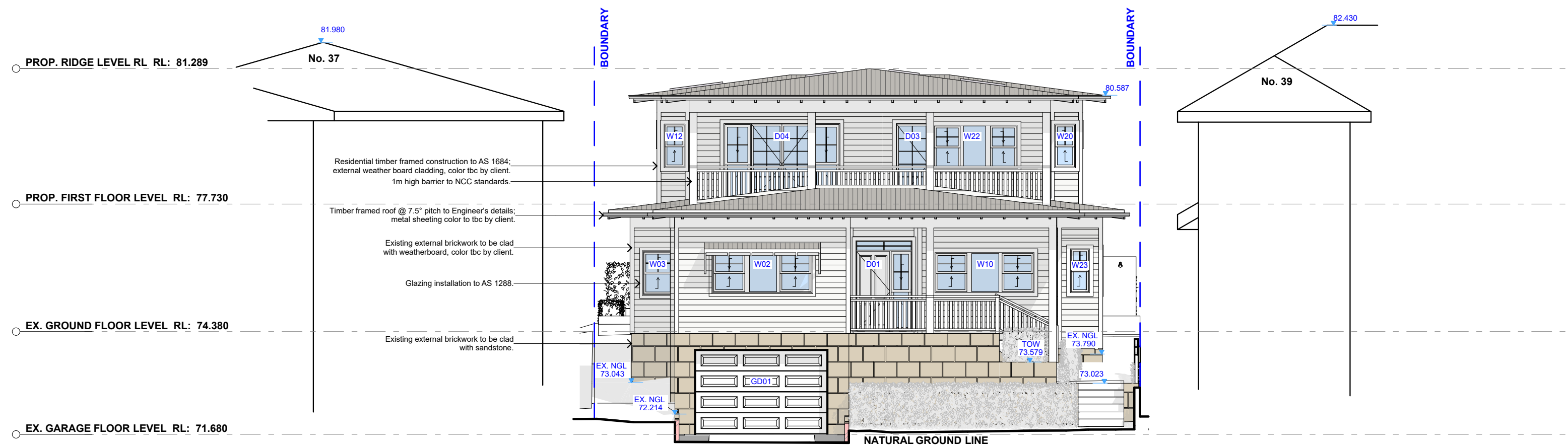
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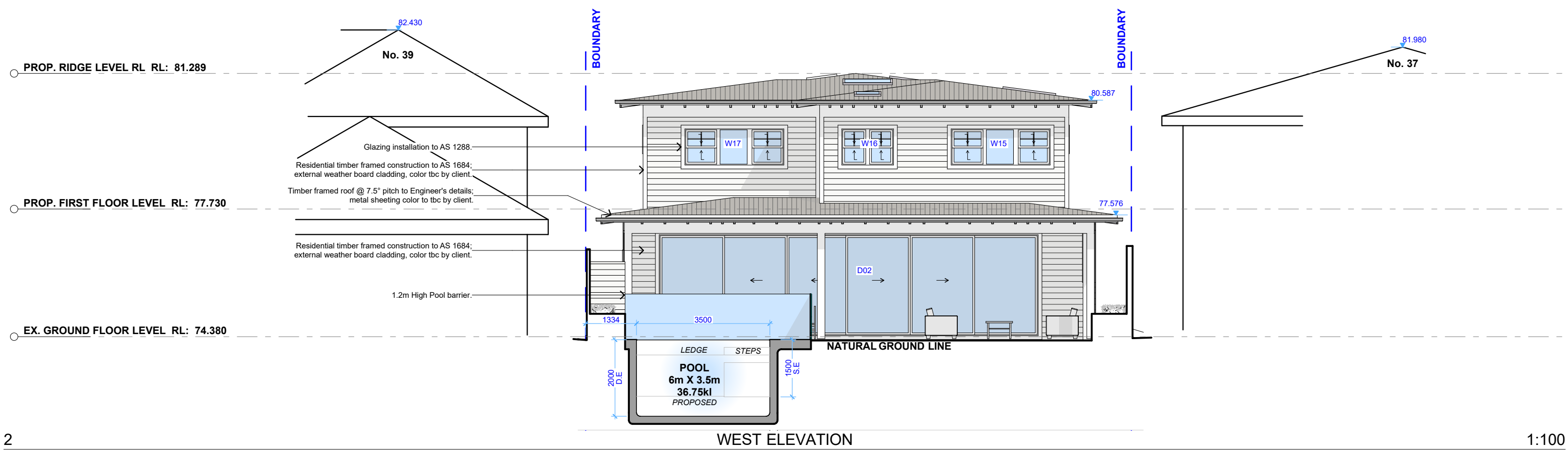
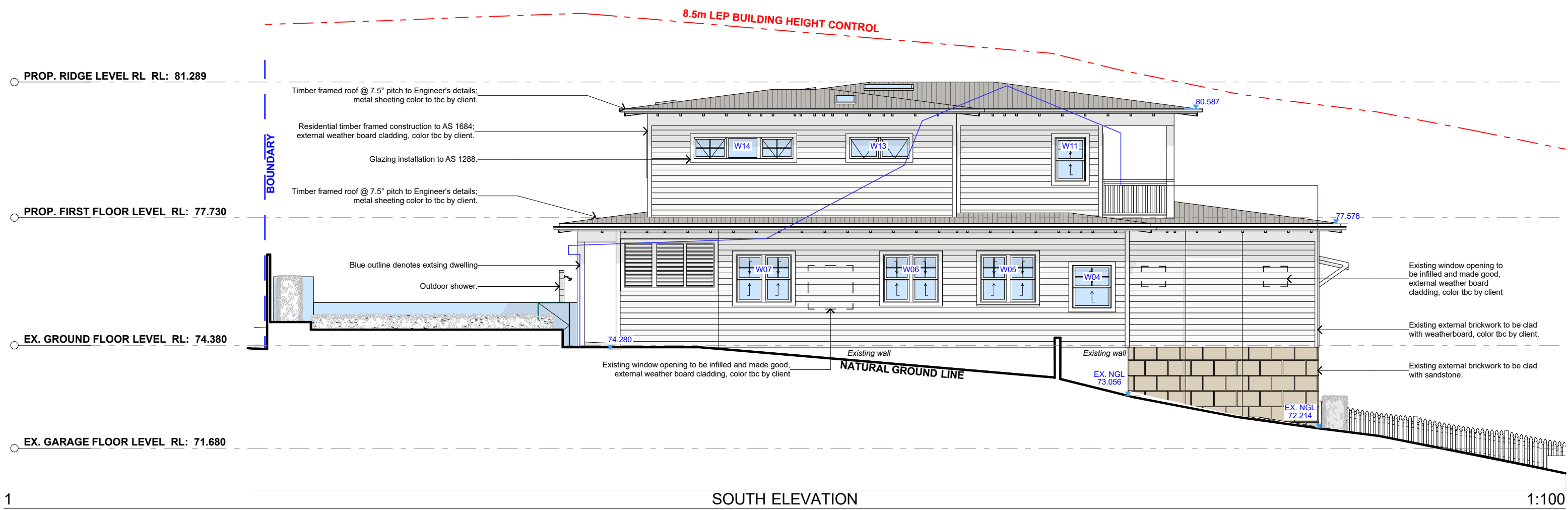
NORTH ELEVATION

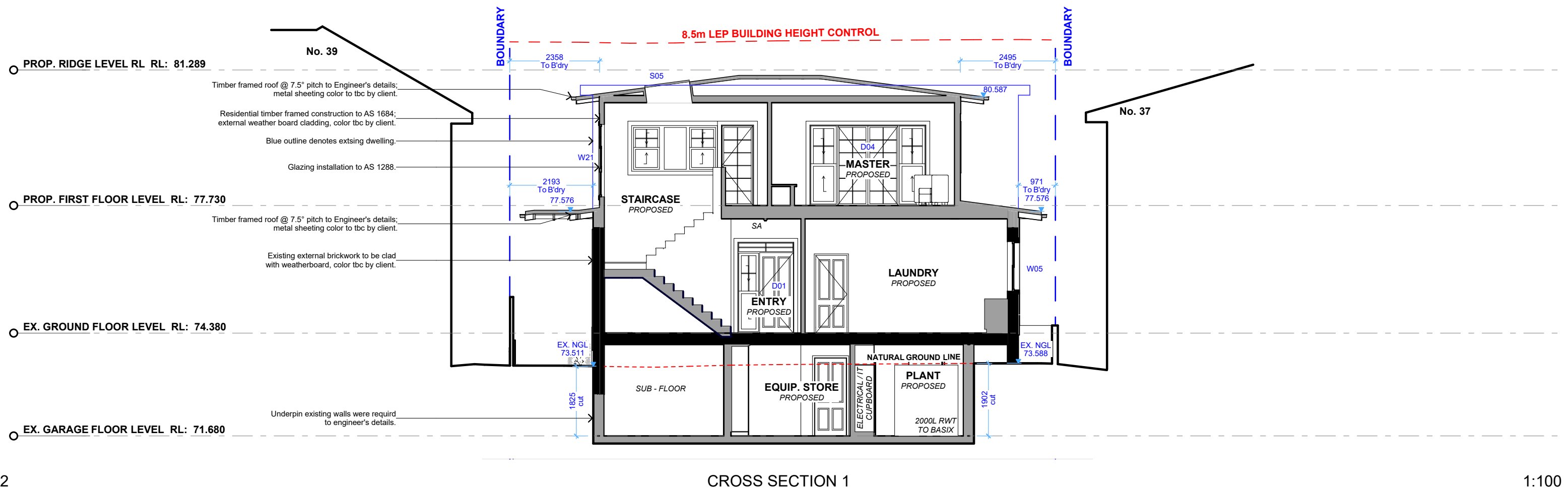
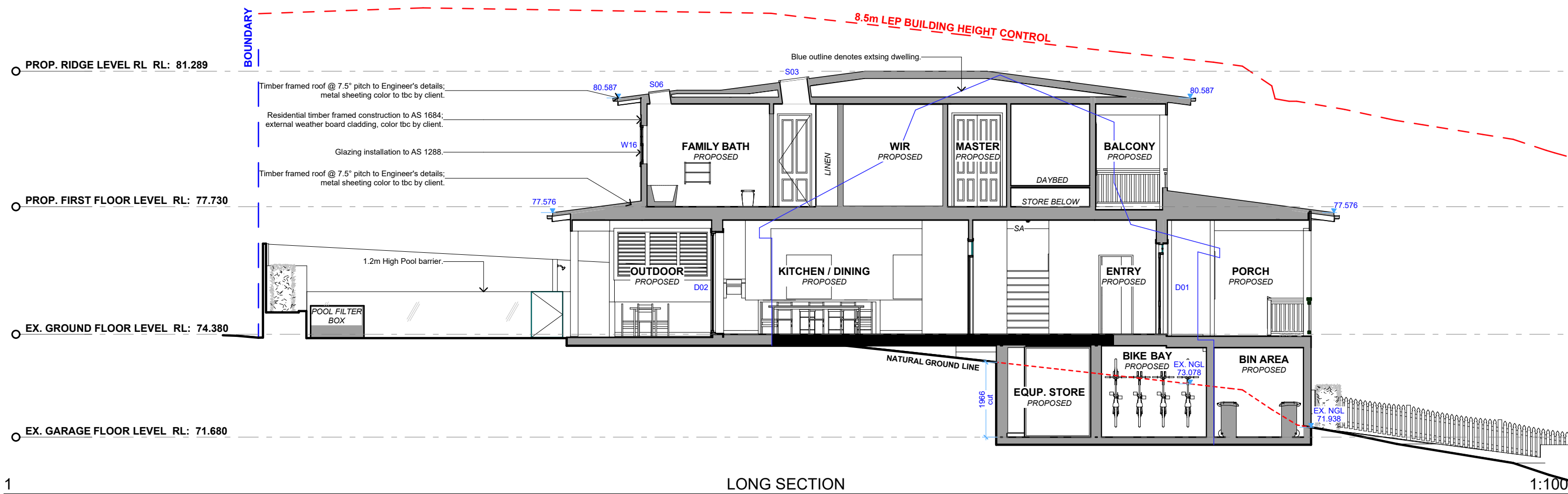
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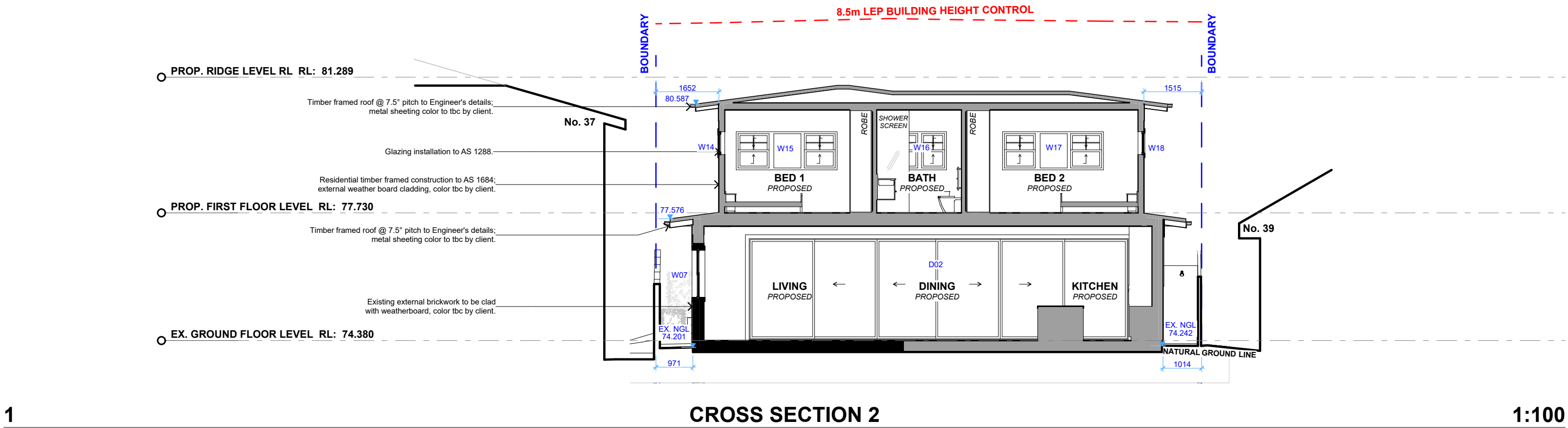


EAST ELEVATION

1:100

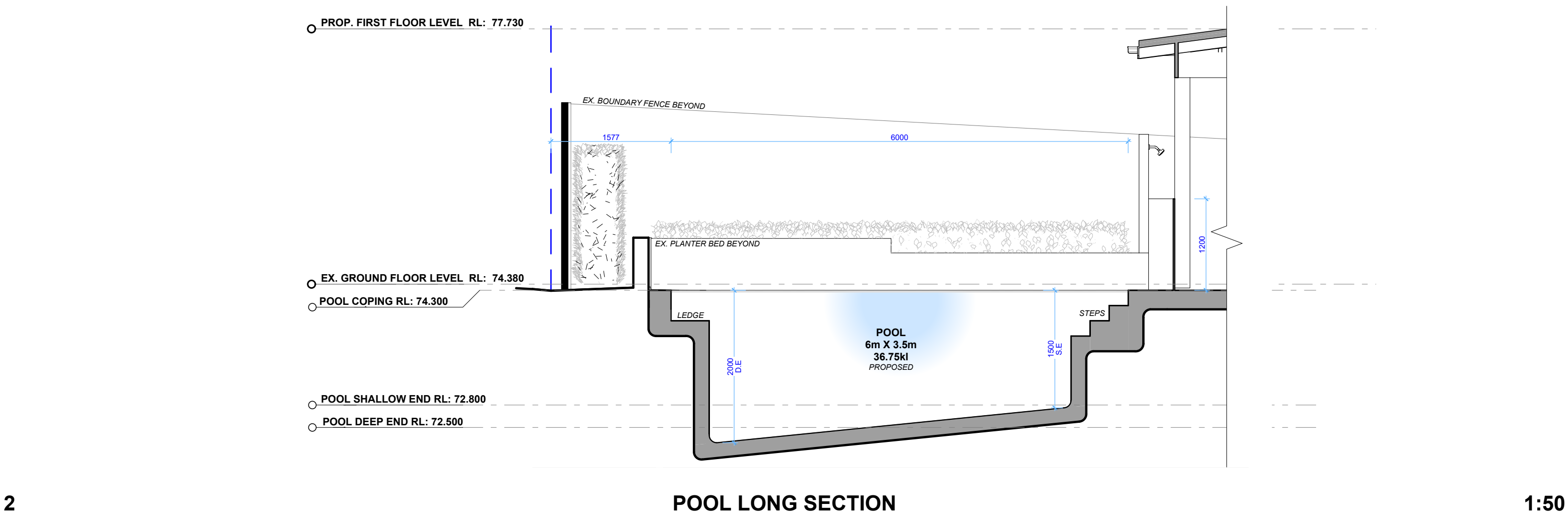






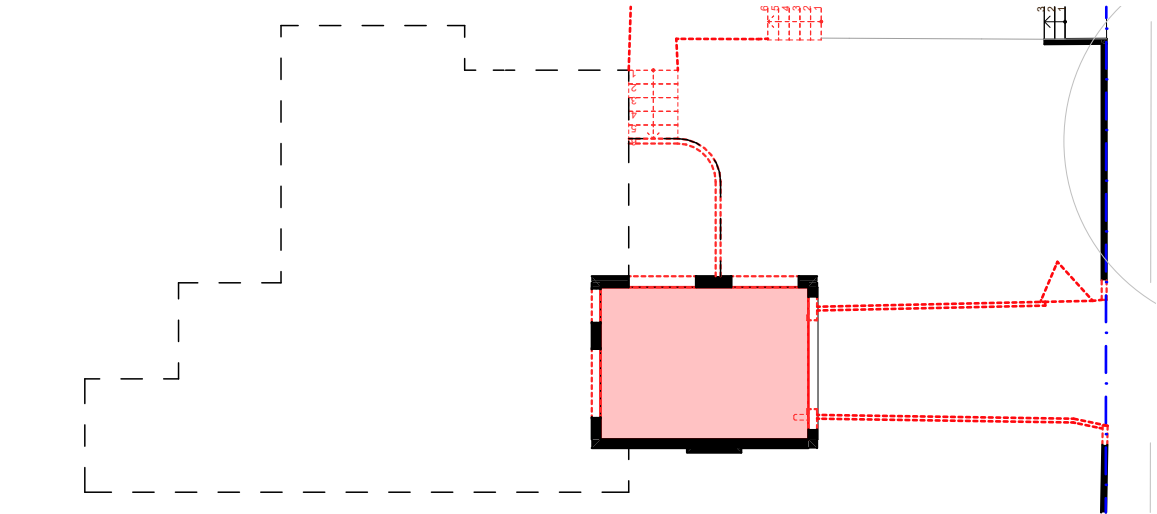
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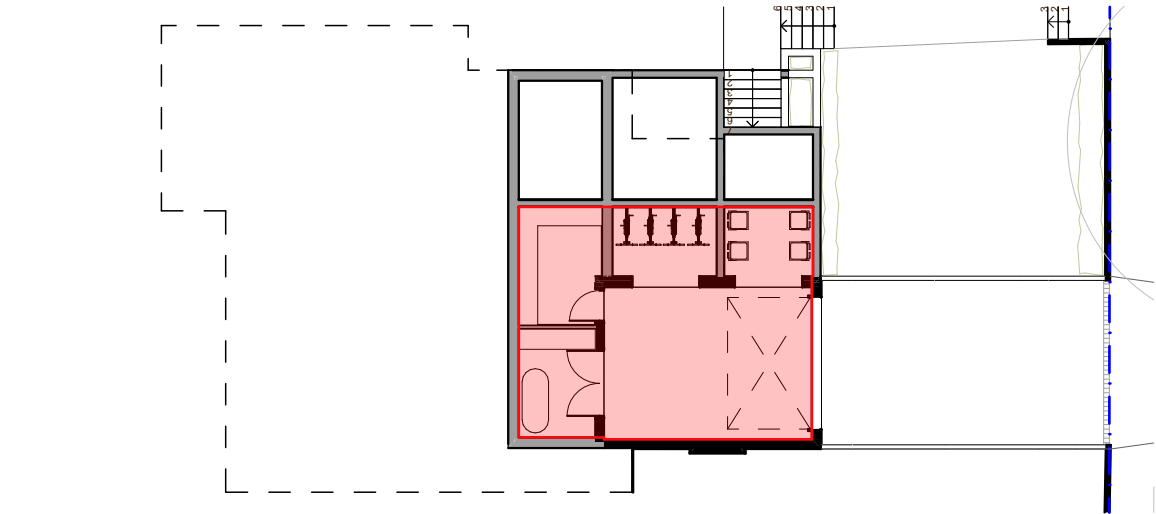
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1:50

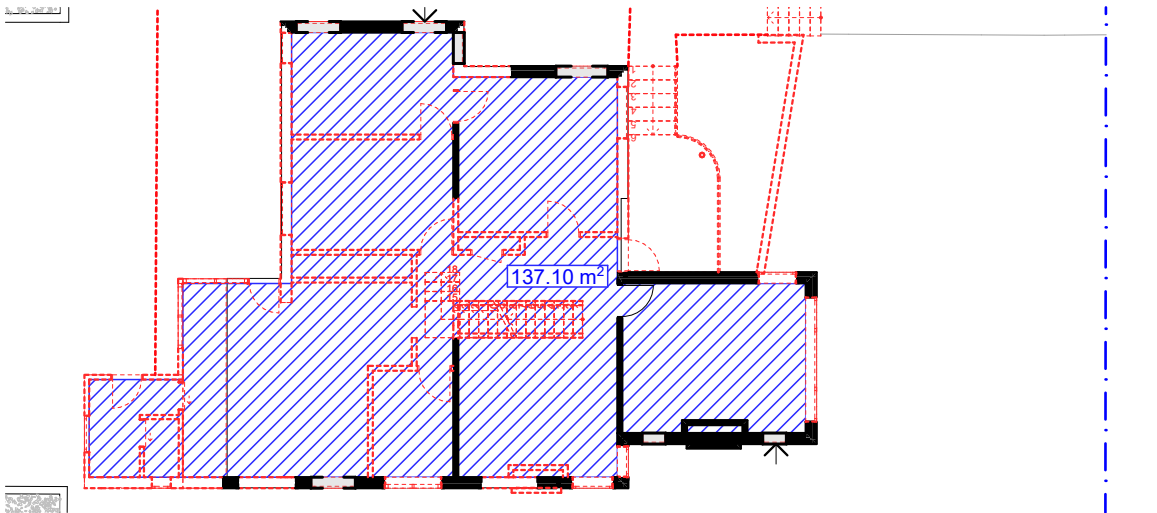


1 EXISTING GARAGE FLOOR LEVEL - FSR 1:200

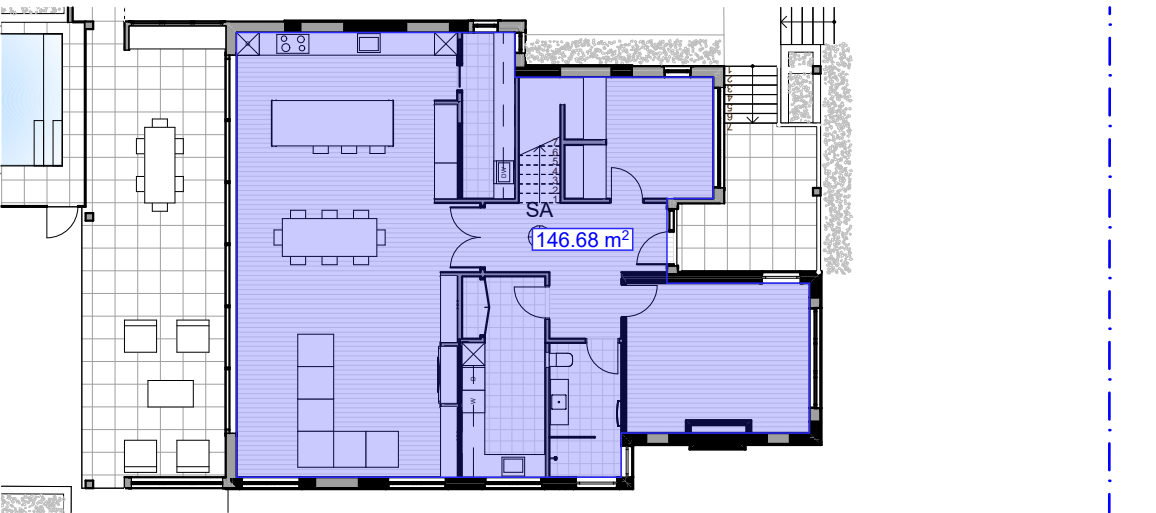
CONTROL TABLE			
SITE AREA 505.4m ²			
Floor Space Ratio			
Required:	0.45%		(227.43m ²)
Existing:	0.37%		(185.04m ²)
Proposed:	50%		(254.62m ²)



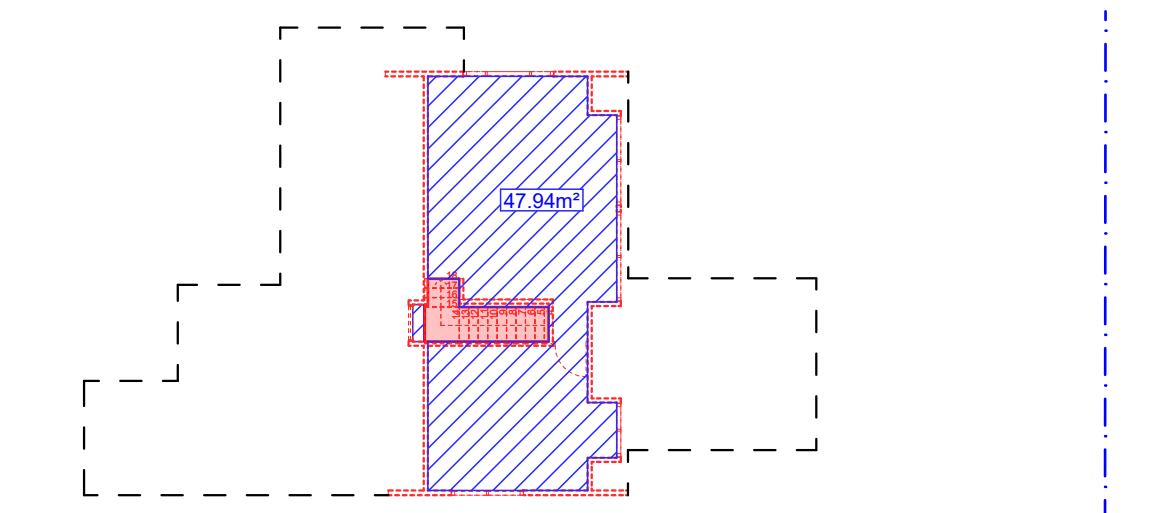
4 PROPOSED GARAGE LEVEL - FSR 1:200



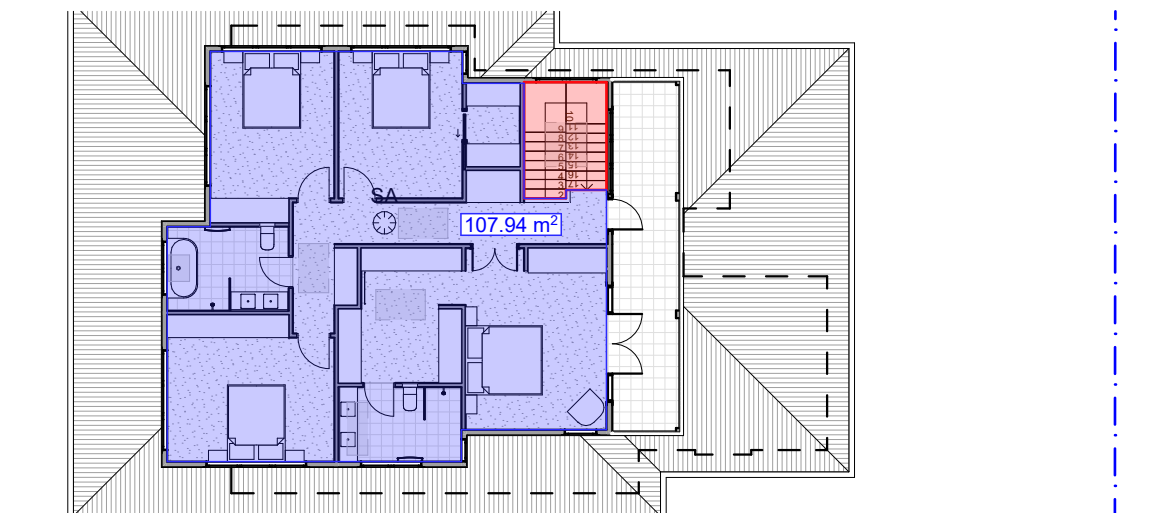
2 EXISTING GROUND FLOOR LEVEL - FSR 1:200



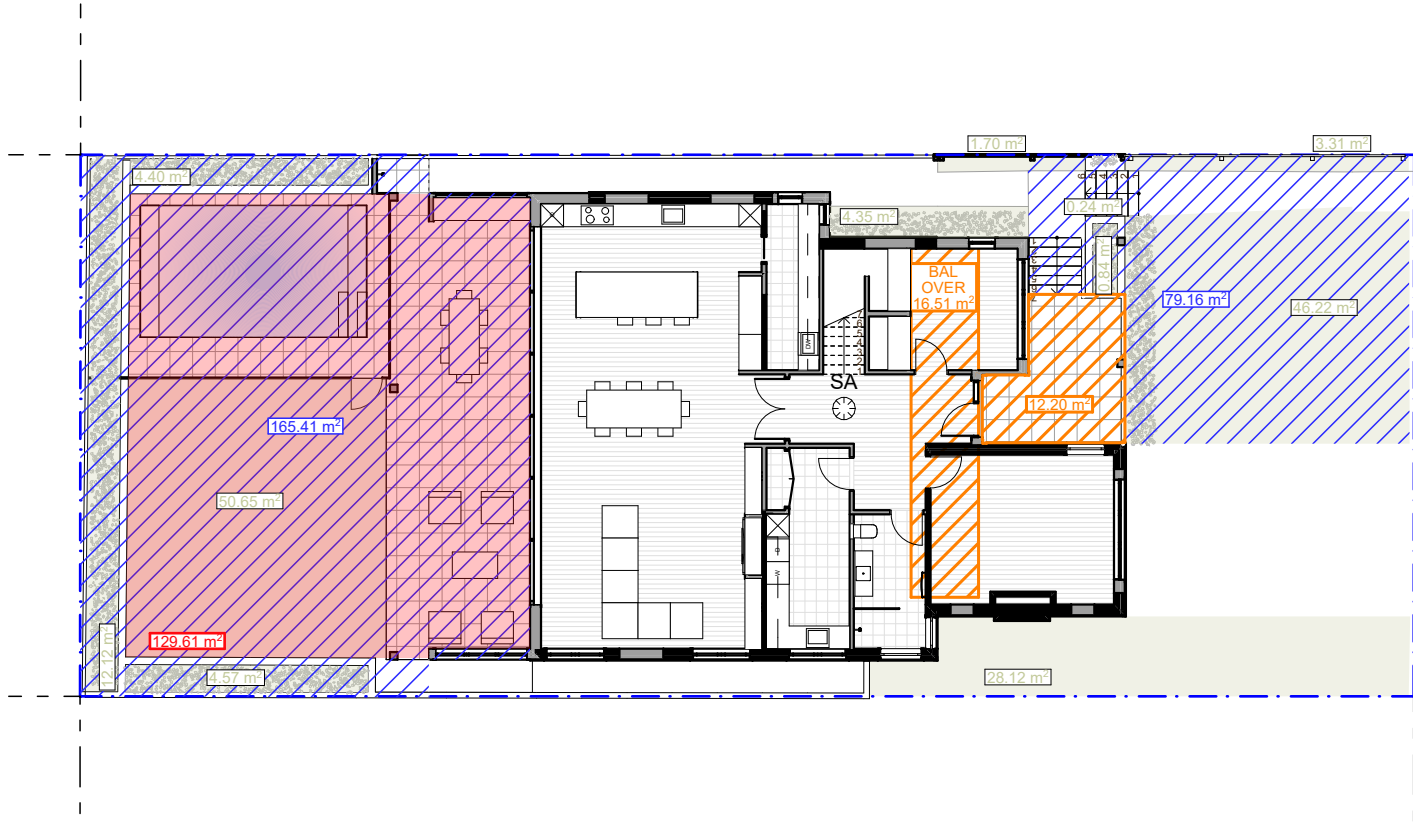
5 PROPOSED GROUND FLOOR LEVEL - FSR 1:200



3 EXISTING FIRST FLOOR LEVEL - FSR 1:200



6 PROPOSED FIRST FLOOR LEVEL - NEW 1:200



1

PROPOSED SITE CALCULATIONS

1:200

SITE CALCULATIONS

SITE AREA: 505.4m²

TOTAL OPEN SPACE
 REQ: 55% OF 505.4m² (277.97m²)
 EX: 53% (266.45m²)
 PROP: 49% (244.57m²)

LANDSCAPE OPEN SPACE
 REQ: 35% OF 55% TOS (97.29m²)
 EX: 88% (233.58m²)
 PROP: 64% (156.52m²)

PRIVATE OPEN SPACE
 REQ: 18m²
 EX: 132.63m²
 PROP: 129.61m²

OPEN SPACE ABOVE GROUND
 REQ: MAX 25% OF TOS (69.49m²)
 EX: 8.57m²
 PROP: 28.71m²



2

EXISTING SITE CALCULATIONS

1:200



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REV.	DATE	COMMENTS	DRWN
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All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

- LEGEND**
- ▨ TOTAL OPEN SPACE
 - ▨ LANDSCAPE OPEN SPACE
 - ▨ PRIVATE OPEN SPACE
 - ▨ OPEN SPACE ABOVE GROUND

CLIENT

BRIDGET & PHIL
 HOLMEWOOD

PROJECT ADDRESS

37 RADIO AVENUE,
 BALGOWLAH HEIGHTS
 2093

DRAWING NO.

DA14

DATE

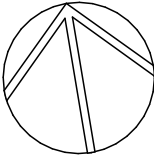
Thursday, 11 February
 2021

DRAWING NAME

SITE CALCULATIONS

SCALE

1:200 @A3





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LEGEND
<div>EXISTING SHADOWS</div>
<div>PROPOSED SHADOWS</div>

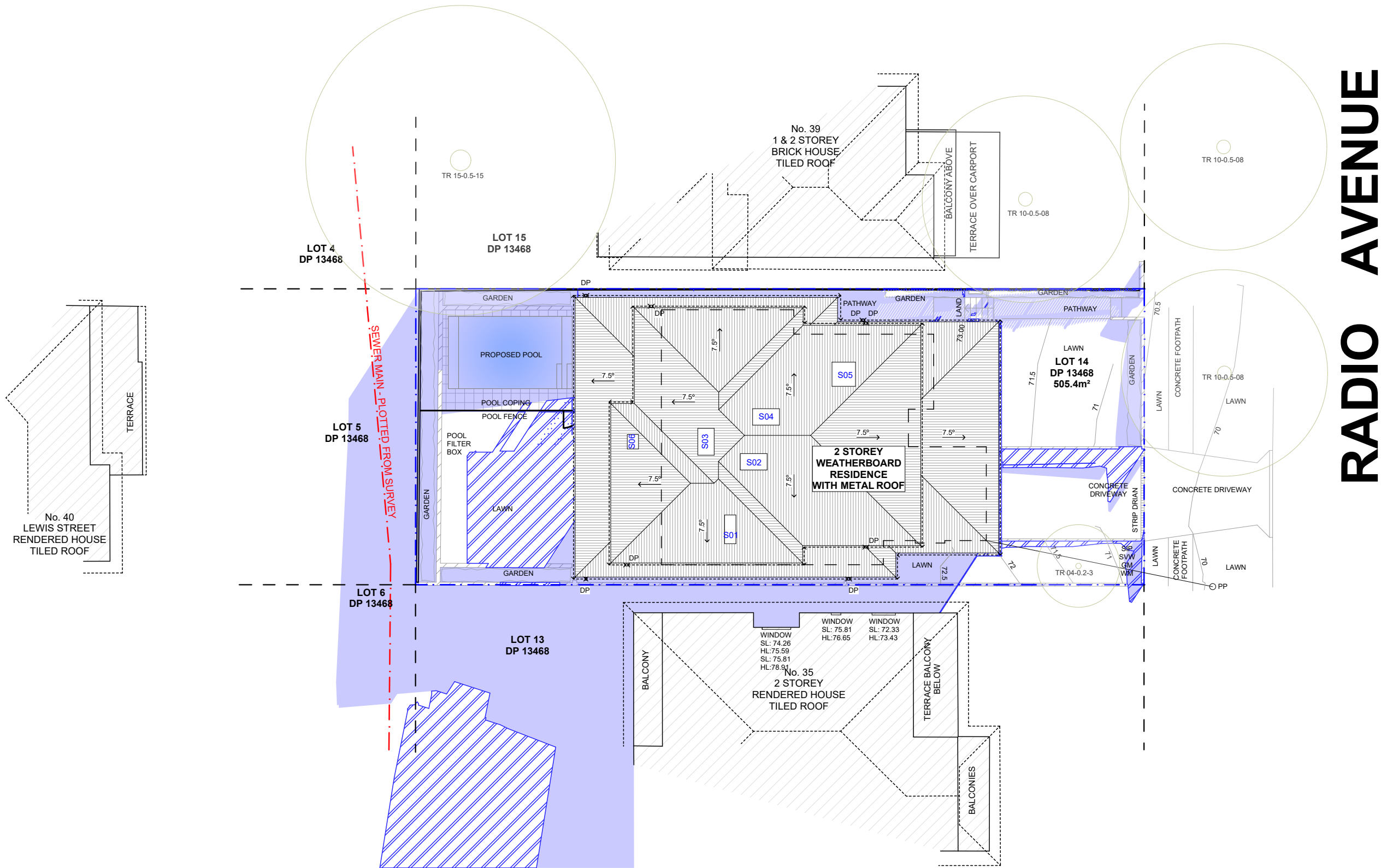
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37 RADIO AVENUE,
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2093

DRAWING NO.	DRAWING NAME
DA15	WINTER SOLSTICE 9 AM
DATE	SCALE
Thursday, 11 February 2021	1:200 @A3





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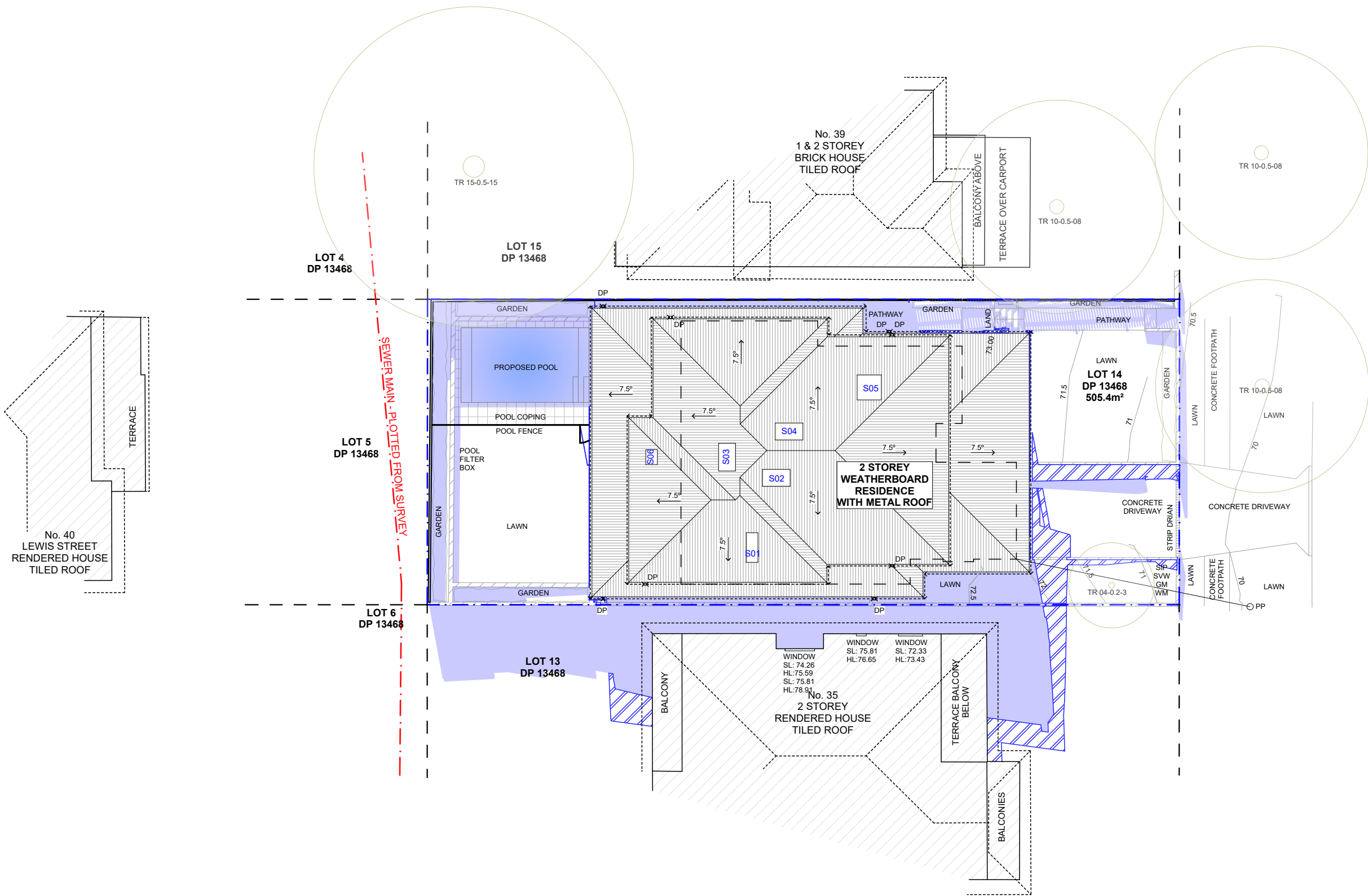
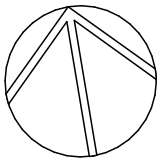
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LEGEND
<div></div> EXISTING SHADOWS
<div></div> PROPOSED SHADOWS

CLIENT
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PROJECT ADDRESS
37 RADIO AVENUE, BALGOWLAH HEIGHTS 2093

DRAWING NO.
DA16
DATE
Thursday, 11 February 2021

DRAWING NAME
WINTER SOLSTICE 12 PM
SCALE
1:200 @A3



RADIO AVENUE



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LEGEND
<div>EXISTING SHADOWS</div>
<div>PROPOSED SHADOWS</div>

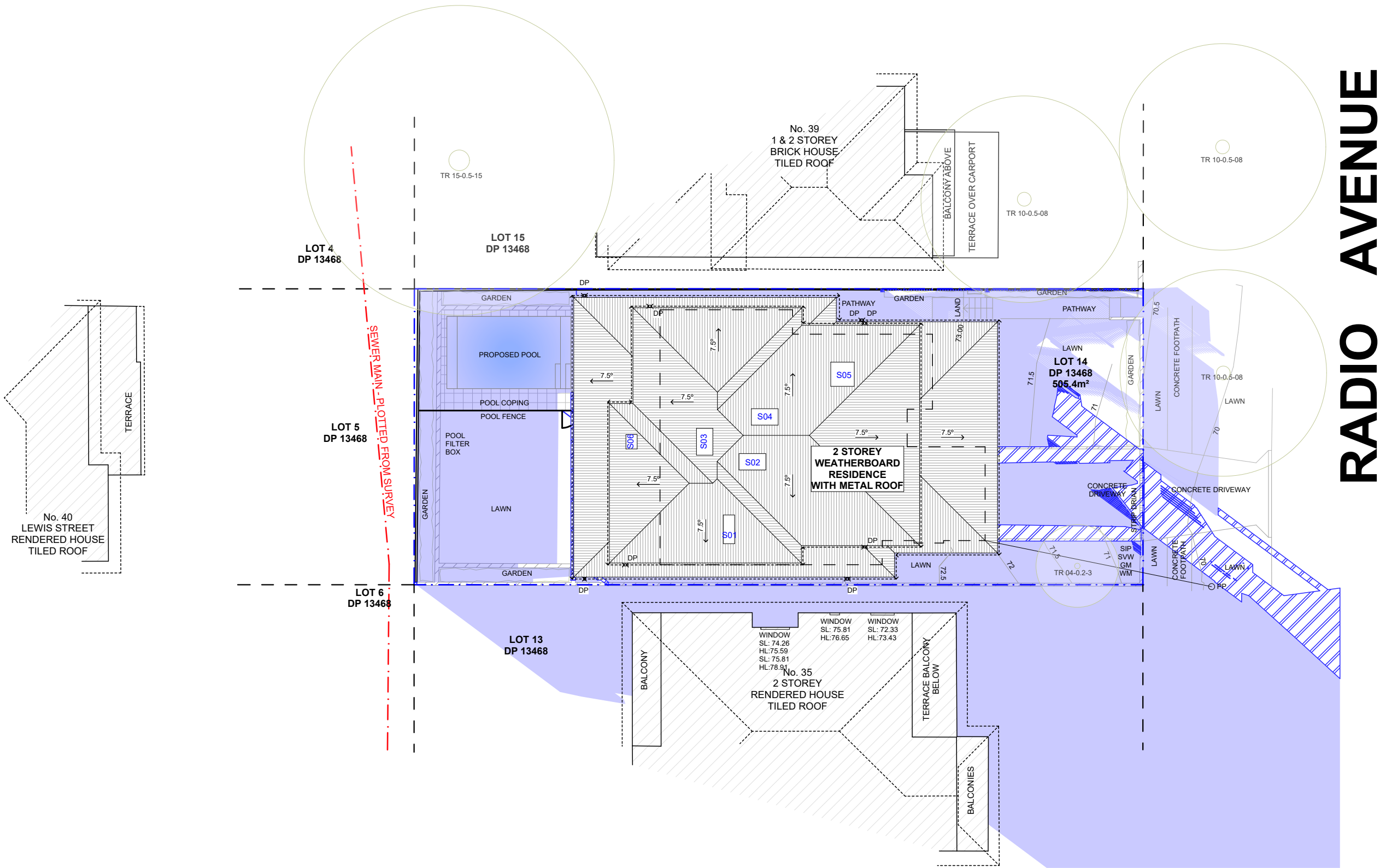
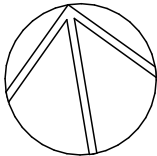
CLIENT

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PROJECT ADDRESS

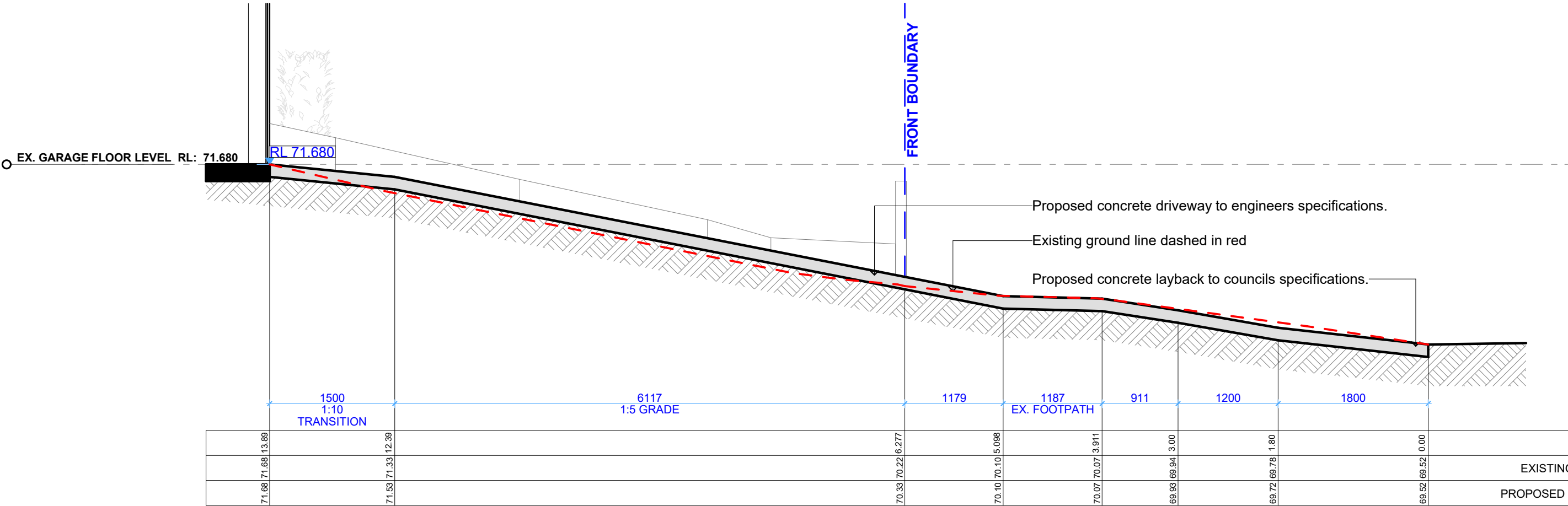
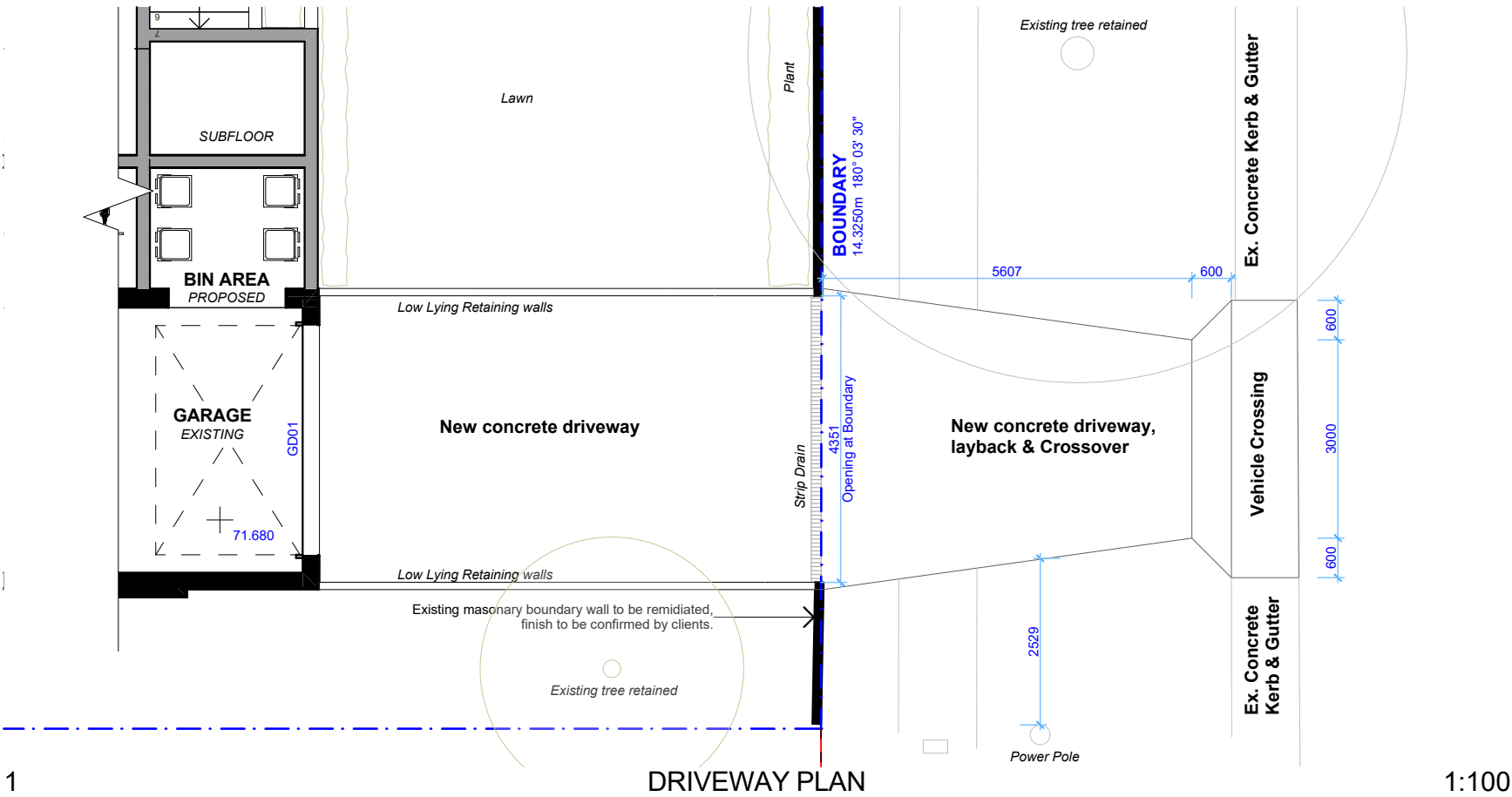
37 RADIO AVENUE,
BALGOWLAH HEIGHTS
2093

DRAWING NO.	DRAWING NAME
DA17	WINTER SOLSTICE 3 PM
DATE	SCALE
Thursday, 11 February 2021	1:200 @A3




RADIO AVENUE

NOTE:
NEW CONCRETE DRIVEWAY TO COUNCILS SPECIFICATION & ENGINEER'S DETAILS.



1 DRIVEWAY LONG SECTION 1:50



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A	01.02.2021	DA: FOR SUBMISSION	RNA	LEGEND <div><div></div> EXISTING</div> <div><div></div> PROPOSED</div> <div><div></div> DEMOLISHED</div> <p>This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.</p>

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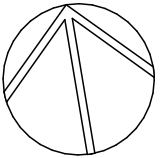
PROJECT ADDRESS
37 RADIO AVENUE,
BALGOWLAH HEIGHTS
2093

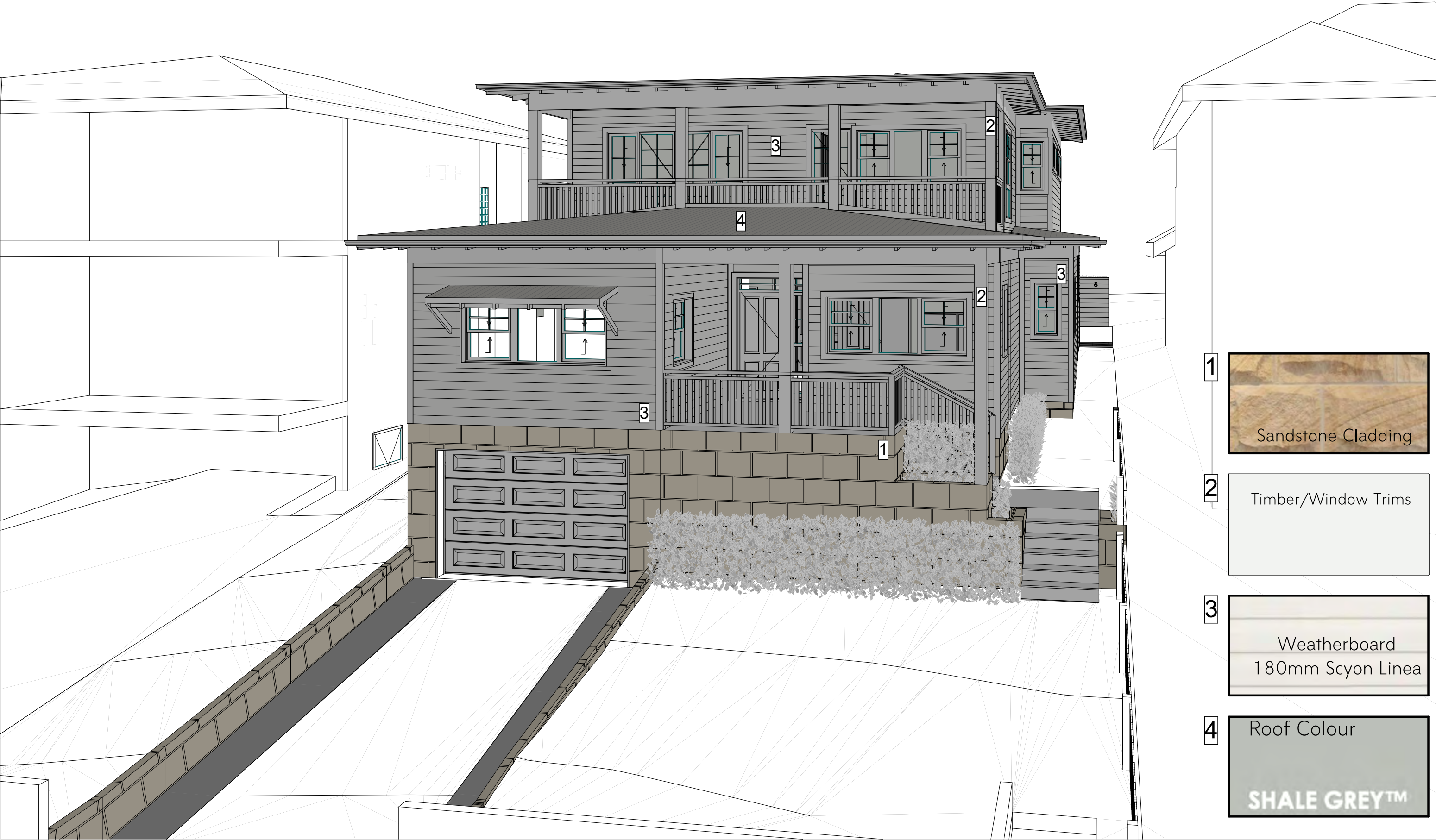
DRAWING NO.
DA18

DATE
Thursday, 11 February 2021

DRAWING NAME
DRIVEWAY PLAN & LONG SECTION

SCALE
1:100, 1:50 @A3





Alterations and Additions

Certificate number: A401989_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 01, February 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1071 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 35 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
suspended floor above garage: framed (R0.7).	nil		
floor above existing dwelling or building.	nil		
external wall: cavity brick	nil		
external wall: cavity brick	nil		
internal wall shared with garage: single skin masonry (R0.18)	nil		
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Description of project

Project address	
Project name	Copy of 37 Radio Avenue, Balgowlah H_02
Street address	37 Radio Avenue Balgowlah Heights 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 13468
Lot number	14
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W1	N	1.15	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	E	2.915	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	E	1.17	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W4	S	1.26	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W5	S	1.94	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

Glazing requirements						Show on DA Plans	Show on CoC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W6	S	1.94	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W7	S	1.94	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W8	N	0.78	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W9	N	0.84	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W10	E	2.95	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W11	S	1.02	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W12	E	0.72	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W13	S	0.97	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W14	S	1.59	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W15	W	2.65	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W16	W	1.41	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W17	W	2.65	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W18	N	1.59	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W19	N	1.59	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W20	E	0.72	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W21	N	3.06	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W22	E	2.7	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
D01	E	3.6	0	0	eave/verandah/pergola/balcony ≥900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
D02	W	27	0	0	eave/verandah/pergola/balcony ≥900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
D03	E	1.72	0	0	eave/verandah/pergola/balcony ≥900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
D04	E	6.45	0	0	eave/verandah/pergola/balcony ≥900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W23	E	0.66	0	0	eave/verandah/pergola/balcony ≥750 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
Skylights									
The applicant must install the skylights in accordance with the specifications listed in the table below.							✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:								✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.								✓	✓

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.04	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	1.04	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	1.04	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S4	1.04	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S5	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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PROJECT ADDRESS
37 RADIO AVENUE,
BALGOWLAH HEIGHTS
2093

DRAWING NO.
DA20

DATE
Thursday, 11 February 2021

DRAWING NAME
BASIX COMMITMENTS