

LOT 10 #39 WARRIEWOOD ROAD,
WARRIEWOOD



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17	A4 NOTIFICATION PLAN (1)

	CLIENT:	LODGEMENT:	DP No:	REVISION SCHEDULE				DRAWN:	DATE:
	MR MARIN & MRS SANDRA JURLINA	DA/CC	1206507	ISSUE	DESCRIPTION	DRAWN	DATE	Mark Zeina	15.03.17
				A	PRELIMINARY DRAWINGS	MZ	15.03.17	COUNCIL:	FACADE:
				B	CLIENT REQUESTED CHANGES	MZ	10.09.18	PITTWATER	
				C	CLIENT REQUESTED CHANGES	MZ	26.11.18	DWELLING NAME:	PAGE NO:
				D	SETBACK / CLIENT CHANGES	MZ	15.03.19	DOUBLE STOREY	
				-	-	-	-	JOB NUMBER:	
	-	-	-	-	MRZ -17 - 161				
ADDRESS:	*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA								
Lot 10 #39 WARRIEWOOD RD WARRIEWOOD 2102									

AREAS SCHEDULE	
SITE DETAILS	
LOT NUMBER:	10
DWELLING NUMBER:	39
DP NUMBER:	1206507
SITE AREA:	407.30m ²
DWELLING AREAS	
GROUND FLOOR LIVING:	113.43m ²
FIRST FLOOR LIVING:	140.68m ²
GARAGE:	42.14m ²
PORCH:	5.04m ²
OUTDOOR LEISURE:	24.80m ²
TOTAL	326.09m ²
TOTAL SQUARES:	35.1
SITE COVERAGE:	
PROPOSED:	185.41m ² 45.5%
LANDSCAPE RATIO:	
REQUIRED (min.):	162.92m ² 40%
PROPOSED:	202.20m ² 49.6%
PRIVATE OPEN SPACE:	
REQUIRED (min.):	60m ²
PROPOSED:	150m ²
PPOS:	24m ²

'H' CLASS SLAB
SUBJECT TO BOREHOLE REPORT

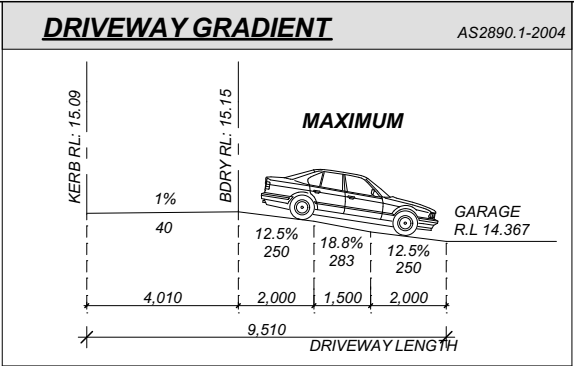
STORMWATER DRAINAGE TO EASEMENT
ANY RETAINING WALLS REQUIRED TO BE
COMPLETED BY OWNERS TO
MANUFACTURERS SPECIFICATIONS.

 SITE PLAN
1:200

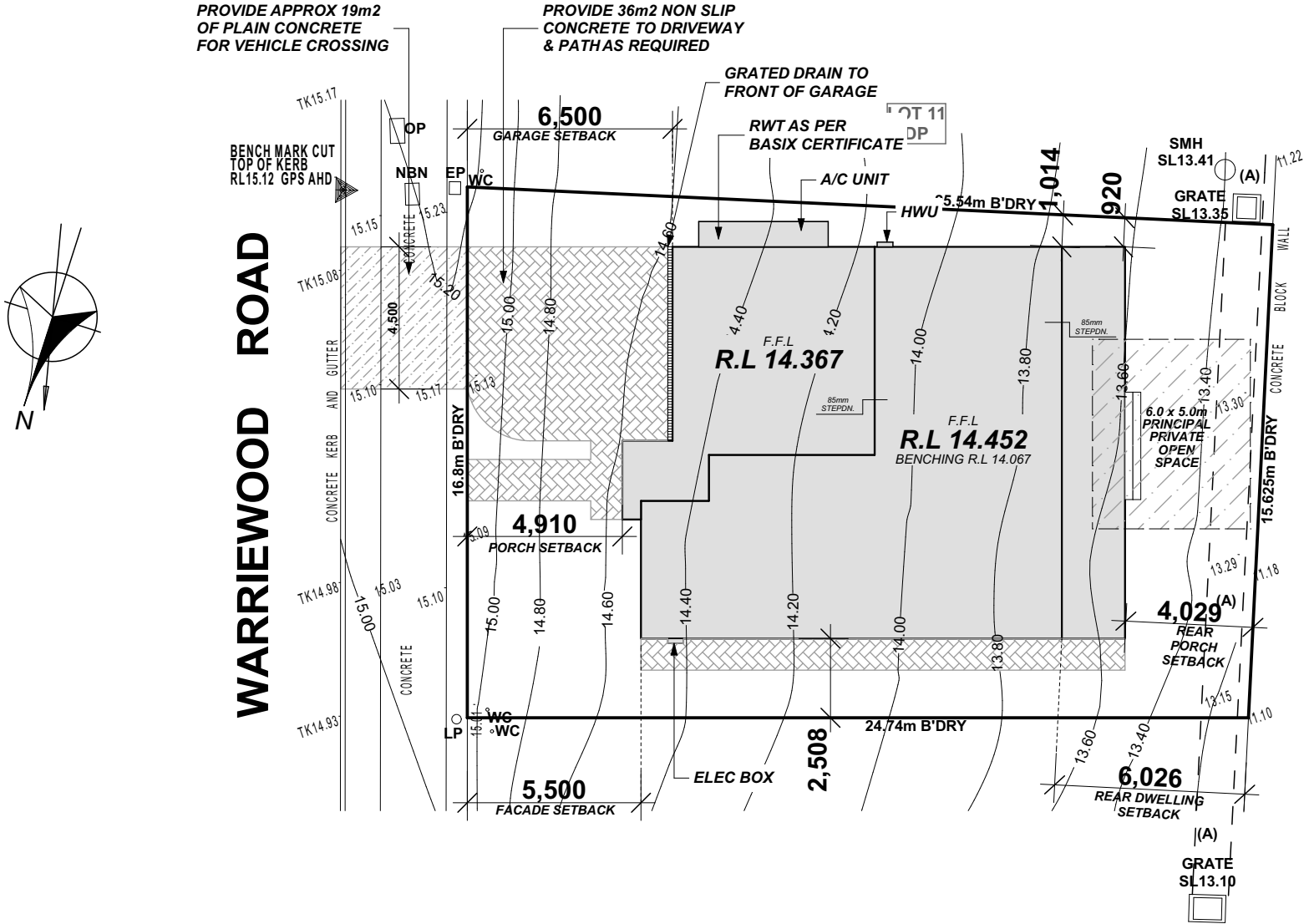
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(A) EASEMENT TO DRAIN WATER 1.5 WIDE. (DP

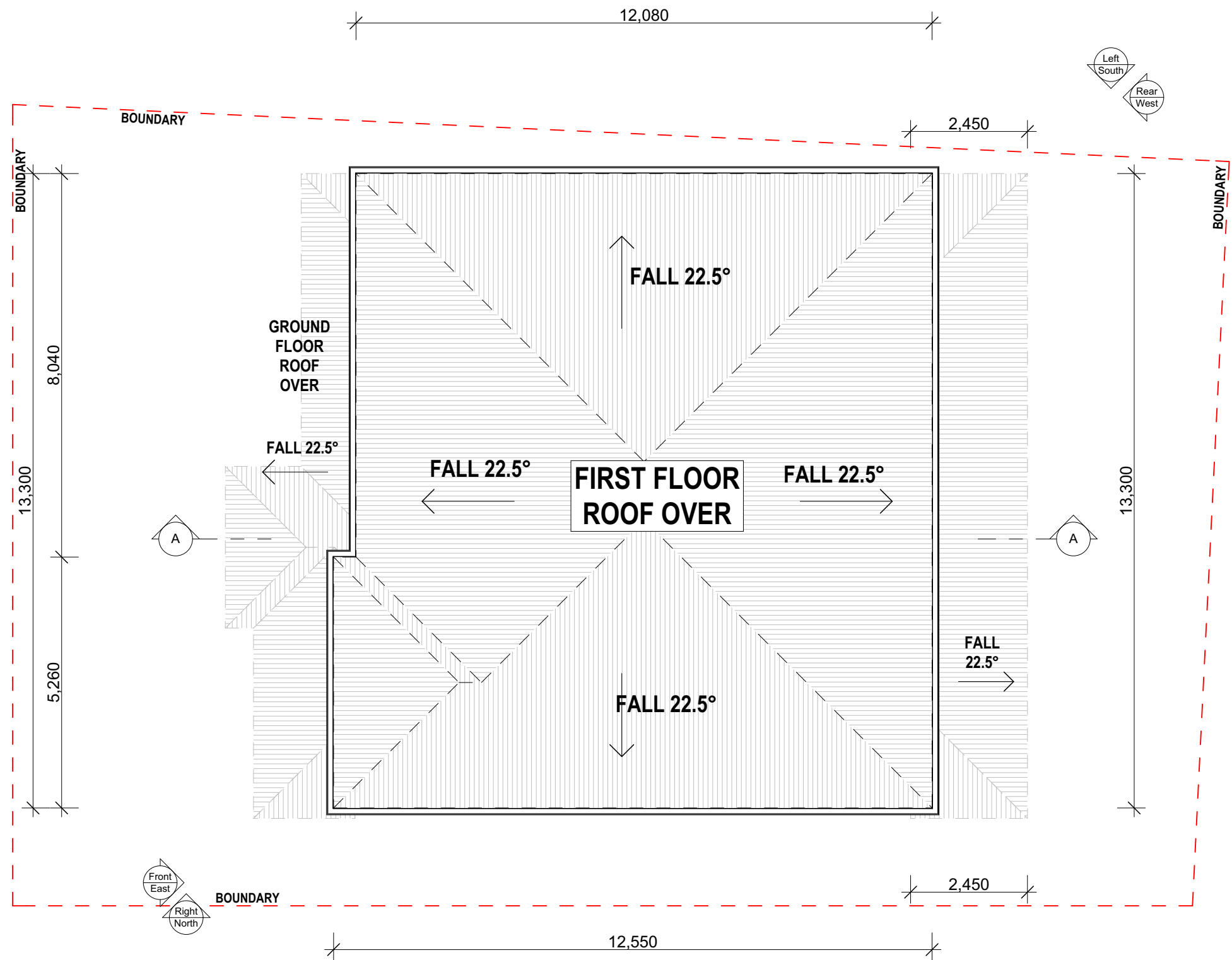
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LEGEND
LP - LIGHT POLE
OP - OPTUS PIT
NBN - COMMS PIT
EP - ELECTRICAL PILLAR
WC - WATER CONNECTION
SMH - SEWER MANHOLE
SL - SURFACE LEVEL
TK - TOP OF KERB

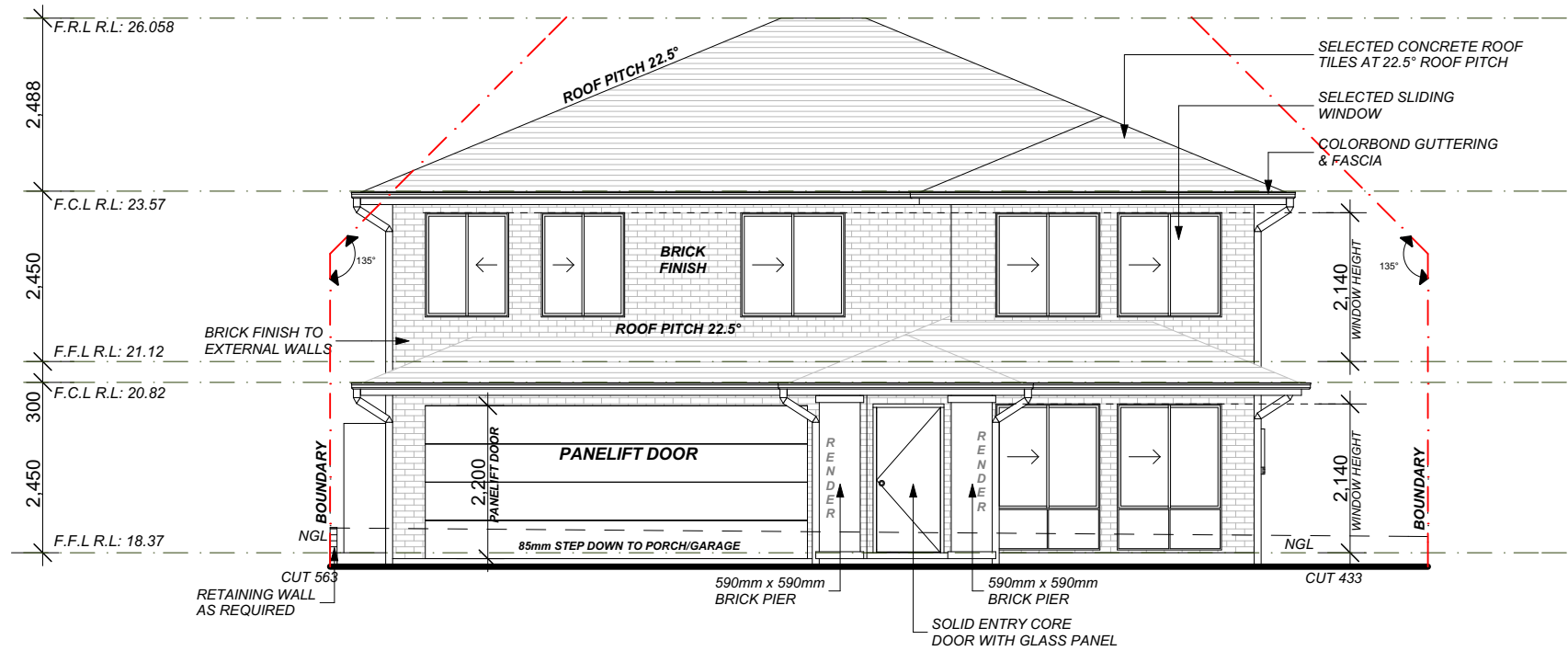


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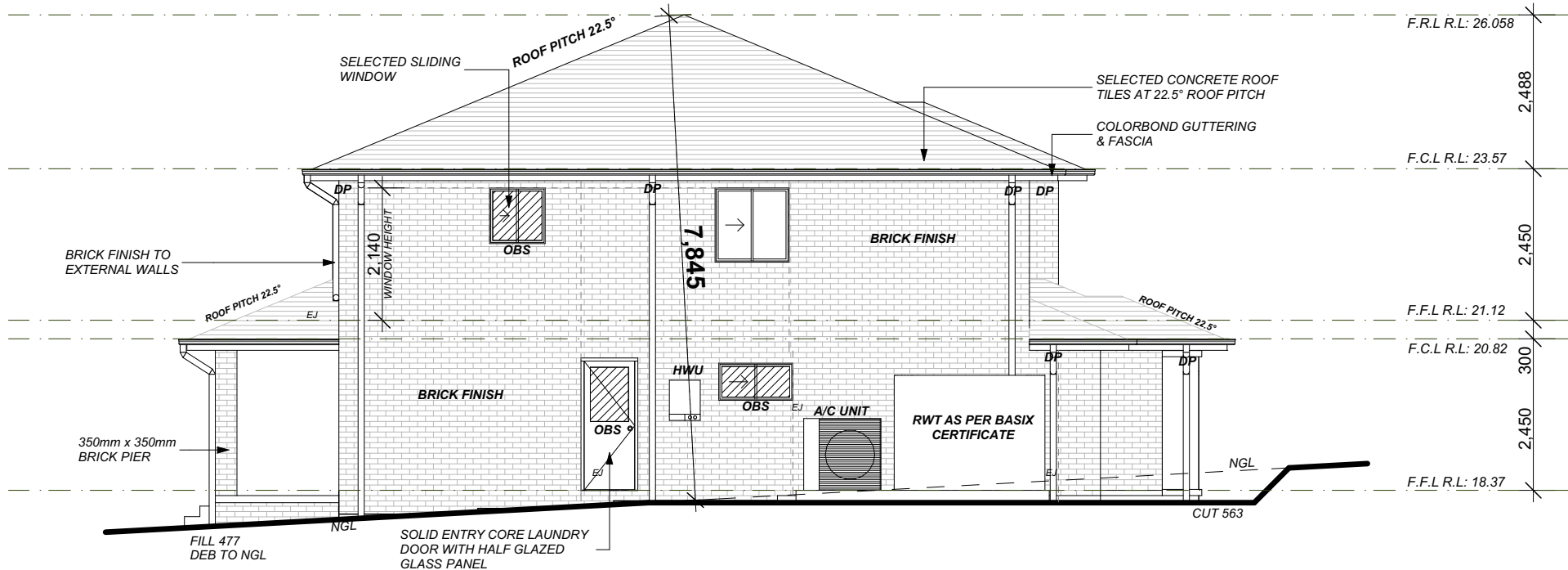


3D VIEW
1:100

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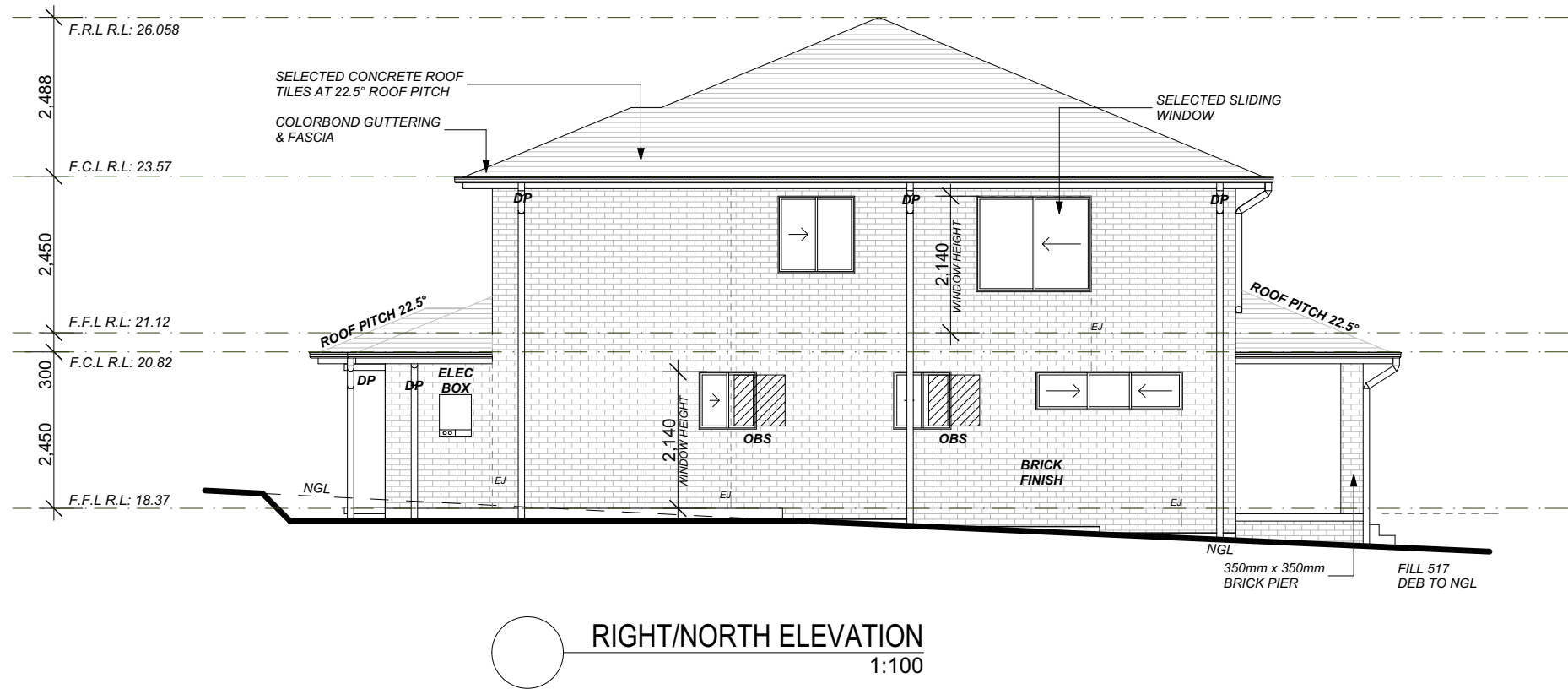
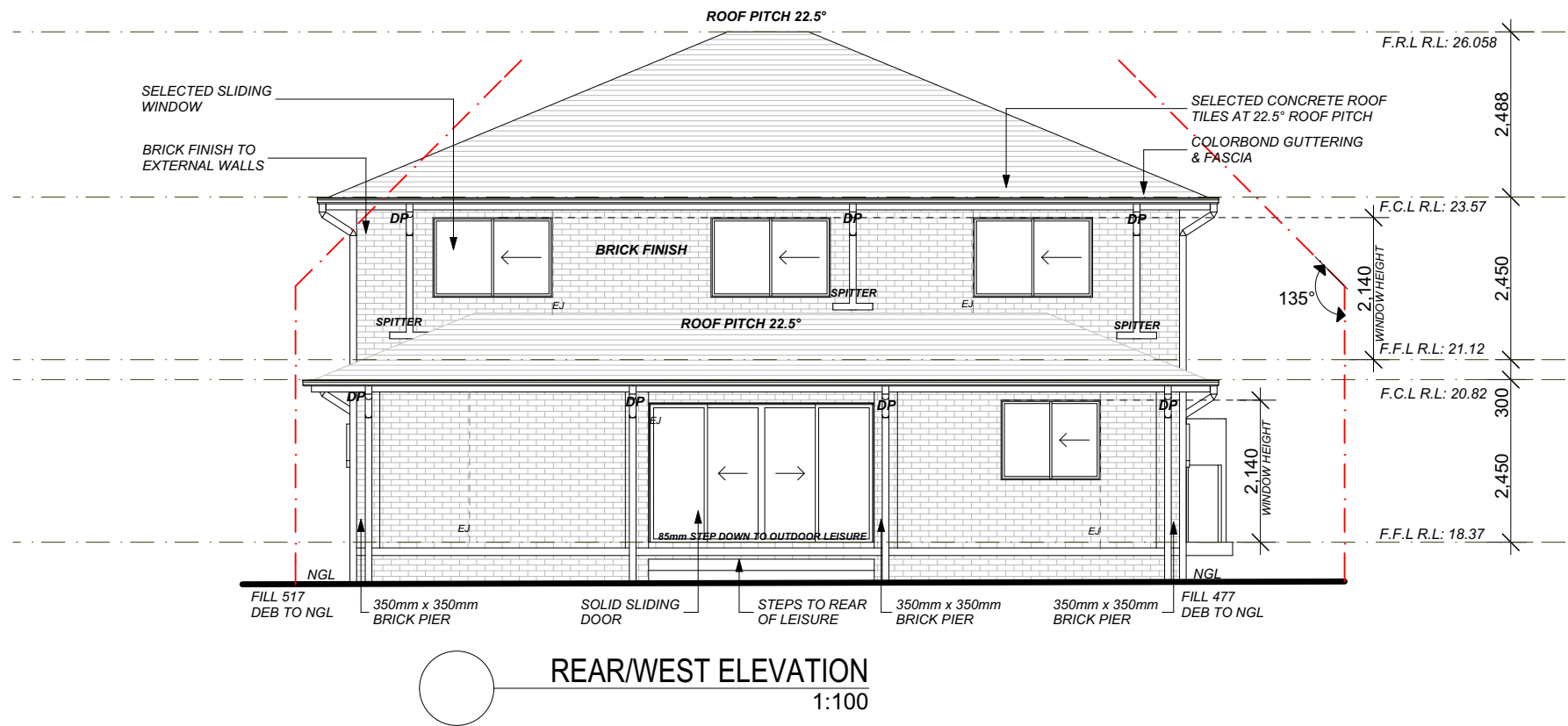


FRONT/EAST ELEVATION
1:100



LEFT/SOUTH ELEVATION
1:100

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			-	-	-	-		
			-	-	-	-		

SEDIMENT CONTROL DETAIL

3.5mm STEEL WIRE RINGCLIP TO FABRIC

STAR PICKET 1.35m LONG 900mm MAX. ABOVE GROUND

APPROX 450mm BELOW GROUND

POST SHOULD NOT BE SPACED MORE THAN 3.0m APART

PROPEX SILTSTOP SEDIMENT CONTROL FABRIC

DRAPE 150mm OF SILT STOP (BELOW RED GAUGE LINE) BACKFILL WITH SOIL AND COMPACT.

200mm TRENCH ALONG FENCE

POST SHOULD NOT BE SPACED MORE THAN 3.0m APART

PROPLEX SILTSTOP SEDIMENT CONTROL FABRIC

DRAPE 150mm OF SILT STOP (BELOW RED GAUGE LINE) BACKFILL WITH SOIL AND COMPACT.

200mm TRENCH ALONG FENCE

STORMWATER DRAINAGE TO EASEMENT
ANY RETAINING WALLS REQUIRED TO BE
COMPLETED BY OWNERS TO
MANUFACTURERS SPECIFICATIONS.

EXCAVATE SITE APPROX. 563mm TO FORM
JOB DATUM R.L 14.452 (ASSUMED) DATUM
POINT 385mm BELOW FINISHED FLOOR
LEVEL. EXTENT OF EXCAVATION AND
BATTERS TO BE DETERMINED ON SITE.

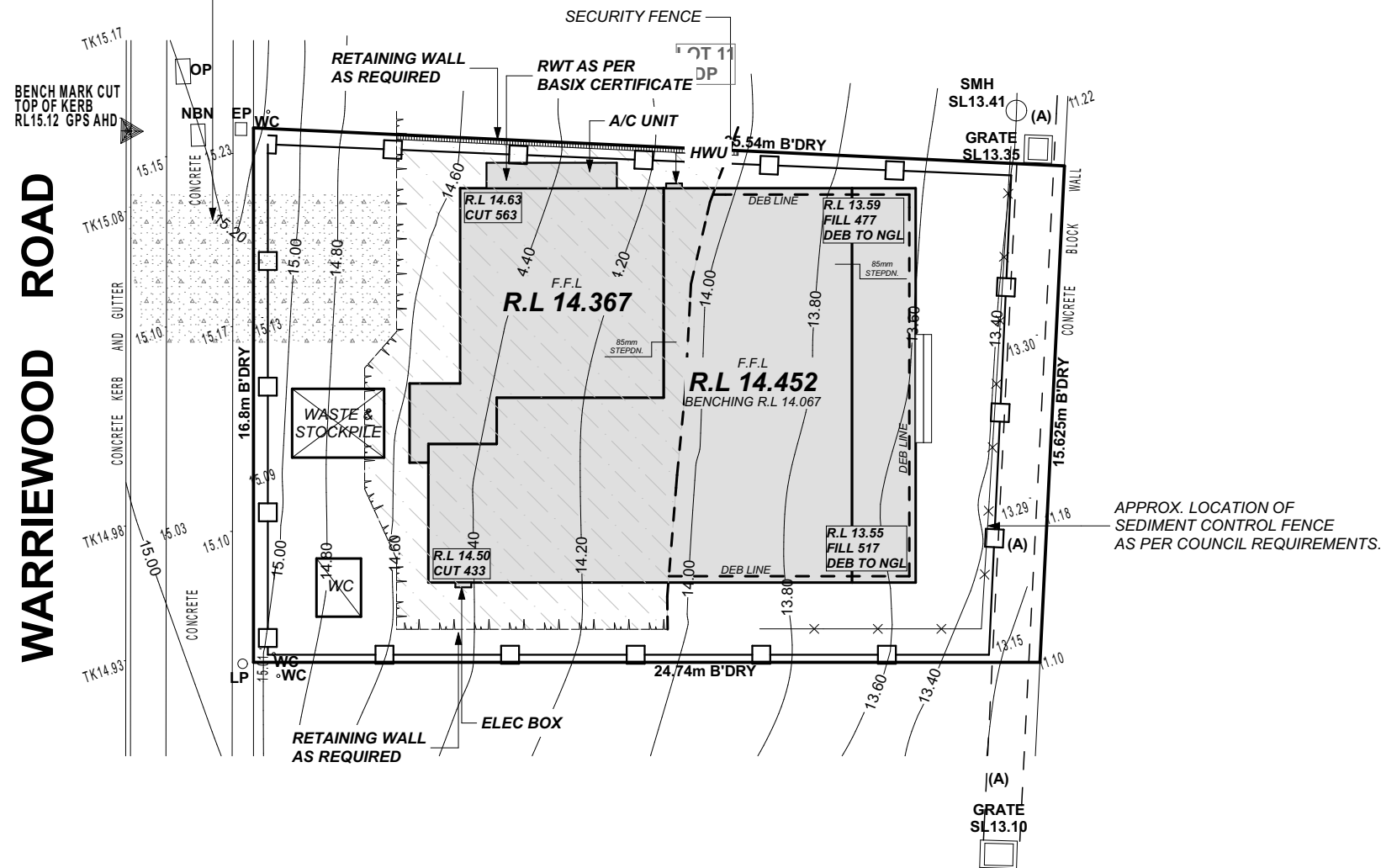
SITE SEDIMENT CONTROL PLAN
1:200

(A) EASEMENT TO DRAIN WATER 1.5 WIDE. (DP

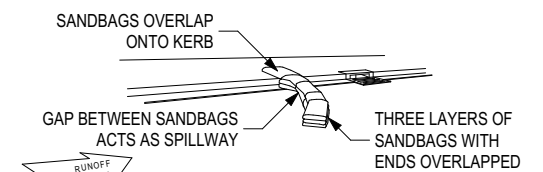
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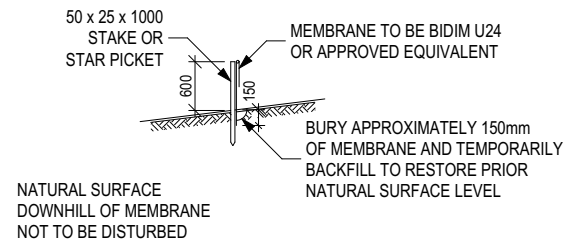
TEMPORARILY STABILISE
VEHICLE ACCESS DRIVEWAY
(GRAVEL/ROCK AGGREGATE)



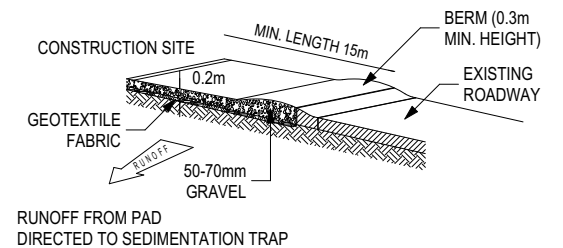
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SANDBAG KERB INLET SEDIMENTATION TRAP



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT

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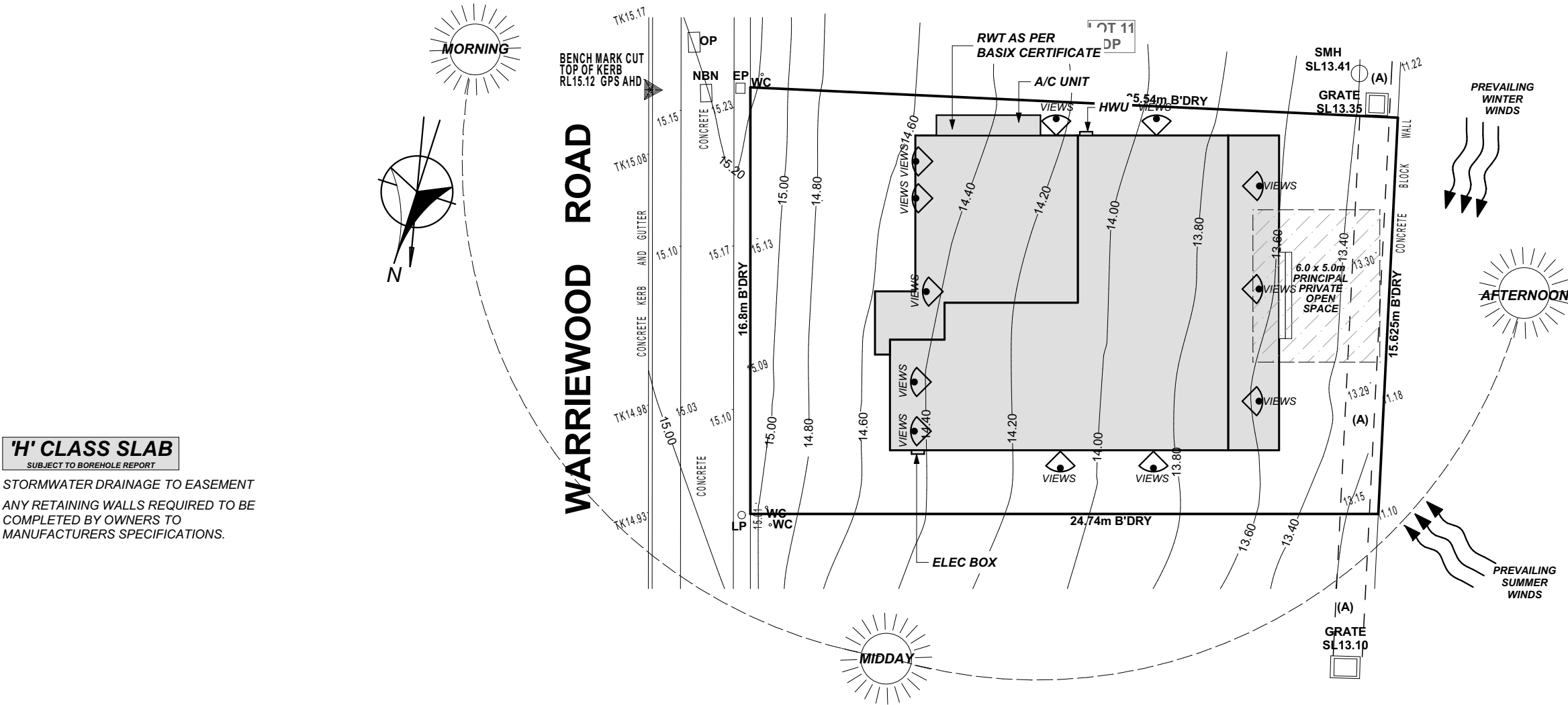
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(A) EASEMENT TO DRAIN WATER 1.5 WIDE. (DP)

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- LEGEND**
- LP - LIGHT POLE
 - OP - OPTUS PIT
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'H' CLASS SLAB
SUBJECT TO BOREHOLE REPORT

STORMWATER DRAINAGE TO EASEMENT
ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURERS SPECIFICATIONS.

SITE ANALYSIS PLAN
1:200

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PLANT SCHEDULE						
Botanical Name	Common Name	Pot Size	Plant Qty	Height	Spread	Native/ Exotic
Trees						
Elaeocarpus reticulatus	Blueberry Ash	45ltr	2	10m	6m	Native *
Shrubs						
Acmena smithii 'Minor'	Lilly Pilly	200mm	11	2m	1.5m	Native *
Phormium tenax	NZ Flax	200mm	4	1m	1m	Exotic
Westringia fruitcosa	Coastal Rosemary	200mm	9	1m	1m	Native *

DRIVEWAYS ARE TO BE CONSTRUCTED TO THEIR FULL WIDTH FROM THE GARAGE TO THE ROAD PRIOR TO OCCUPATION OF THE HOME.

DRIVEWAYS MUST ACCOMMODATE TWO CAR PARKING SPACES WITHIN THE PROPERTY. THE MATERIAL AND COLOURS OF THE DRIVEWAY MUST BE CONSISTENT FOR THE FULL LENGTH OF THE DRIVEWAY AND CROSSOVER (I.E. FROM GARAGE TO KERB).

DRIVEWAYS MUST BE CONSTRUCTED OF EITHER: ROOM FINISHED CONCRETE (COLOURED OR PAINTED) STENCILED OR STAMPED CONCRETE OR WATERLOOING CONCRETE PAVERS PLAN UNCOLOURED CONCRETE IS NOT PERMITTED.

LIGHT GREY OR COLOURED CONCRETE IS NOT PERMITTED. THE COLOUR OF THE DRIVEWAY IS TO COMPLEMENT THE COLOUR OF THE HOUSE AND IS TO BE NOMINATED ON THE LANDSCAPE PLAN.

DRIVEWAYS ARE TO BE SUFFICIENTLY SET BACK FROM SIDE BOUNDARIES TO ALLOW EFFECTIVE PLANTING ALONG THE BOUNDARY.

DRIVEWAYS ARE NOT PERMITTED IN SOME LOCATIONS. THESE LOCATIONS ARE SHOWN ON THE RESPECTIVE LOT DIAGRAMS.

FENCING

THE COLOUR OF ALL FENCING IS TO COMPLEMENT THE PALETTE USED IN THE HOUSE FACADE. ALL FENCING MUST BE APPROVED AS PART OF THE BUILDING APPROVAL PROCESS.

FRONT FENCING

FENCING ALONG THE FRONT BOUNDARY IS PERMITTED, PROVIDING THAT IT COMPLIES WITH THE FOLLOWING PROVISIONS:

1. FENCING IS TO INCLUDE FACE BRICK OR RENDERED MASONRY PIERS AT A SPACING OF NO MORE THAN 3M BETWEEN PIERS. THE PIERS ARE TO BE AT LEAST 300MM BY 300MM IN SIZE.

2. THE INFILL PANELS BETWEEN PIERS ARE TO BE VISUALLY PERMEABLE AND CONSIST OF LANDSCAPING, DECORATIVE STEEL, WROUGHT IRON, TIMBER PICKETS OR MOD WOOD PICKETS.

3. THE PIERS ARE TO BE NO HIGHER THAN 1000MM AND THE FENCING BETWEEN THE PIERS IS TO BE NO HIGHER THAN 900MM.

4. THE FENCE STYLE AND MATERIALS ARE TO BE CONSISTENT FOR THE FULL WIDTH OF THE HOMESITE.

5. IF THE FRONT FENCE IS LOCATED ON A RETAINING WALL, THE FENCE IS TO BE NO HIGHER THAN 1400MM FROM THE BASE OF THE WALL. FOR RETAINING WALLS HIGHER THAN 500MM, THE FRONT FENCE IS TO BE SET BACK FROM THE WALL BY AT LEAST 500MM.

6. FRONT FENCES CONSTRUCTED ENTIRELY OF COLORBOND®, BAMBOO, BRUSHWOOD, TIMBER PICKETS, TIMBER PALINGS OR MATERIALS OF SIMILAR APPEARANCE ARE NOT PERMITTED. REFER TO FIGURES 2.19 - 2.17.

SIDE AND REAR FENCING BETWEEN HOMESITES

FENCING ON COMMON BOUNDARIES BETWEEN HOMESITES MUST COMPLY WITH THE FOLLOWING PROVISIONS:

1. FENCING IS TO BE NO HIGHER THAN 0.9M AND IS TO MEET THE REQUIREMENTS FOR FRONT FENCING AS PER SECTION 2.12 (b). IF THIS SIDE FENCING AND FRONT FENCING ARE BOTH USED, THE TWO ARE TO BE MATCHING IN STYLE.

2. ALL FENCING BEHIND THE FENCE RETURN, INCLUDING ON THE REAR BOUNDARY AND SIDE BOUNDARY, IS TO BE NO HIGHER THAN 1.8M.

3. THIS FENCING IS TO BE CONSTRUCTED OF EITHER: MASONRY RENDERED PANELS COLORBOND® IN WOODLAND GREY® COLOUR (OR AN EQUIVALENT PRODUCT FROM ANOTHER MANUFACTURER).

RETURN FENCING

RETURN FENCING IS THE FENCING THAT CONNECTS THE BOUNDARY FENCE TO YOUR HOME, AND MUST COMPLY WITH THE FOLLOWING PROVISIONS:

1. RETURN FENCING TO THE HOME IS TO BE:

A. THE SAME HEIGHT AS THE ADJOINING SIDE FENCING.

2. SET BACK A MINIMUM OF 1M BEHIND THE BUILDING FACADE FRONTING THE STREET AND CLOSEST TO THE HOMESITE BOUNDARY.

3. CONSTRUCTED FROM THE SAME MATERIALS AS THE FRONT FACADE OF THE HOME.

4. WATER LOCATED IN THE RETURN FENCING ARE TO BE CONSTRUCTED OF DECORATIVE STEEL, WROUGHT IRON, BRUSHWOOD OR DECORATIVE TIMBER.

5. GATES ARE TO BE CONSISTENT IN COLOUR WITH THE FRONT FACADE OF THE HOME.

6. COLORBOND® (OR EQUIVALENT) RETURN FENCING IS PERMITTED WHERE THE DISTANCE FROM THE HOME TO THE BOUNDARY IS LESS THAN 3M, AND THE FENCE RETURN IS LOCATED AT LEAST 5M BEHIND THE BUILDING LINE. IN THIS CASE, THE COLOUR IS TO BE GREY RIDGE TO MATCH THE SIDE FENCING.

CORNER HOMESITE FENCING & FENCING ADJACENT TO OPEN SPACE

FENCING ON BOUNDARIES OF CORNER HOMESITES IS TO COMPLY WITH THE FOLLOWING PROVISIONS:

1. FRONT BOUNDARY FENCING ON CORNER HOMESITES IS TO BE IN ACCORDANCE WITH SECTION 2.12 (b) ON REAR BOUNDARIES. THE COLORBOND® (OR EQUIVALENT) FENCE IS TO STOP 2.5M BEHIND THE BUILDING SETBACK IN ACCORDANCE WITH FIGURE 2.21. FORWARD OF THIS POINT THE FENCE IS TO BE CONSTRUCTED OF FACE BRICK, RENDERED BRICK OR RENDERED BLOCKWORK WITH OR WITHOUT VISUALLY PERMEABLE PANELS OF LANDSCAPING, DECORATIVE STEEL, WROUGHT IRON, MODULAR WALLS OR DECORATIVE TIMBER.

2. FENCING THAT IS POSITIONED ALONG THE LOT BOUNDARY THAT ADJOINS A ROAD RESERVE IS PERMITTED UP TO 1.8M IN HEIGHT FOR NO MORE THAN 20% OF THE LENGTH OF THE HOMESITE ALONG THAT ROAD FRONTAGE.

3. THIS PROVISION IS MEASURED IN ACCORDANCE WITH FIGURE 2.22 AND IS ONLY PERMITTED ON ONE STREET FRONTAGE PER CORNER HOMESITE. FENCING ON CORNER HOMESITES IS NOT TO IMPED THE SIGHT DISTANCE FOR THE TRAFFIC ON ADJACENT ROADS. FENCING ABUTTING A ROAD RESERVE OR PARK IS TO BE CONSTRUCTED OF:

A. FACE BRICK, RENDERED BRICK OR RENDERED BLOCKWORK.

B. FACE BRICK, RENDERED BRICK OR RENDERED BLOCKWORK PIERS WITH INFILL PANELS OF LANDSCAPING, DECORATIVE STEEL, WROUGHT IRON, DECORATIVE TIMBER, RENDERED PANELS OR MODULAR WALLS WHERE FENCING ABUTTING A ROAD RESERVE OR A RETAINING WALL. THE OVERALL HEIGHT OF THE FENCE AND WALL IS NOT TO EXCEED 1.8M. IN THE CASE OF A RETAINING WALL HIGHER THAN 500MM, THE FENCE IS TO BE SET BACK AT LEAST 900MM FROM THE WALL.

WATER TANKS AND OTHER FIXTURES

WATER TANKS AND OTHER FIXTURES ARE TO BE LOCATED TO REDUCE THEIR VISIBILITY FROM THE STREET, AND THE FOLLOWING PROVISIONS APPLY:

1. WATER TANKS ARE TO BE LOCATED BEHIND THE FENCE RETURN.

2. SOLAR PANELS ARE NOT TO BE PLACED ON ANY PART OF THE ROOF THAT IS PROMINENT WHEN VIEWED FROM THE STREET.

3. AIR CONDITIONING CONDENSER UNITS ARE NOT TO BE VISIBLE FROM THE STREET. ROOF MOUNTED AIR CONDITIONERS ARE NOT PERMITTED.

4. SATELLITE DISHES MUST NOT BE LARGER THAN 900MM IN DIAMETER. SATELLITE DISHES MUST BE LOCATED AT THE REAR OF HOMES.

5. EXPOSED SANITARY PIPEWORK IS NOT PERMITTED ON STREET-FRONTING FACADES.

6. GAS METERS SHOULD BE SCREENED TO MINIMISE VISIBILITY FROM THE STREET.

7. WHERE POSSIBLE, DOWNPIPES SHOULD BE AVOIDED ON THE FRONT FACADE.

8. CLOTHESLINES ARE TO BE LOCATED AT THE REAR OF THE HOME OR SCREENED TO ENSURE THEY ARE NOT VISIBLE FROM THE STREET.

LETTERBOXES

THE COLOUR OF THE LETTERBOX IS TO BE CONSISTENT WITH THE FRONT FACADE OF THE HOME. NO PRIMARY/BOLD COLOURS ARE PERMITTED.

THE LETTERBOX IS TO BE CONSTRUCTED OF EITHER: STONE MASONRY GLASS REINFORCED CONCRETE (GRG) THAT HAS THE APPEARANCE OF STONE OR MASONRY.

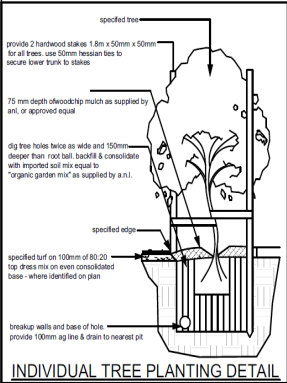
LANDSCAPING

IN ORDER TO CREATE ATTRACTIVE STREETSCAPES, IT IS IMPORTANT THAT GARDENS ARE LANDSCAPED TO A HIGH STANDARD AND THAT THE LANDSCAPING IS COMPLETED PROMPTLY AFTER THE HOME IS BUILT. THE FOLLOWING PROVISIONS RELATING TO LANDSCAPING APPLY:

1. NO MORE THAN 50% OF THE HOMESITE BETWEEN THE HOUSE AND THE STREET IS TO BE PAVED. ALL LANDSCAPING WITHIN THE FRONT AREA OF THE HOMESITE IS TO BE COMPLETED WITHIN 3 MONTHS OF THE HOME BEING OCCUPIED. THE USE OF NATIVE PLANTS THAT REQUIRE LESS WATERING IS ENCOURAGED.

2. BEDS, PAVING, SHRUBS AND TREES.

3. HOMEOWNERS ARE ENCOURAGED TO KEEP THEIR GARDENS WELL MAINTAINED. ADVICE ON THE MAINTENANCE OF GARDENS CAN BE OBTAINED FROM THE USE OF TIMBER RETAINING WALLS IN FRONT OF THE HOME IS NOT PERMITTED. THE USE OF SYNTHETIC TURF IS NOT PERMITTED IN THE FRONT GARDEN, NATURE STRIP, OR ANYWHERE THAT IS VISIBLE FROM THE STREET.



LANDSCAPE PLAN

1:200

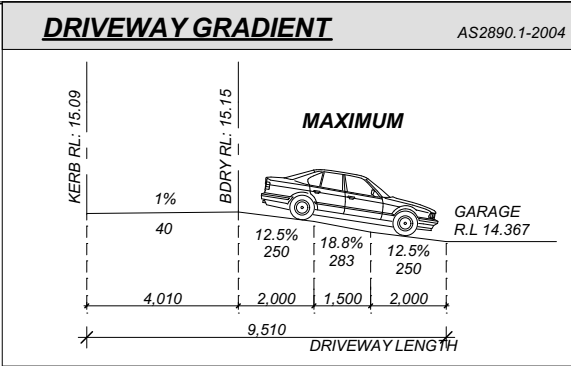
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(A) EASEMENT TO DRAIN WATER 1.5 WIDE. (DP)

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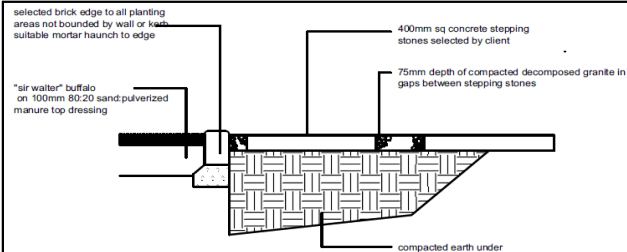


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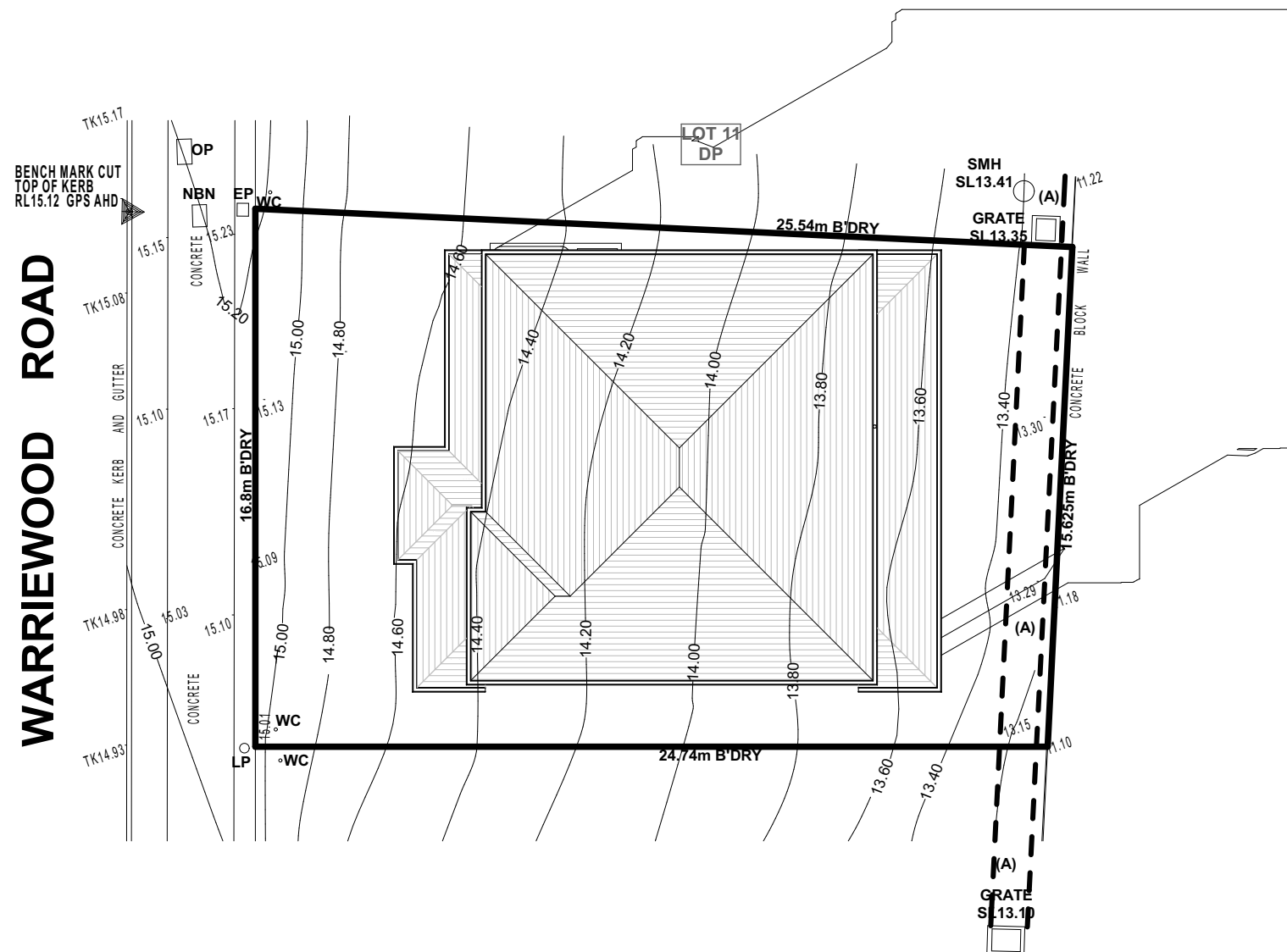
LEGEND

- STRUCTURES TO BE REMOVED
- GRASS/TURFED AREA
- PAVED AREA
- BIN STORAGE AREA
- ELAEOCARPUS RETICULATUS
- PHORMIUM TENAX
- SHRUBS - ACMENA SMITHII
- GARDEN BED
- LETTER BOX



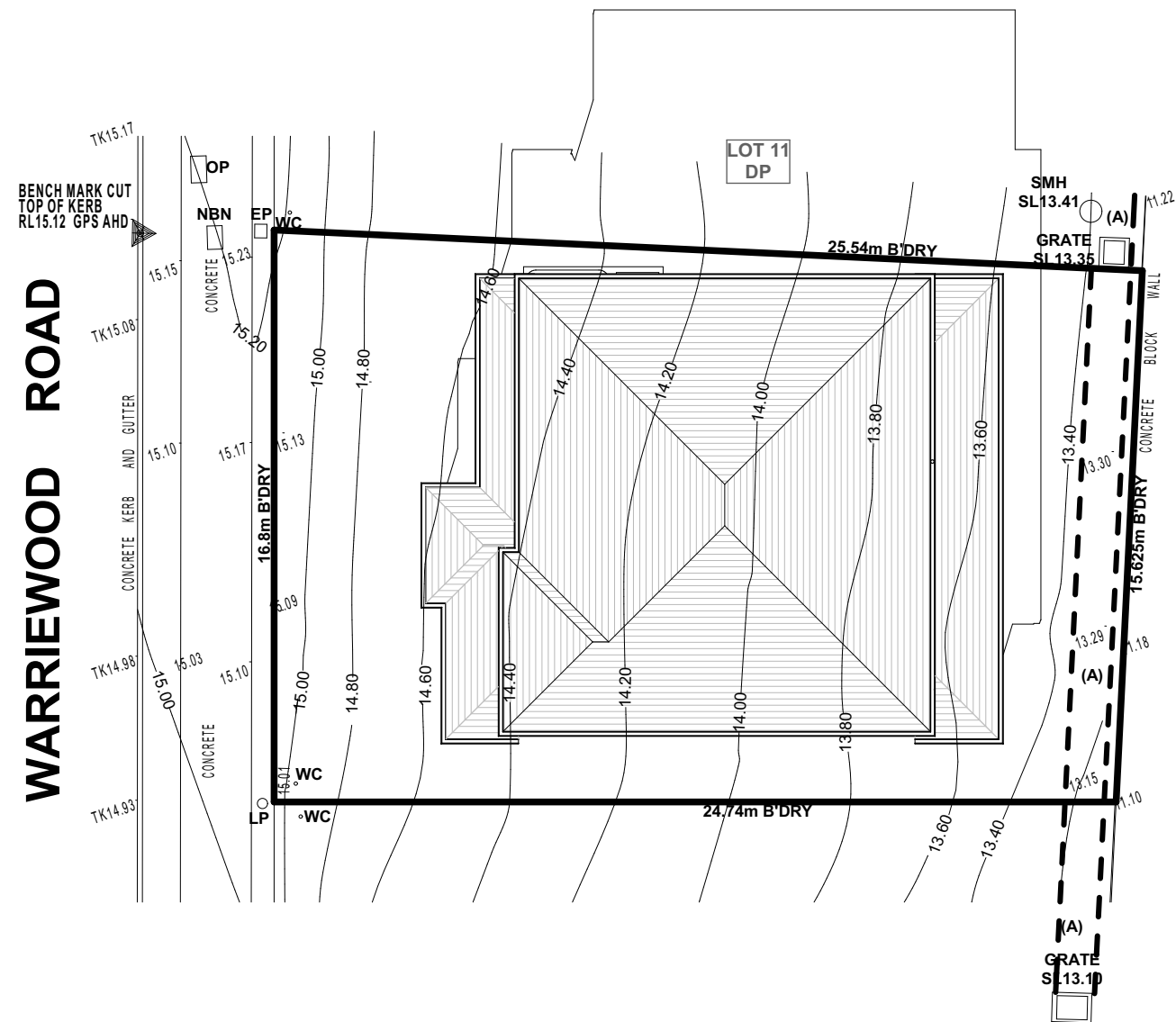
STEPPING STONES & BRICK EDGE DETAIL

CLIENT:		LODGEEMENT:	DP No:	REVISION SCHEDULE				DRAWN:	DATE:	
MR MARIN & MRS SANDRA JURLINA		DA/CC	1206507	ISSUE	DESCRIPTION	DRAWN	DATE	Mark Zeina	15.03.17	
				A	PRELIMINARY DRAWINGS	MZ	15.03.17	COUNCIL:	PITTWATER	
				B	CLIENT REQUESTED CHANGES	MZ	10.09.18	DWELLING NAME:		
ADDRESS: Lot 10 #39 WARRIEWOOD RD WARRIEWOOD 2102		*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA	C	CLIENT REQUESTED CHANGES	MZ	26.11.18	DOUBLE STOREY	PAGE NO:		
			D	SETBACK / CLIENT CHANGES	MZ	15.03.19	JOB NUMBER:			
			-	-	-	-	MRZ -17 - 161			
			-	-	-	-				
										11



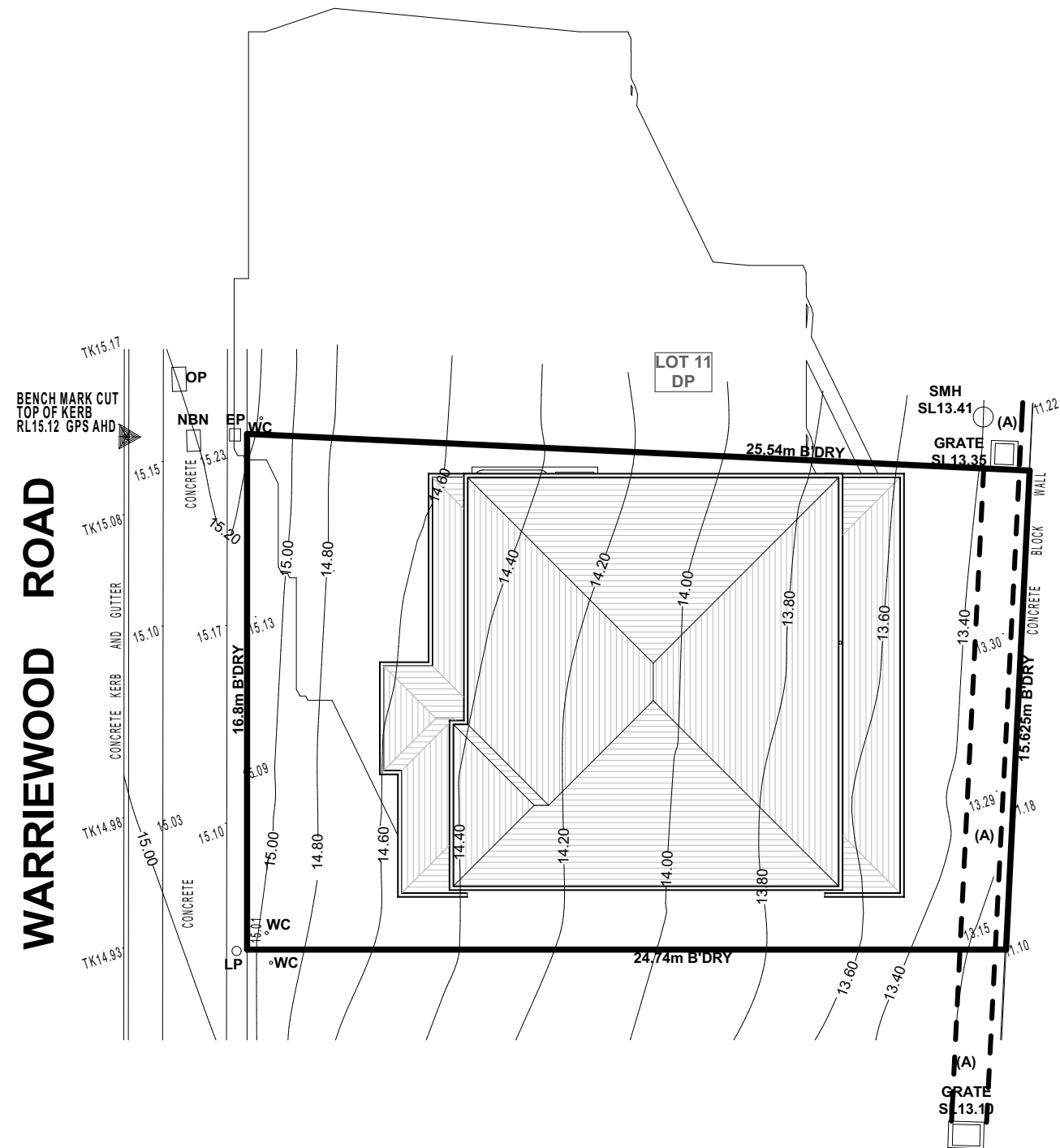
SHADOW PROJECTIONS 21st JUNE AT 9AM

	CLIENT:	LODGE ^{MENT} :	DP No:	REVISION SCHEDULE				DRAWN:	DATE:
	MR MARIN & MRS SANDRA JURLINA	DA/CC	1206507	ISSUE	DESCRIPTION	DRAWN	DATE	Mark Zeina	15.03.17
	ADDRESS: Lot 10 #39 WARRIEWOOD RD WARRIEWOOD 2102	*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA		A	PRELIMINARY DRAWINGS	MZ	15.03.17	COUNCIL:	FACADE:
				B	CLIENT REQUESTED CHANGES	MZ	10.09.18	PITTWATER	CLASSIC
				C	CLIENT REQUESTED CHANGES	MZ	26.11.18	DWELLING NAME:	PAGE NO:
				D	SETBACK / CLIENT CHANGES	MZ	15.03.19	DOUBLE STOREY	
				-	-	-	-	JOB NUMBER:	
				-	-	-	-	MRZ -17 - 161	12



SHADOW PROJECTIONS 21st JUNE AT 12PM

	CLIENT:	LODGE ^{MENT} :	DP No:	REVISION SCHEDULE				DRAWN:	DATE:
	MR MARIN & MRS SANDRA JURLINA	DA/CC	1206507	ISSUE	DESCRIPTION	DRAWN	DATE	Mark Zeina	15.03.17
	ADDRESS: Lot 10 #39 WARRIEWOOD RD WARRIEWOOD 2102	*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA		A	PRELIMINARY DRAWINGS	MZ	15.03.17	COUNCIL:	FACADE:
				B	CLIENT REQUESTED CHANGES	MZ	10.09.18	PITTWATER	CLASSIC
				C	CLIENT REQUESTED CHANGES	MZ	26.11.18	DWELLING NAME:	PAGE NO:
				D	SETBACK / CLIENT CHANGES	MZ	15.03.19	DOUBLE STOREY	
				-	-	-	-	JOB NUMBER:	
				-	-	-	-	MRZ -17 - 161	13



SHADOW PROJECTIONS 21st JUNE AT 3PM

	CLIENT:	LODGE ^{MENT} :	DP No:	REVISION SCHEDULE				DRAWN:	DATE:
	MR MARIN & MRS SANDRA JUR ^{LINA}	DA/CC	1206507	ISSUE	DESCRIPTION	DRAWN	DATE	Mark Zeina	15.03.17
	ADDRESS: Lot 10 #39 WAR ^{RIE} WOOD RD WAR ^{RIE} WOOD 2102	*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JUR ^{LINA}		A	PRELIMINARY DRAWINGS	MZ	15.03.17	COUNCIL:	FACADE:
				B	CLIENT REQUESTED CHANGES	MZ	10.09.18	PITTWATER	CLASSIC
				C	CLIENT REQUESTED CHANGES	MZ	26.11.18	DWELLING NAME:	PAGE NO:
				D	SETBACK / CLIENT CHANGES	MZ	15.03.19	DOUBLE STOREY	
				-	-	-	-	JOB NUMBER:	
				-	-	-	-	MRZ -17 - 161	14

Single Dwelling

Certificate number: 970967S_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 10 April 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the developmentthe cold water tap that supplies each clothes washer in the developmentat least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔ ✔ ✔	✔ ✔ ✔
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">at least 4 of the living / dining rooms;the kitchen;all bathrooms/toilets;the laundry;all hallways;		✔ ✔ ✔ ✔ ✔	✔ ✔ ✔ ✔ ✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

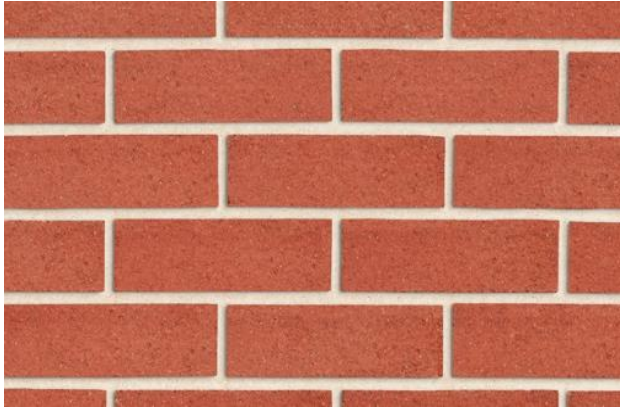
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The cooling system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
The heating system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 4 of the bedrooms / study;		✔	✔

	CLIENT:	LODGE	DP No:	REVISION SCHEDULE				DRAWN:	DATE:
	MR MARIN & MRS SANDRA JURLINA	DA/CC	1206507	ISSUE	DESCRIPTION	DRAWN	DATE	Mark Zeina	15.03.17
	ADDRESS: Lot 10 #39 WARRIEWOOD RD WARRIEWOOD 2102	*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF MR MARIN JURLINA	A	PRELIMINARY DRAWINGS	MZ	15.03.17	COUNCIL:	15	
			B	CLIENT REQUESTED CHANGES	MZ	10.09.18	PITTWATER		
			C	CLIENT REQUESTED CHANGES	MZ	26.11.18	DWELLING NAME:		
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			-	-	-	-	JOB NUMBER:		
			-	-	-	-	MRZ -17 - 161		

SCHEDULE OF FINISHES

Lot 10 #39 Warriewood Road, Warriewood 2102

Brick Work – PGH McGarvie Red



Render Colour – **Light Grey**



Roof – **Wunderlich- Titan Gloss**



Windows – Surf Mist



Garage Doors –Surfmist



Doors - TAJ Colour Hume Door (Frosted Glass)



Guttering, Fascia & Downpipes – Monument



Timber posts - Merbau posts