

Alterations and Additions

Certificate number: A1776082_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 25 March 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



DRAWING LIST - DA

- DA 01 BASIX CERTIFICATE
- DA 02 SITE ANALYSIS
- DA 03 DEMOLITION EXG UNIT 4 FLOOR PLAN (LEVEL 3)
- DA 04 DEMOLITION EXG UNIT 7 FLOOR PLAN (LEVEL 4)
- DA 05 DEMOLITION EXG ROOF PLAN (LEVEL 5)
- DA 06 PROPOSED SITE PLAN
- DA 07 PROPOSED LOWER FLOOR PLAN (LEVEL 3)
- DA 08 PROPOSED MIDDLE FLOOR PLAN (LEVEL 4)
- DA 09 PROPOSED UPPER FLOOR PLAN (LEVEL 5)
- DA 10 PROPOSED ROOF PLAN
- DA 11 PROPOSED SOUTH ELEVATION
- DA 12 PROPOSED NORTH ELEVATION
- DA 13 PROPOSED EAST ELEVATION
- DA 14 PROPOSED WEST ELEVATION
- DA 15 PROPOSED SECTION A-A
- DA 16 PROPOSED WINDOW SCHEDULE
- DA 17 PROPOSED EXTERNAL FINISHES
- DA 18 SHADOW DIAGRAMS

GENERAL NOTES:

To be read in conjunction with the following other consultant documentation:

- * Statement of Environmental Effects by Boston Blyth Fleming PTY LTD
- * Detailed topographical survey by CMS Surveyors PTY LTD
- * Civil Engineering documentation by NB Consulting Engineers
- * Basix Certificate by Efficient Living
- * Quantity Surveying by Duotax
- * Internal Survey Drawing by VMark Survey PTY LTD
- * Geotechnical report by Crozier Geotechnical Consultants

Project address	
Project name	UNITS 4&7/1A GREYCLIFFE STREET, QUEENSLIFF_02
Street address	4 & 7 / 1A GREYCLIFFE STREET - QUEENSLIFF 2096
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan -
Lot number	B
Section number	367566
Project type	
Dwelling type	Dwelling above existing building
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more.
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Efficient Living Pty Ltd	
ABN (if applicable): 82116346082	



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1A GREYCLIFFE STREET, QUEENSLIFF, NSW

DEVELOPMENT APPLICATION SET

hobbs jamieson architecture march 2025

SITE AREA	713.9 m2	202.3m2						
LEP CONTROLS	WARRINGAH LEP 2011	WARRINGAH LEP 2011	COMPLIANCE SUMMARY					
Zone:	R2 Low density residential	RE1 Public Recreation	EXISTING DEVELOPMENT		COMPLIES	PROPOSED DEVELOPMENT		COMPLIES
Floor Space Ratio:	N/A	-						
Building Height	8.5m maximum	N/A	Ex max height:	12.4m	NO	Max. height:	15.25m	
Heritage	N/A	N/A						
Acid Sulphite:	Class 5	Class 5						
Minimum Lot Size:	450m2 (green)	-						
Foreshore Scenic Protection:	-	-						
Bushfire Prone Land:	-	-						
Terrestrial Biodiversity:	-	-						
Flood Planning Level:	Medium Risk Flood Planning Precinct	Low/ Medium and High Risk Flood Planning Precinct						
DCP CONTROLS DEVELOPMENT CONTROL PLAN								
Landscaped Open Space & Bushland Setting	min 40% site = 285.6m2	-	Ex TOS:	166.9 m2	NO	Prop TOS:	Unchanged	
Flood Planning precinct	Medium Risk	Low, Medium & High Risk						
Setbacks:	Front - 6.5m Rear - 6m Side - 0.9m	- - -	Front: Rear: Side:	4.33m 12.23m 1.53m	NO YES TBC	Front: Rear: Side:	Unchanged Unchanged Unchanged	
Max Wall height:	7.2m	-	Exg Wall Height	9.64m	NO	Prop wall height	Unchanged	



aerial map - site outlined in red. image from google maps

BASIX[®] Certificate
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Name / Company Name: Efficient Living Pty Ltd	
ABN (if applicable): 82116348082	

BASIX Certificate number A1776082_02

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light emitting diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

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BASIX Certificate number A1776082_02

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
floor above existing dwelling or building:	nil	N/A	
external wall: cavity brick	nil		
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorbance > 0.70)	

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BASIX Certificate number A1776082_02

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clearer/gap/clear glazing, or toner/star gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

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BASIX Certificate number A1776082_02

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	W	2.5	5.37	12.39	projection/ height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W2	S	5.8	0	0	eaves/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W3	S	7.1	0	0	eaves/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	S	5.6	0	0	eaves/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	E	3.1	33.52	9.24	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W6	E	1	32.98	9.24	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W7	W	1.2	2.54	12.39	eaves/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W8	S	1.6	0	0	eaves/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W9	S	11.7	0	0	eaves/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W10	S	2.6	0	0	eaves/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W11	E	2.1	30.37	9.24	eaves/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W12	E	2.3	30.56	9.24	eaves/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W13	E	1.2	30.17	9.24	eaves/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W14	W	3.3	0	0	projection/ height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W15	S	10.7	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W16	E	3.3	27.57	10.39	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

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Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:					✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					✓	✓
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type			
SK1	0.91	no shading	timber, low-E internal/argon (Biscuit external, (or U-value: 2.9, SHGC: 0.456)			
SK2	0.91	no shading	timber, low-E internal/argon (Biscuit external, (or U-value: 2.9, SHGC: 0.456)			

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BASIX Certificate number A1776082_02

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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Notes:
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Rev Date Details
A 24/03/25 ISSUE FOR DA

ALTERATIONS & ADDITIONS

Units 4 & 7 / 1A Greycliffe Street,
Queenscliff NSW
Lot B DP 367566 & Lot 1 DP1171295

PROJECT STAGE

Development Application

CLIENT

Byron Burke & Tina Kamyab

DOCUMENT TITLE

BASIX Certificate

DOCUMENT NUMBER

DA 01

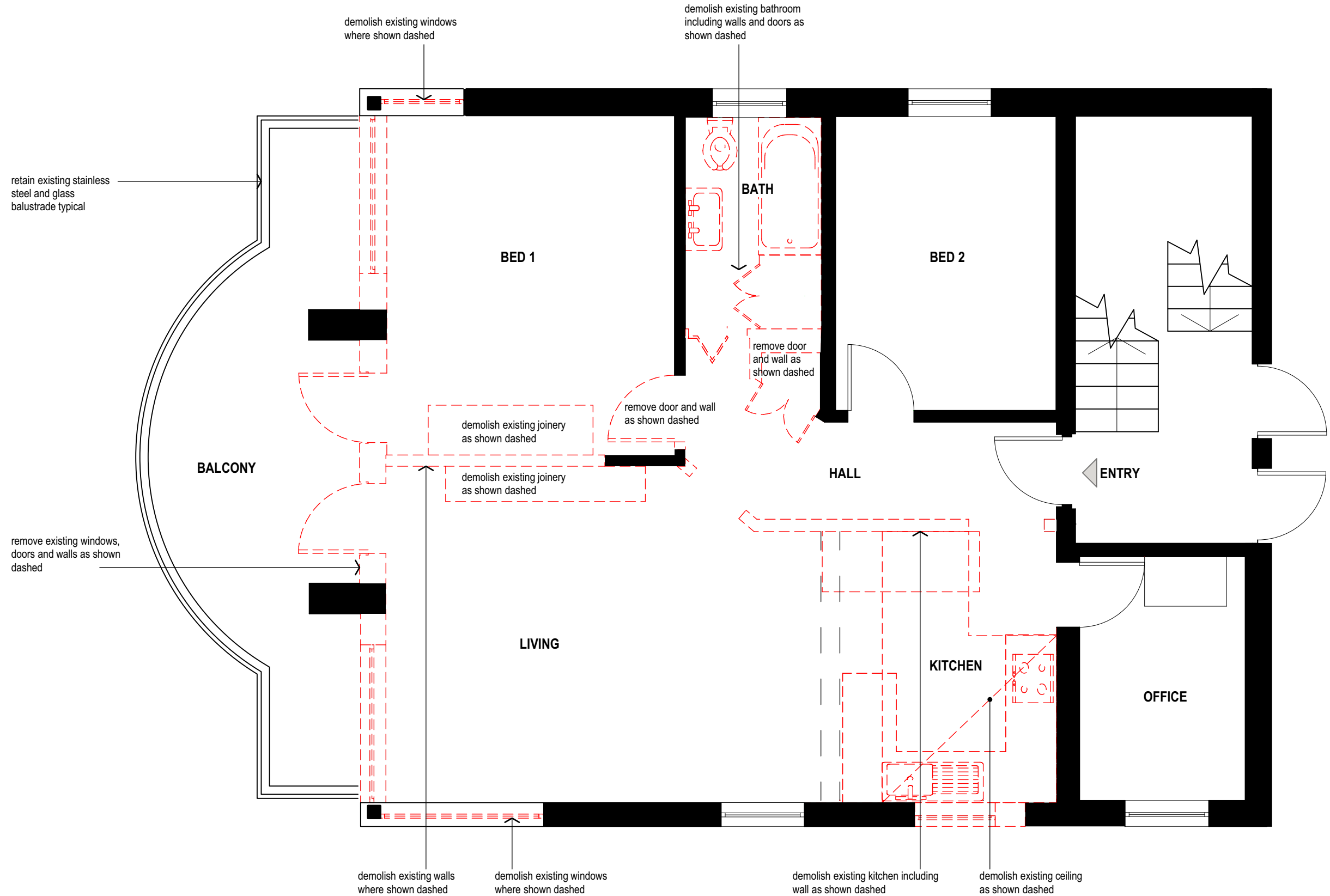
SCALE NTS - Not To Scale

JOB 24/003

REVISION

A

DRAWN AH / VC



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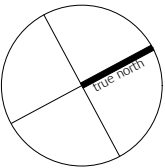
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Rev	Date	Details
A	24/03/25	ISSUE FOR DA

Details Legend

- | | |
|--|---------------------------|
| | Existing walls |
| | Existing to be demolished |
| | New walls |
| | New works |



ALTERATIONS & ADDITIONS
Units 4 & 7 / 1A Greycliffe Street,
Queenscliff NSW
Lot B DP 367566 & Lot 1 DP1171295
PROJECT STAGE
Development Application
CLIENT
Byron Burke & Tina Kamyab

DOCUMENT TITLE	
Demolition Exg Unit 4 Floor Plan (Level 3)	
DOCUMENT NUMBER	REVISION
DA 03	A
SCALE 1:50 @ A3	
JOB 24/003	DRAWN AH / VC

existing wall & corner post structure to be retained typical in accordance with engineers details

demolish existing windows where shown dashed

demolish existing bathroom complete including walls and doors shown dashed

retain existing stainless steel and glass balustrade typical

demolish existing kitchen complete as shown dashed

BALCONY

KITCHEN

BATH

BED 1

ENTRY

HALL

remove existing windows, doors and walls as shown dashed

LIVING

demolish existing joinery as shown dashed

BED 2

existing wall & corner post structure to be retained typical in accordance with engineers details

demolish existing windows and wall under as shown dashed

form penetration in existing wall for new window opening as shown dashed

demolish existing walls and door as shown dashed

demolish existing floor structure as required to suit proposed new internal stair shown dashed

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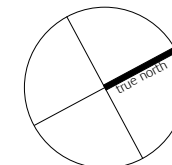
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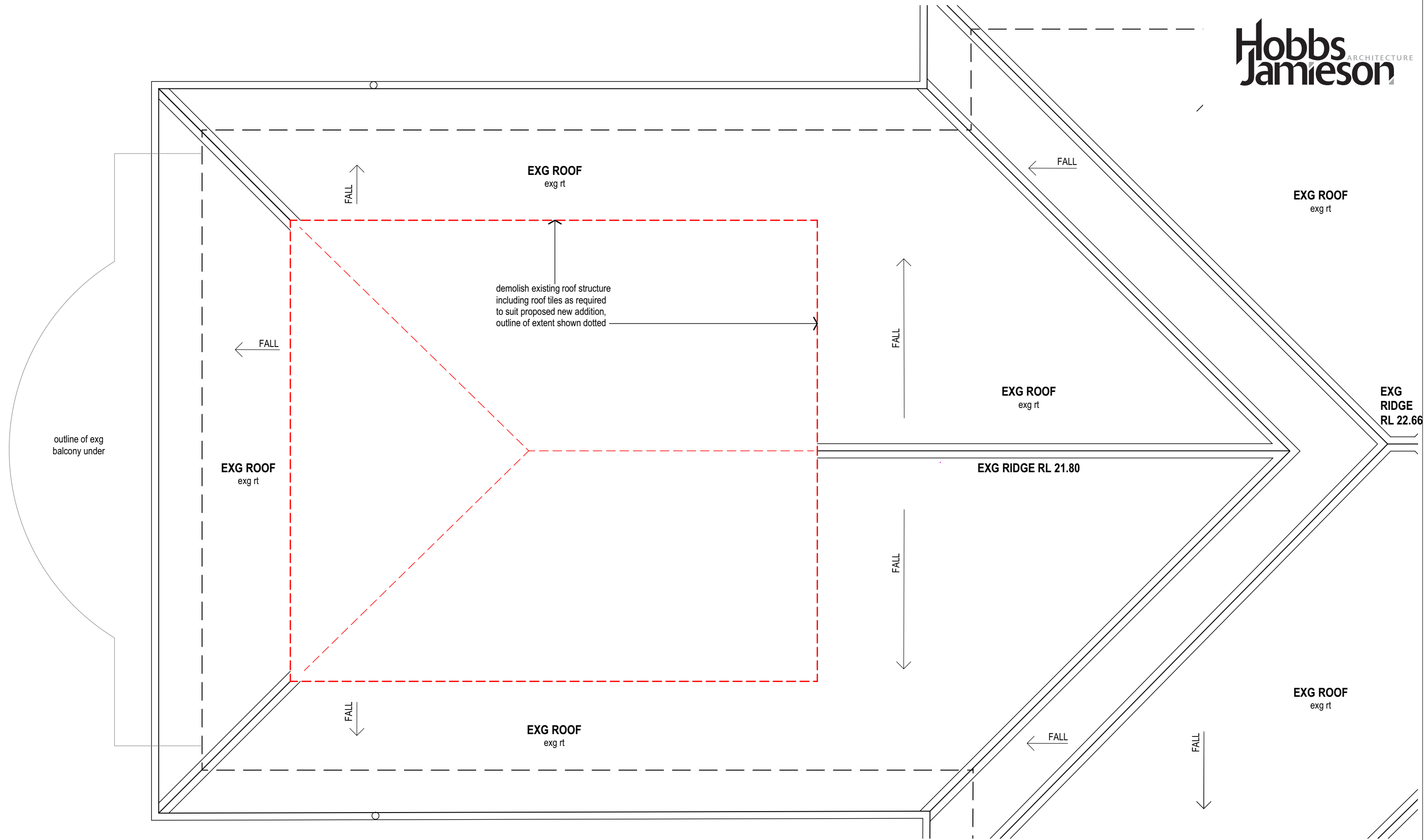
Details Legend

- | | |
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| | New walls |
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ALTERATIONS & ADDITIONS
Units 4 & 7 / 1A Greycliffe Street,
Queenscliff NSW
Lot B DP 367566 & Lot 1 DP1171295
PROJECT STAGE
Development Application
CLIENT
Byron Burke & Tina Kamyab

DOCUMENT TITLE	
Demolition Exg Unit 7 Floor Plan (Level 4)	
DOCUMENT NUMBER	REVISION
DA 04	A
SCALE 1:50 @ A3	
JOB 24/003	DRAWN AH / VC



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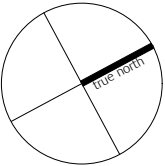
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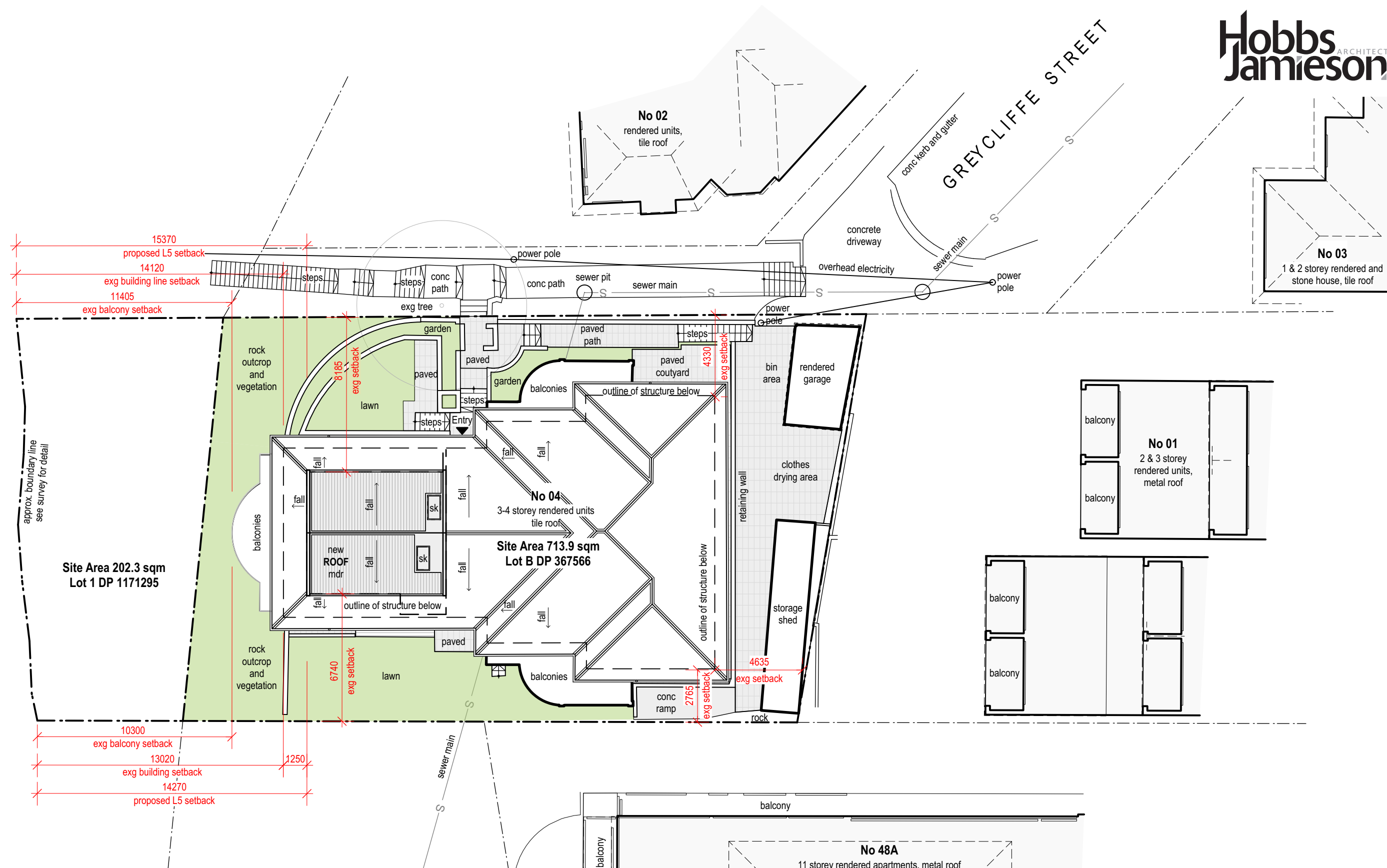
Details Legend

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|--|---------------------------|
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| | New works |



ALTERATIONS & ADDITIONS
Units 4 & 7 / 1A Greycliffe Street,
Queenscliff NSW
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PROJECT STAGE
Development Application
CLIENT
Byron Burke & Tina Kamyab

DOCUMENT TITLE	
Demolition Exg Roof Plan (Level 5)	
DOCUMENT NUMBER	REVISION
DA 05	A
SCALE 1:50 @ A3	
JOB 24/003	DRAWN AH / VC



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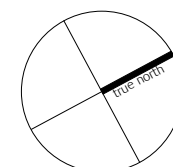
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Details Legend

	existing walls
	existing to be demolished
	new walls
	new works

Abbreviations

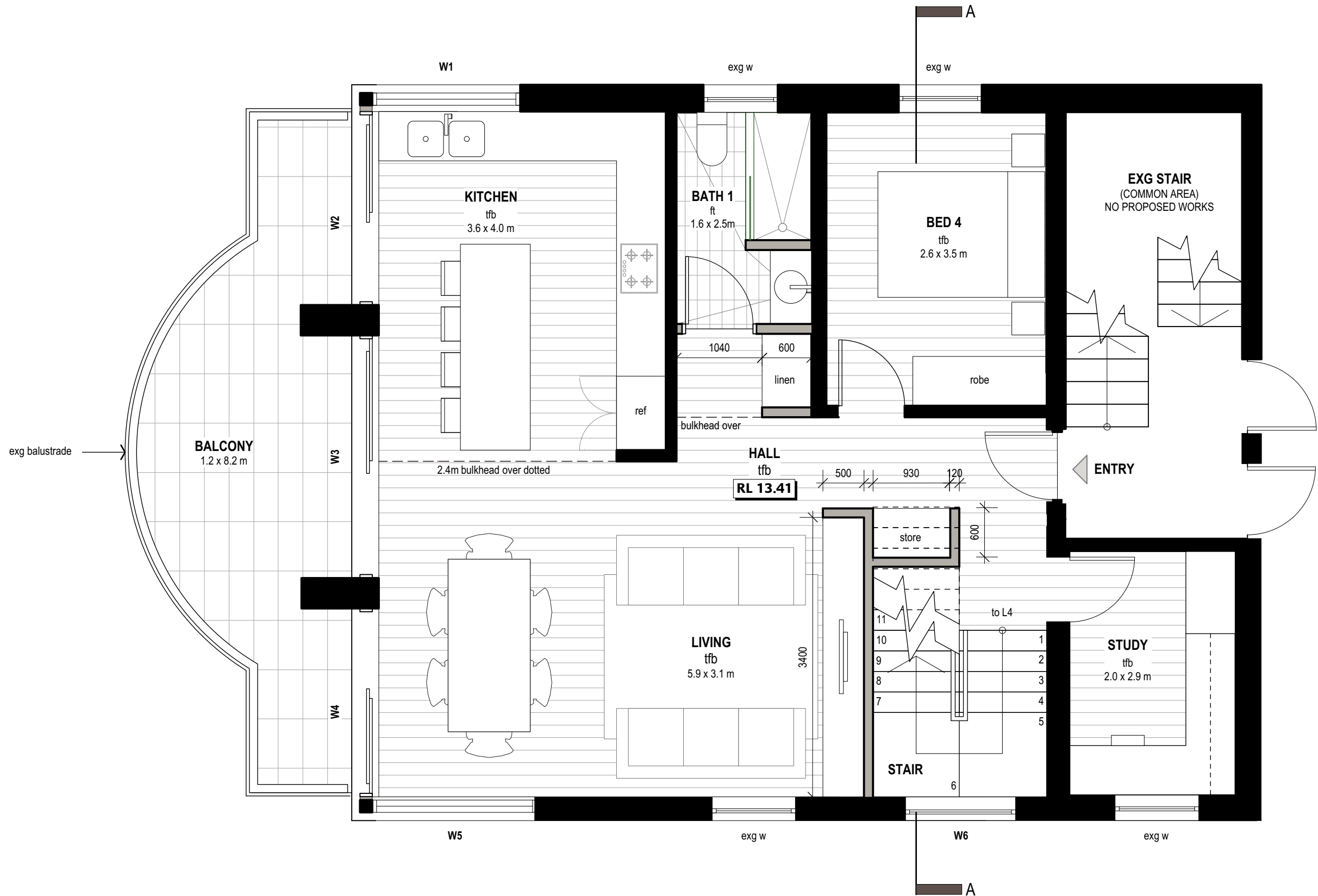
bal	balustrade	pc	polycarbonate
ft	floor tile	ps	privacy screen
cpt	carpet	mas	masonry
DP	downpipe	rv	roof vent
exg	existing	SK #	skylight
lc	lightweight cladding	tfb	timber floor boards
mdr	metal deck roof	w #	window #
rt	roof tile		



ALTERATIONS & ADDITIONS
Units 4 & 7 / 1A Greycliffe Street,
Queenscliff NSW
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PROJECT STAGE
Development Application
CLIENT
Byron Burke & Tina Kamyab

DOCUMENT TITLE
Proposed Site Plan

DOCUMENT NUMBER **REVISION**
DA 06 **A**
SCALE 1:200 @ A3
JOB 24/003 **DRAWN** AH / VC



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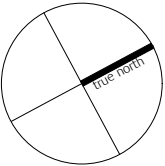
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	new walls
	new works

Abbreviations

bal	balustrade	pc	polycarbonate
ft	floor tile	ps	privacy screen
cpt	carpet	mas	masonry
DP	downpipe	rv	roof vent
exg	existing	SK #	skylight
lc	lightweight cladding	tfb	timber floor boards
mdr	metal deck roof	w #	window #
rt	roof tile		



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Queenscliff NSW
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DOCUMENT TITLE

**Proposed Lower Floor Plan
(Level 3)**

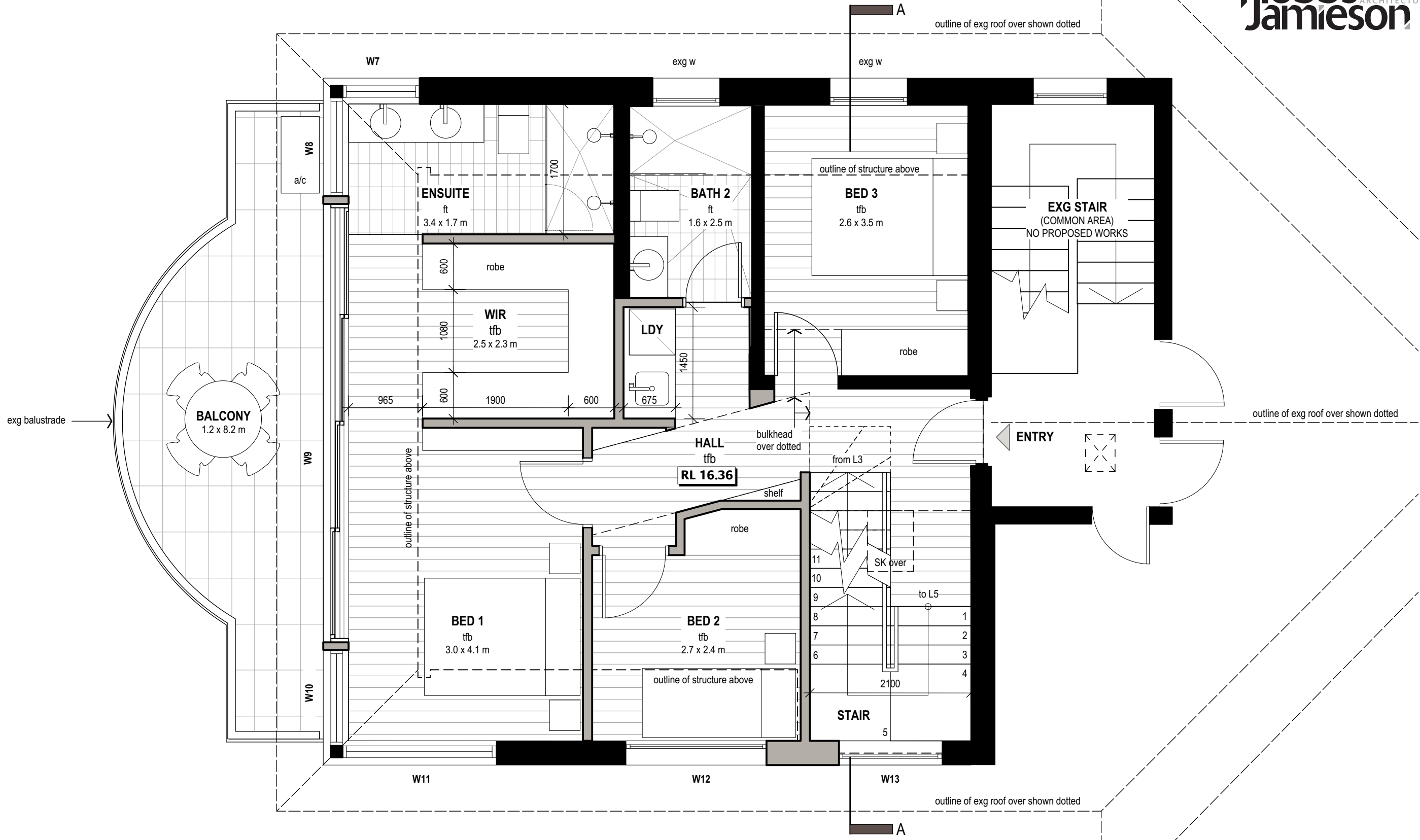
DOCUMENT NUMBER REVISION

DA 07

SCALE 1:50 @ A3

JOB 24/003 DRAWN AH / VC

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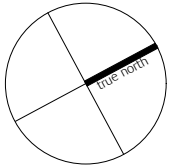
Rev Date Details
A 24/03/25 ISSUE FOR DA

Details Legend

	existing walls
	existing to be demolished
	new walls
	new works

Abbreviations

bal	balustrade	pc	polycarbonate
ft	floor tile	ps	privacy screen
cpt	carpet	mas	masonry
DP	downpipe	rv	roof vent
exg	existing	SK #	skylight
lc	lightweight cladding	tfb	timber floor boards
mdr	metal deck roof	w #	window #
rt	roof tile		



ALTERATIONS & ADDITIONS
Units 4 & 7 / 1A Greycliffe Street,
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Lot B DP 367566 & Lot 1 DP1171295
PROJECT STAGE
Development Application
CLIENT
Byron Burke & Tina Kamyab

DOCUMENT TITLE
**Proposed Middle Floor Plan
(Level 4)**
DOCUMENT NUMBER
DA 08
SCALE 1:50 @ A3
JOB 24/003
REVISION
A
DRAWN AH / VC

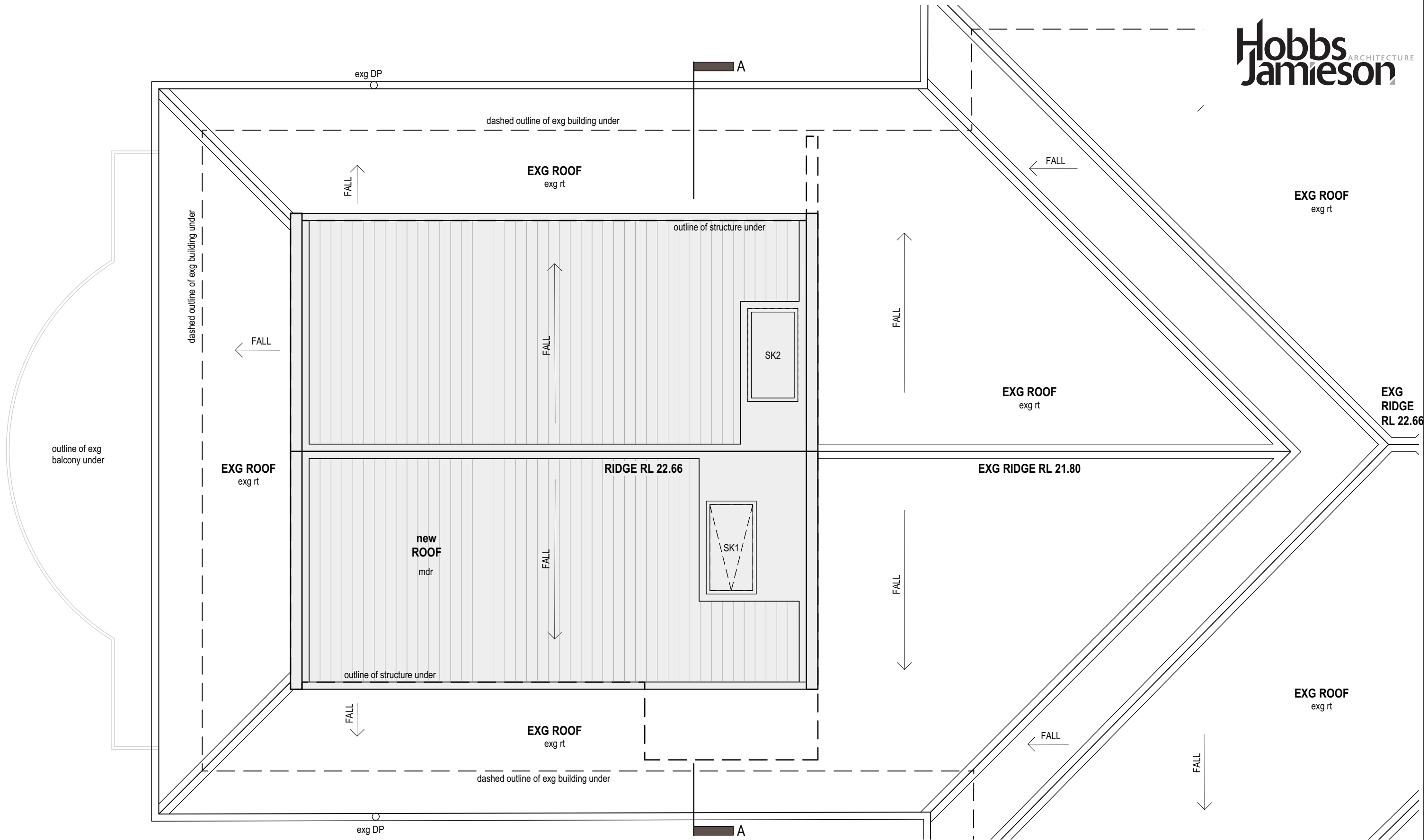


DOCUMENT TITLE
**Proposed Upper Floor Plan
(Level 5)**

DOCUMENT NUMBER REVISION
DA 09 **A**

SCALE 1:50 @ A3

JOB 24/003 DRAWN AH / VC



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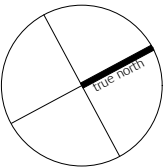
Rev Date Details
A 24/03/25 ISSUE FOR DA

Details Legend

	existing walls
	existing to be demolished
	new walls
	new works

Abbreviations

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ALTERATIONS & ADDITIONS
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CLIENT
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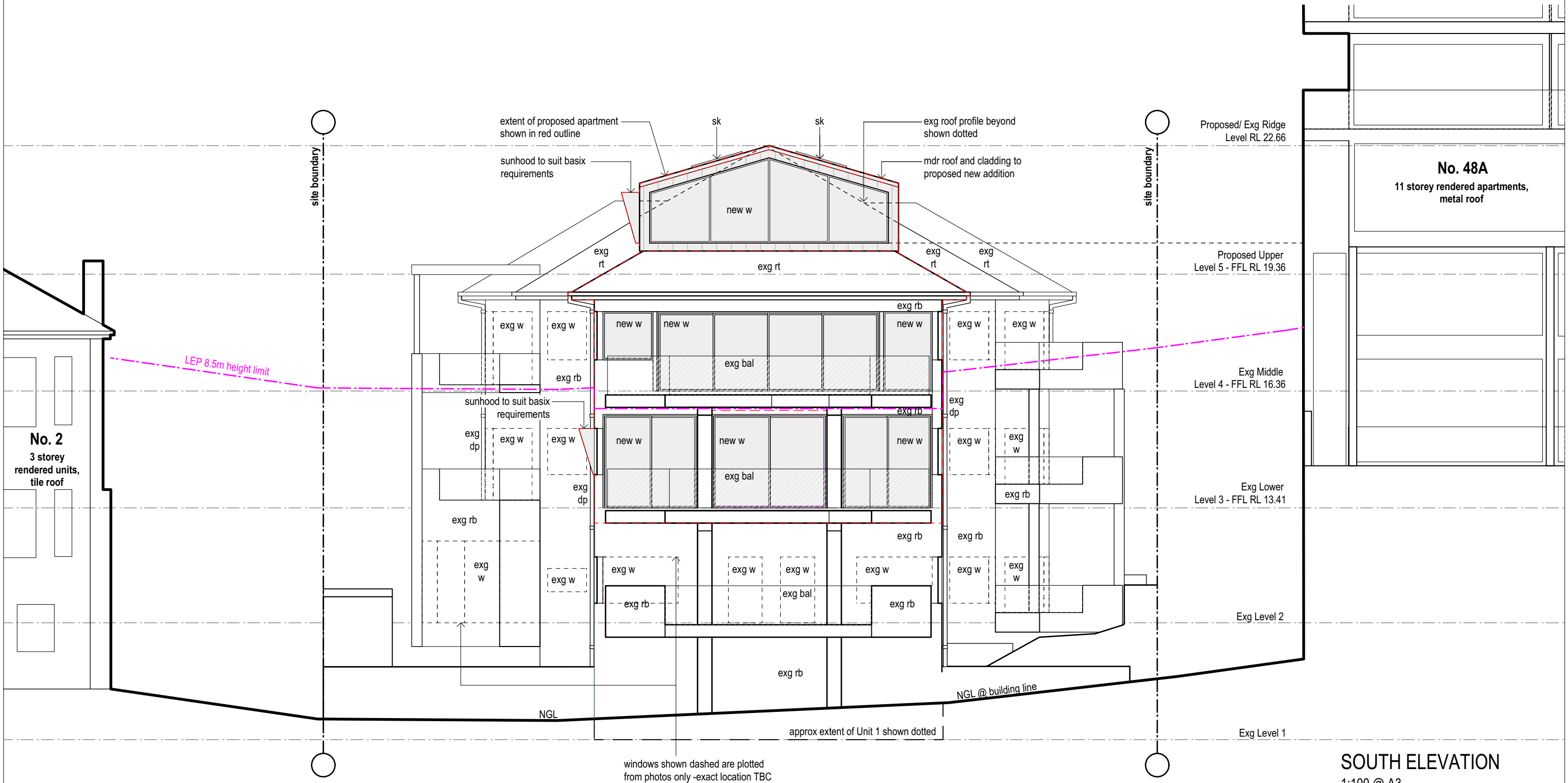
DOCUMENT TITLE
Proposed Roof Plan

DOCUMENT NUMBER REVISION

DA 10

SCALE 1:50 @ A3

JOB 24/003 DRAWN AH / VC



SOUTH ELEVATION
1:100 @ A3

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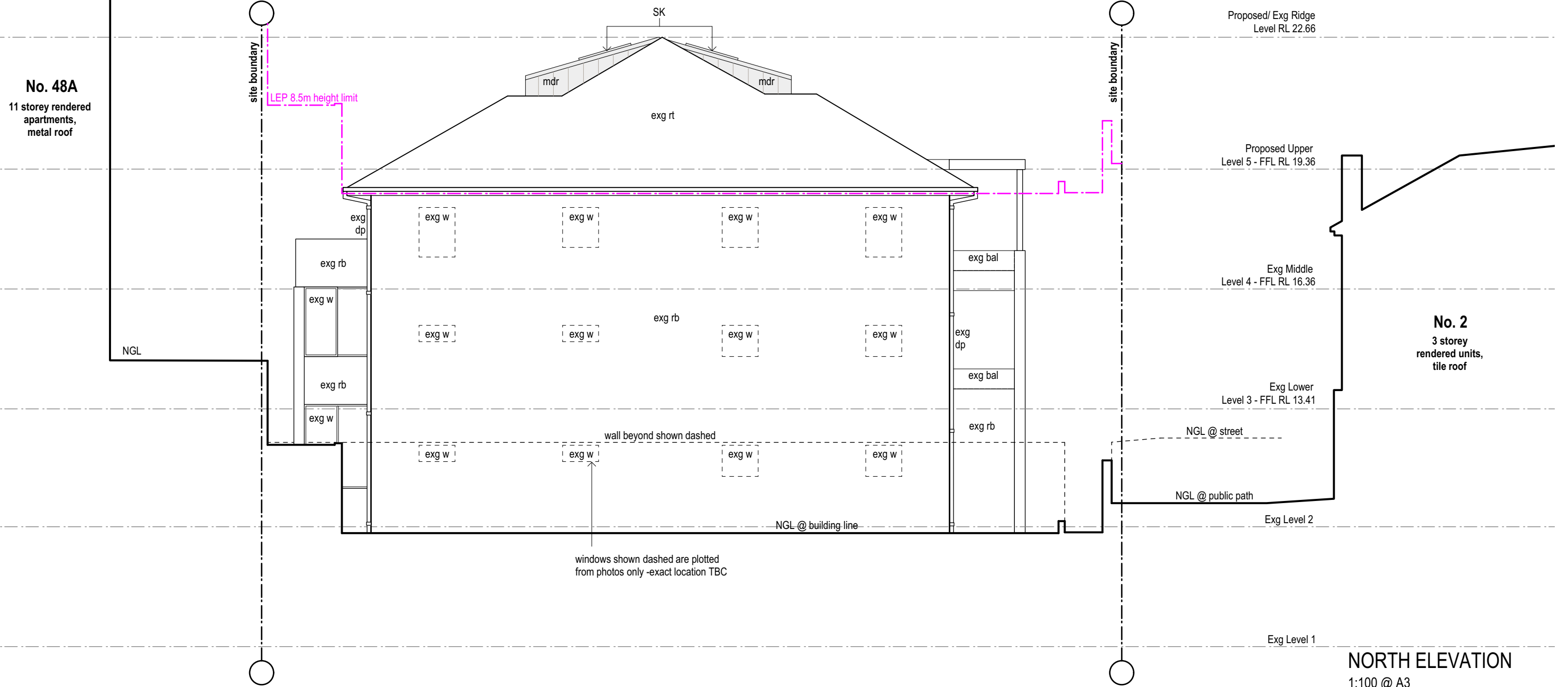
Abbreviations

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DOCUMENT TITLE
Proposed South Elevation

DOCUMENT NUMBER	REVISION
DA 11	A
SCALE 1:100 @ A3	
JOB 24/003	DRAWN AH / VC



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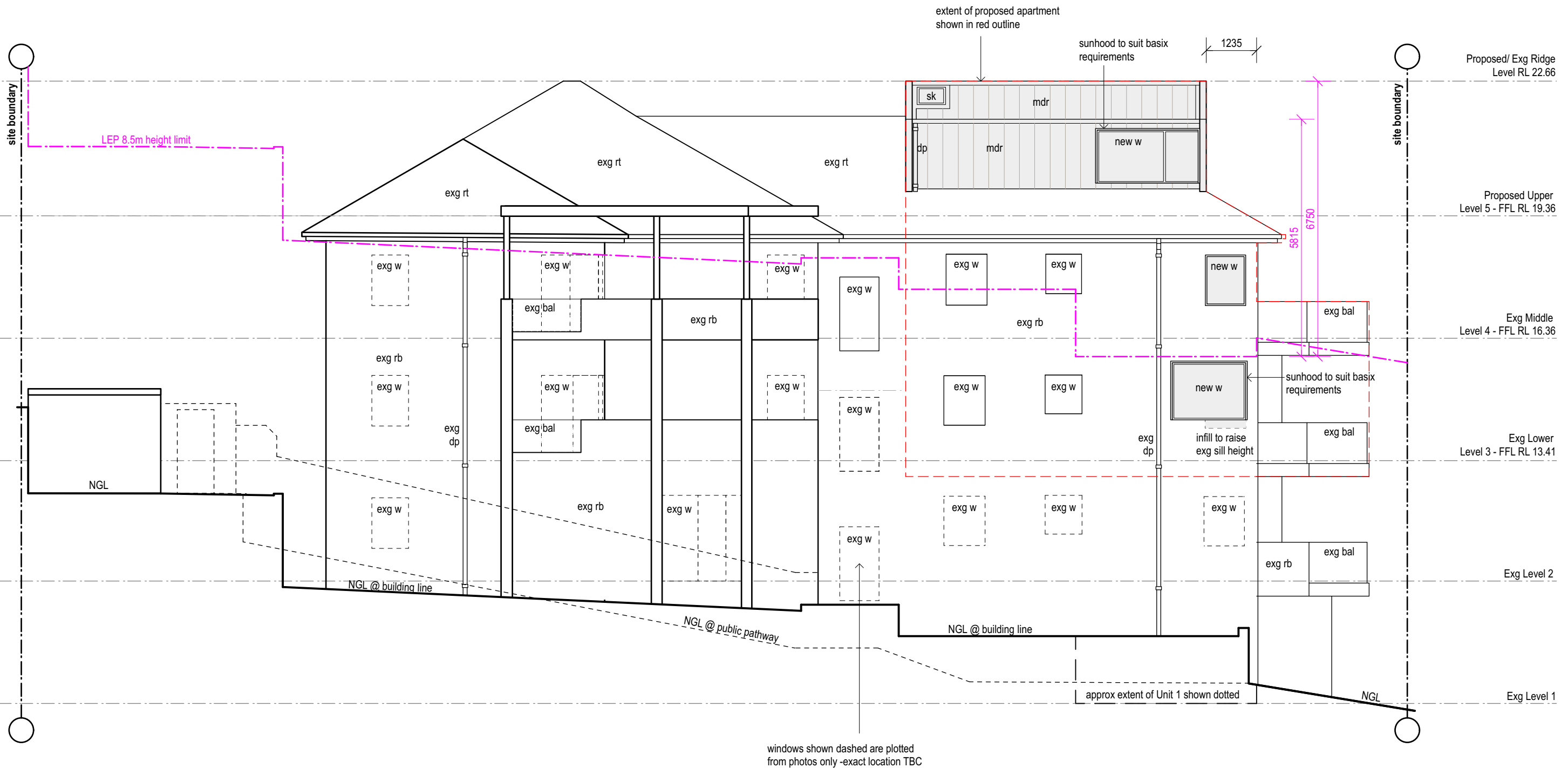
ALTERATIONS & ADDITIONS
Units 4 & 7 / 1A Greycliffe Street,
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Lot B DP 367566 & Lot 1 DP1171295
PROJECT STAGE
Development Application
CLIENT
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DOCUMENT TITLE
Proposed North Elevation

DOCUMENT NUMBER REVISION
DA 12 A
SCALE 1:100 @ A3
JOB 24/003 DRAWN AH / VC



JOB 24/003 DRAWN AH / VC



WEST ELEVATION

1:100 @ A3

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ALTERATIONS & ADDITIONS

Units 4 & 7 / 1A Greycliffe Street,
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Lot B DP 367566 & Lot 1 DP1171295

PROJECT STAGE

Development Application

CLIENT

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DOCUMENT TITLE

Proposed West Elevation

DOCUMENT NUMBER

DA 14

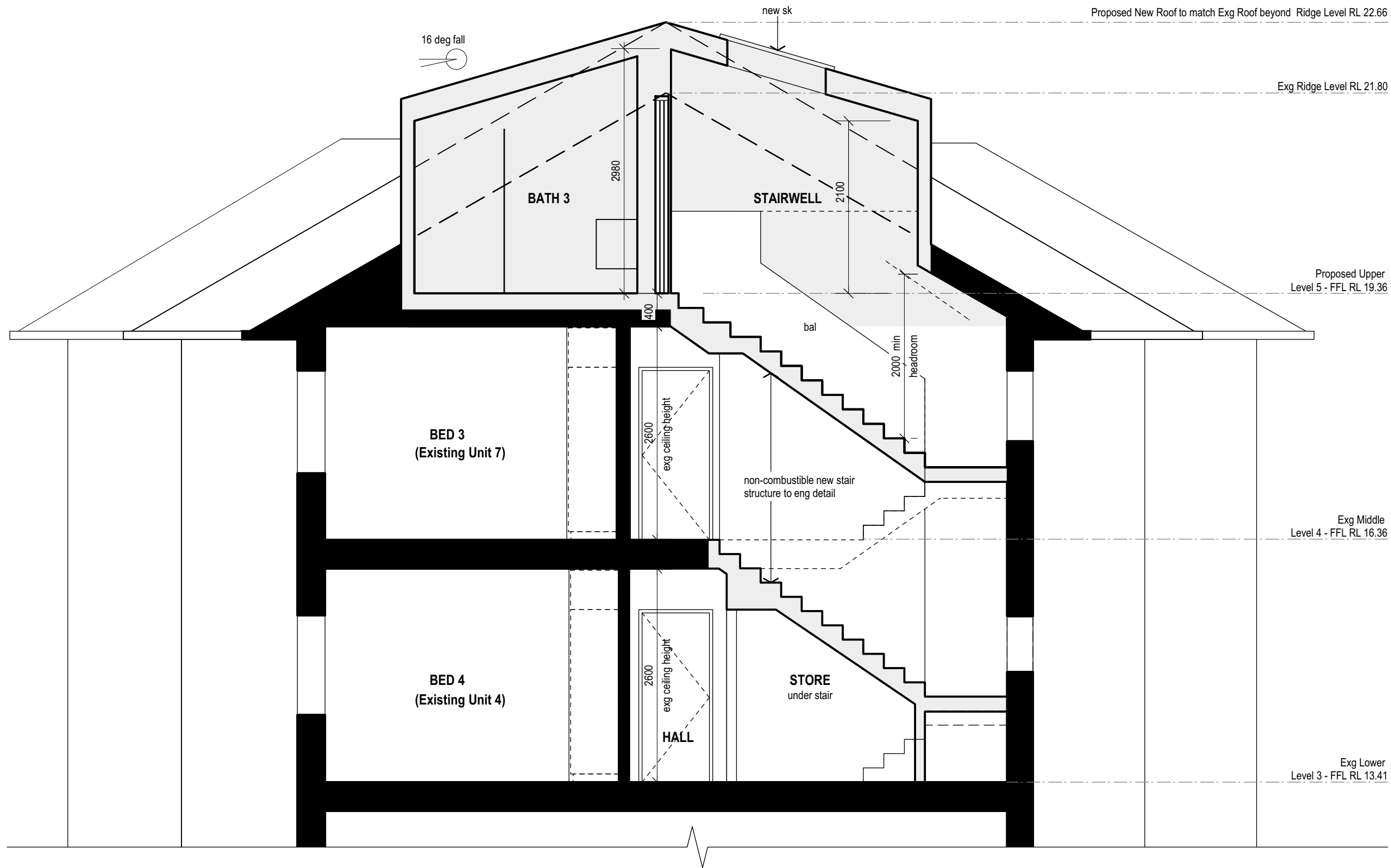
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JOB 24/003

REVISION

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ALTERATIONS & ADDITIONS

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Development Application

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DOCUMENT TITLE

Proposed Section A-A

DOCUMENT NUMBER

DA 15

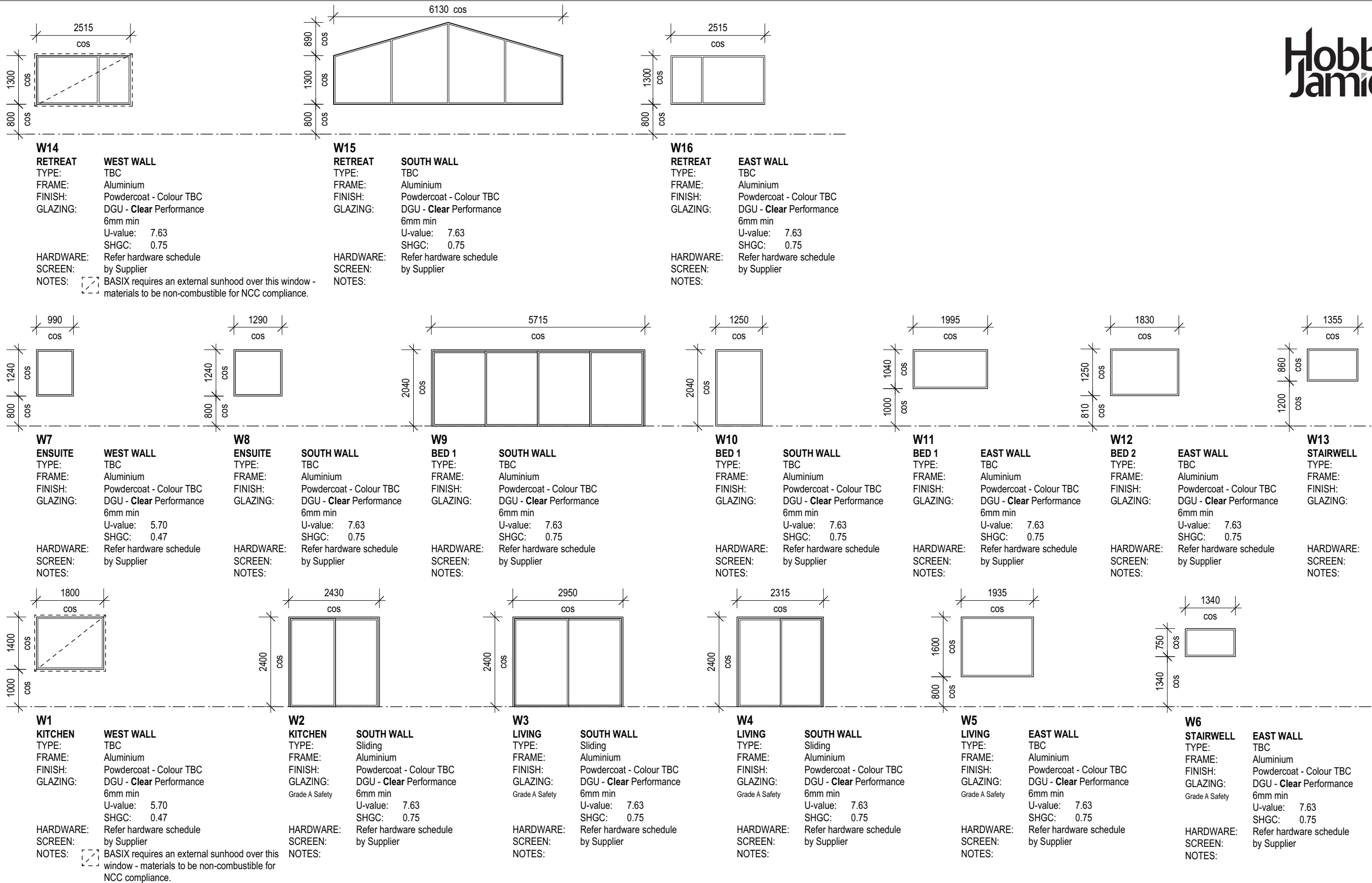
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JOB 24/003

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Development Application
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DOCUMENT TITLE
Proposed Window Schedule
DOCUMENT NUMBER
DA 16
SCALE 1:100 @ A3
JOB 24/003
REVISION
A
DRAWN AH / VC

Proposed Schedule of External Materials & Finishes

1. Metal deck roofing (mdr)
Profile: TBC
Colour: TBC
2. Existing roof tile (rt)
3. New aluminium framed external windows and doors
Finish: Paint, Colour: TBC
4. New Skylight (sk)
5. Existing rendered masonry wall



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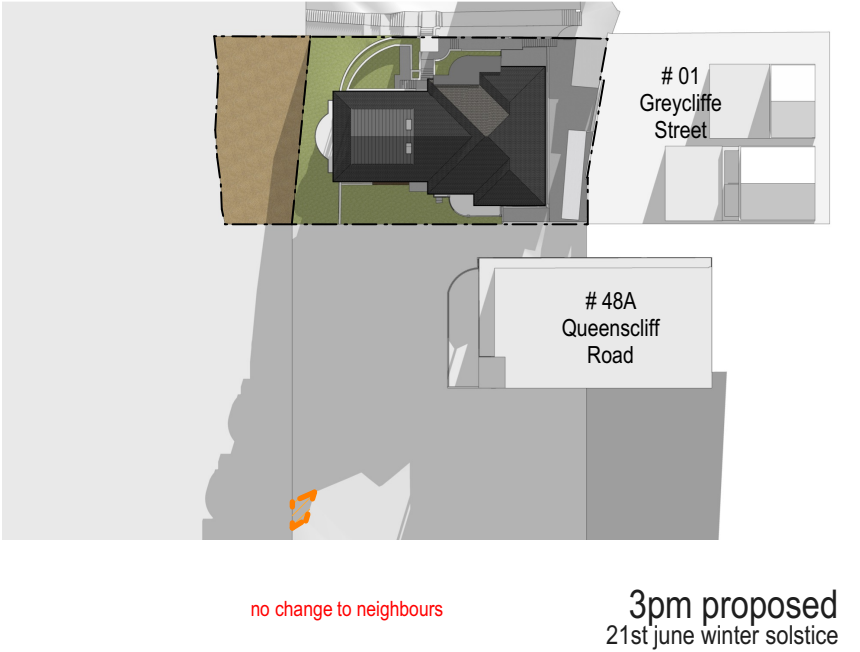
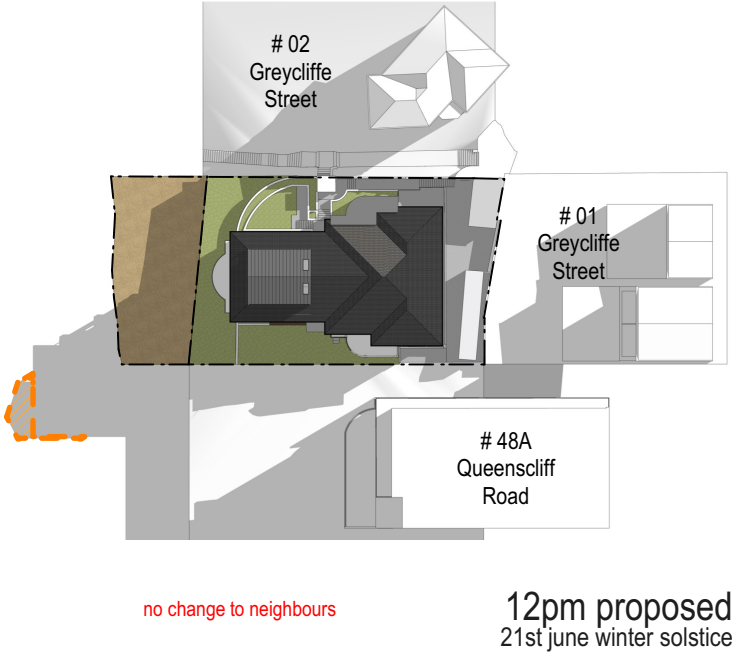
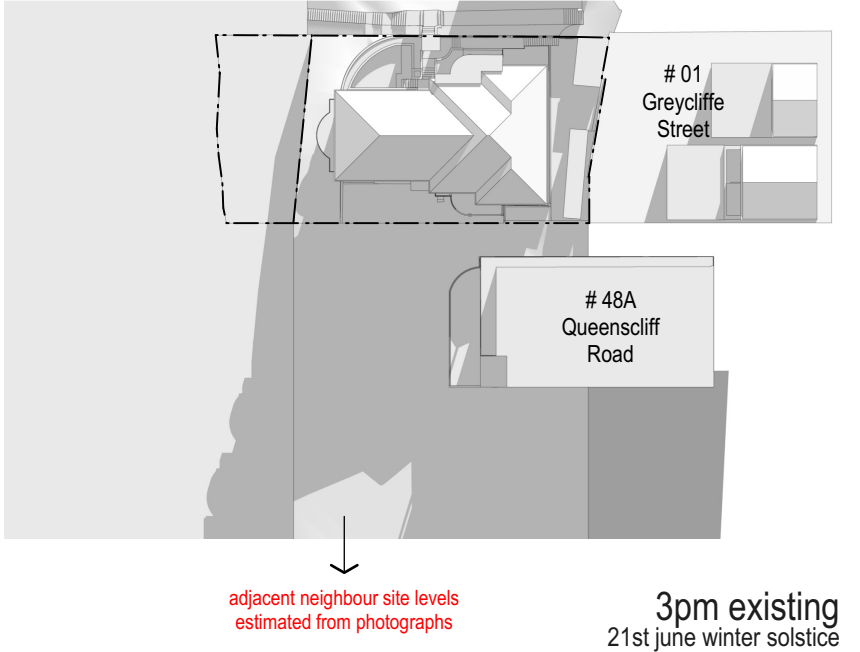
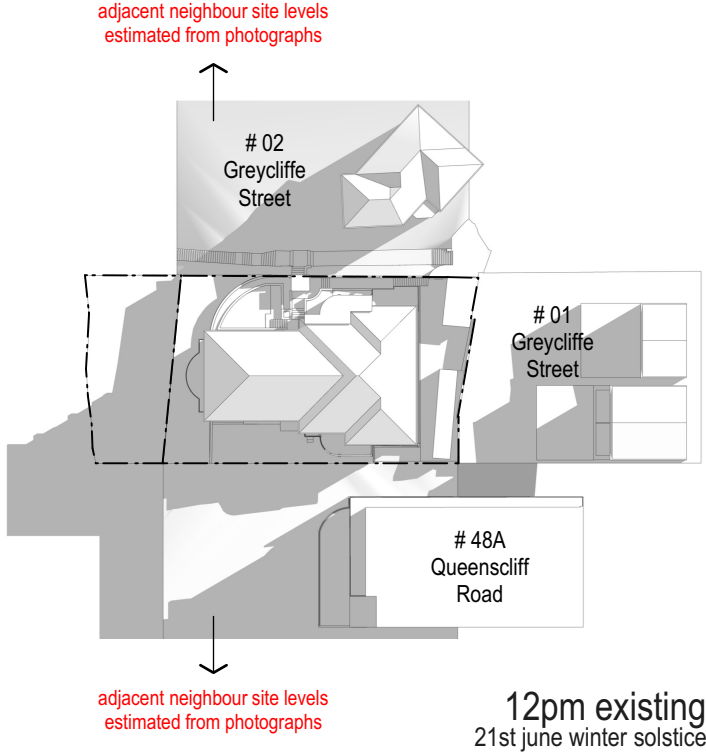
DOCUMENT TITLE
Proposed External Finishes

DOCUMENT NUMBER	REVISION
DA 17	A
SCALE NTS @ A3	
JOB 24/003	DRAWN AH / VC

 additional shadows caused by proposal affecting adjacent neighbours

 Reduced Shadows caused by Proposal

NOTE:
Context has been modelled from the information provided in the site survey.

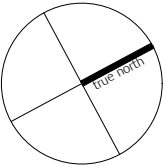


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DOCUMENT TITLE
Shadow Diagrams

DOCUMENT NUMBER
DA 18
SCALE 1:50 @ A3
JOB 24/003
REVISION
A
DRAWN AH / VC