

30 July 2010

General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir,

**Re Development Application No N0075/10
56 Attunga Road, Newport**

For Council's information, please find enclosed Construction Certificate No 2010/3896 issued for the construction of a swimming pool & associated retaining wall at the above address, accompanied by

- Copy Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Home Warranty Insurance Certificate
- Cheque for \$30 00 being the prescribed fee to receive the above certificate

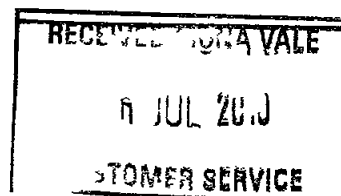
NB Please forward receipt for the above fee to Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660

Yours faithfully



**Stephen Pinn
Insight Building Certifiers Pty Ltd**

R 283734



Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b) 81A (2) and 81A (4)

Certificate No 2010/3896

Council	Pittwater
Determination Date of issue	Approved 30 July 2010
Subject land Address Lot No DP No	56 Attunga Road Newport Lot 1 DP 124062
Applicant Name Address Contact No	Mr Ali & Mrs Janelle Gursell 56 Attunga Road, Newport NSW 2106 0400 332 241 / 0400 332 041
Owner Name Address Contact No	Mr Ali Gursell 56 Attunga Road, Newport NSW 2106 0400 332 241
Description of Development Type of Work	Swimming pool & associated retaining wall
Builder or Owner/Builder Name Contractor Licence No/Permit	Peter Ryan Pools Pty Ltd 114724C
Value of Work Building	\$103,015 00
Attachments	
<ul style="list-style-type: none">• Copy of completed Construction Certificate Application Form• Long Service Payments Corporation receipt no. 595124952 for payment of Long Service Levy• BASIX Certificate no A75702 dated 17 February 2010	

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp

- Site Plan Pool Plan & Sections reference no PRP1001 drawing nos P1 & P2 prepared by Right Angle Drafting dated January 2010
- Structural Details reference no RYA1007-SP1 & RYA1007-SP2 prepared & endorsed by Geoff Ninnas Fong & Partners Pty Ltd dated June 2010
- Completed Form 2 Part A of Pittwater Council Geotechnical Risk Management Policy dated 27 July 2010
- Completed Form 2 Part B of Pittwater Council Geotechnical Risk Management Policy 13 July 2010
- Erosion & Sediment Control Plan including Compliance Certificate reference no PRP1001 drawing nos P4 prepared by Right Angle Drafting dated January 2010
- Geotechnical Engineers Design Compliance Certificate regarding slope safety factor, reference no VU26683A, prepared & endorsed by Jack Hodgson Consultants Pty Ltd, dated 28 July 2010
- Sydney Water Approval dated 7 June 2010

Certificate

I hereby certify that the above Plans documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

Signed



Date of endorsement
Certificate No

30 JUL 2010
2010/3896

Certifying Authority

Name of Accredited Certifier
Accreditation No
Accreditation Authority
Contact No
Address

Stephen Pinn
BPB0326
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No
Date of Determination

N0075/10
26 May 2010

BCA Classification

10b

Levy Online Payment Receipt



Thank you for using our Levy Online payment system Your pavment for this building application has been processed

Applicant Name	PETER RYAN POOLS
Levy Application Reference	5007036
Application Type	DA
Application No	0075/10
Local Government Area/Government Authority	PITTWATER COUNCIL
Site Address	56 ATTUNGA ROAD
	NEWPORT
	NSW
	2103
Value Of Work	\$103,015
Levy Due	\$360
Levy Payment	\$360
Online Payment Ref	595124952
Payment Date	22/07/2010 3 50 30 PM



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number A75702

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability if it is built in accordance with the commitments set out below. Terms used in this certificate or in the commitments have the meaning given by the document entitled 'BASIX Alterations and Additions Definitions' dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director General
Date of issue: Wednesday 17 February 2010



to be used for project

Project address	
Project name	Gursel
Street address	56 Attunga Road Newport 2106
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 124062
Lot number	1
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is less than \$50 000 but includes a pool (and/or spa) with a combined capacity of 40 000 litres or more

ILLEGAL COPY

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 2668 litres on the site This rainwater tank must meet and be installed in accordance with the requirements of all applicable regulatory authorities	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors	✓	✓	✓
The swimming pool must not have a capacity greater than 48 9 kilolitres	✓	✓	✓
The swimming pool must have a pool cover	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development gas		✓	✓
Outdoor spa			
The spa must not have a capacity greater than 3 6 kilolitres	✓	✓	✓
The spa must have a spa cover		✓	✓
The applicant must install a spa pump timer		✓	✓
The applicant must install the following heating system for the outdoor spa that is part of this development gas		✓	✓

Legend

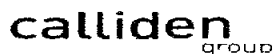
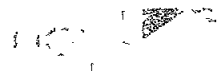
In these commitments applicant means the person carrying out the development

Commitments identified with a ✓ in the Show on DA plans column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development)

Commitments identified with a ✓ in the Show on CC/CDC plans & specs column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development

Commitments identified with a ✓ in the Certifier check" column must be certified by a certifying authority as having been fulfilled before a final occupation certificate for the development may be issued

AHWHWI/067353 Owner 29/06/2010



Peter Mark Ryan & Deborah M Ryan trading as Peter Ryan Pools
57 Hillcrest Avenue
Mona Vale NSW 2103

Calliden Insurance Ltd
ABN 47 004 125 268 AFS Licence 234438
Level 9 11 33 Exhibition Street
MELBOURNE VIC 3000
Phone (03) 9637 1300 FAX 1300 662 215

Certificate of Insurance

RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with sections 92 and 96A of the *Home Building Act 1989* has been issued by **Calliden Insurance Limited** (ABN 47 004 125 268) (AFSL 234438)

In respect of	Swimming Pool
At	56 Attunga Road NEWPORT NSW 2106
Carried out by	Peter Mark Ryan & Deborah M Ryan trading as Peter Ryan Pools
Licence Number	114724c
ABN	94 619 089 289
For	Ali & Janelle Gursell
In the amount of	\$103 015 00

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract cover will be provided to

a beneficiary described in the contract and successors in title to the beneficiary

OR

the immediate successor in title to the contractor or developer who did the work and subsequent successors in title

Authorisation In Witness Whereof the Insurer issuing this Certificate of Insurance has caused this Certificate to be signed by Authorised Signatory of the Insurer

Issued on the 29th day of June 2010

For and on behalf of Calliden Insurance Ltd (ABN 47 004 125 268) (AFSL 234438)

NOTICE To download a copy of your insurance policy wording visit <http://www.policywording.com.au>

COPY

22 JUL 2010

APPLICATION FOR A CONSTRUCTION CERTIFICATE

Construction Certificate ☒
Modified Construction Certificate ☐

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible.

Mr ☒ Mrs ☒ Ms ☐ Dr ☐ Other

Given Names (or ACN) Ali & Janelle Family Name (or Company) Gurzell

Postal Address (we will post all mail to this address)
56 Athunga Rd
Newport Post Code 2106

Daytime telephone 0400 332 041 (Janelle) Alternate no. Mobile no. 0400 332 241 (Ali)

2. Owner's consent

The owner of the land must sign this form. If the owner is a company the form must be signed by an authorised director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Owners Corporation or the appointed Managing Agent.

Owner(s) AL. GURZELL
Address 56 Athunga Rd Newport 2106

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s) [Signature]

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg. power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no. 56 Street name Athunga Rd
Suburb Newport Post code 2106

Legal Property Description (these details are shown on your rate notices, property deeds, etc)
Lot no. 1 bP no. 124062

**COUNCIL
COPY**

4. Description of work

What type of work do you propose to carry out?
Please describe briefly everything that you want approved.

Construction of concrete pool + retaining wall

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review.
Estimated cost of work \$ 103,015

6. Development Consent

Council Consent no. N00 75/10 Date of Determination 26/5/10

7. Building Code of Australia classification

This can be found on the development consent BCA Classification 106

8. Builder's details

If known, to be completed in the case of residential building work
Name Peter Ryan Pools Licence no. 114724C
Owner/builder permit no.

9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that the above Development Consent is valid and that no building works associated with this application have commenced. To the best of knowledge, all the information in this application and checklist is true and correct.

Signature Date 16/6/10

SUBMISSION REQUIREMENTS

A GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes ☒ No ☐

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes ☐ No ☒

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION

B ALL PROPOSALS (has the following required information been submitted?)

Yes	No	Not Applicable	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<u>In the case of an application for a Construction Certificate for building work</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Three (3) copies of detailed architectural plans and specifications
			The plan for the building must consist of a general plan drawn to a scale not less than 1:100 and a site plan drawn to a scale not less than 1:200. The general plan of the building is to
			a) show a plan of each floor section
			b) show a plan of each elevation of the building
			c) show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
			d) indicate the height, design and full construction details
			e) indicate the provision for fire safety and fire resistance (if any)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building, all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration, addition or rebuilding with a separate letter listing the proposed changes being submitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3 copies of a specification
			a) to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
			b) state whether the materials proposed to be used are new or second hand and give particular
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Where the proposed building work involves a modification to previously approved plans and specifications, the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent, has the original Development Consent been modified by Council?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Except in the case of an application for, or in respect of, domestic building work
			a) a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and
			b) if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. This list must specify the standard of design of each of those fire safety measures to which they were originally installed.
			c) This list must describe the extent, capability and basis of design of each of the measures concerned.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Copy of BASIX Certificate & Schedule of BASIX Commitments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Copy of signed BASIX Compliance Statement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All other documentation to satisfy conditions of Development Consent

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12 000 require insurance as specified in the Home Building Act 1989.

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5 000. In addition to this permit, all projects valued in excess of \$12 000 may also require a contract of insurance under the provisions of the Home Building Act 1989 as amended. This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years.

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21, Astra House, 227 Elizabeth Street, Sydney (ph 133220).

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25 000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be addressed to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

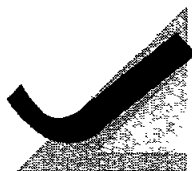
What is the area of the land (m ²)? <i>594 Sqm</i>	Gross floor area of building (m ²) as proposed <i>NA-Pool</i>
What are the current uses of all or parts of the building(s)/land? <i>Residential</i>	Location <i>56 Altham Rd Newport</i> Use <i>Residential</i>
Does the site contain a dual occupancy? <i>No</i>	What is the gross floor area of the proposed addition or new building (sq metres)? <i>NA-Pool</i>
What are the proposed uses of all parts of the building(s) land? <i>Residential</i>	Number of pre-existing dwellings <i>1</i>
Number of dwellings to be demolished <i>None</i>	How many dwellings proposed? <i>None</i>
How many storeys will the building consist of? <i>NA-Pool</i>	Will the new building be attached to the existing building? <i>No</i> Will the new building be attached to any new building? <i>No</i>

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics

Place a tick (✓) in the box which best describes the materials the new work will be constructed of

WALLS	FLOOR	ROOF	FRAME
Brick veneer <input type="checkbox"/>	Concrete <input type="checkbox"/>	Aluminium <input type="checkbox"/>	Timber <input type="checkbox"/>
Full brick <input type="checkbox"/>	Timber <input type="checkbox"/>	Concrete <input type="checkbox"/>	Steel <input type="checkbox"/>
Single brick <input type="checkbox"/>	Other <input type="checkbox"/>	Concrete tile <input type="checkbox"/>	Other <input type="checkbox"/>
Concrete block <input type="checkbox"/>	Unknown <input type="checkbox"/>	Fibrous cement <input type="checkbox"/>	Unknown <input type="checkbox"/>
Concrete/masonry <input type="checkbox"/>		Fibreglass <input type="checkbox"/>	
Concrete <input type="checkbox"/>		Masonry/terracotta shingle <input type="checkbox"/>	
Steel <input type="checkbox"/>		Tiles <input type="checkbox"/>	
Fibrous cement <input type="checkbox"/>		Slate <input type="checkbox"/>	
Hardiplank <input type="checkbox"/>		Steel <input type="checkbox"/>	
Timber/weatherboard <input type="checkbox"/>		Terracotta tile <input type="checkbox"/>	
Cladding aluminium <input type="checkbox"/>		Other <input type="checkbox"/>	
Curtain glass <input type="checkbox"/>		Unknown <input type="checkbox"/>	
Other <input type="checkbox"/>			
Unknown <input type="checkbox"/>			



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN 94 053 405 011

VU 26683A
28th July, 2010
Page 1

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

56 ATTUNGA ROAD, NEWPORT

The site was inspected on the 19th December, 2009

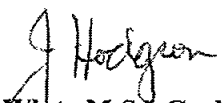
The stability of the natural slope was assessed in Risk Analysis and Management Report numbered VU 26683 and was found to have an 'Acceptable' level of risk

The proposed works consist of constructing a concrete pool and a retaining wall. The structural plans are shown on two drawings by Geoff Nines, Fong & Partners numbered RYA 1007 SP 1 to 2 and dated June 2010

The proposed retaining structures are sprayed concrete steel reinforced walls with piers taken to weathered shale. The proposed retaining wall has piers on the down hill side of the footing that are to be taken to weathered shale. The maximum height of the retaining structures is 2.6 metres. The retaining wall is designed with sufficient back wall drainage to prevent a build up in Hydrostatic Pressure. The proposed pool and retaining wall are side by side on a slope above Barrenjoey Road. The wall is to be back filled to provide a level area beside the pool.

The retaining structures are designed to the Australian Standard AS1170 (loading code) and exceed a safety factor of 1.5. The structures are a suitable design for the slope and in our opinion will resist the likely earth pressures.

JACK HODGSON CONSULTANTS PTY LIMITED


Ben White M Sc Geol,
AusIMM, CP GEOL
No 222757
Engineering Geologist

DIRECTOR J D HODGSON M Eng Sc FEE Aust Nper Struc Civil 149788
67 Darlev Street Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone 9979 6733 Facsimile 9979 6925





PITTWATER COUNCIL

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER FORM NO 2 – PART A – To be submitted with detailed design for Construction Certificate

Development Application for _____	Name of Applicant _____
Address of site <u>56 Attunga Rd, Newport</u>	

PART A Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical Issues into the project design

I, BRAD FONG (insert name) on behalf of Geoff Nimnes Fong & Partners Pty Ltd (trading or company name)

on this the 27/7/10 (date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater 2009. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development and that

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto
☐ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy

Geotechnical Report Details

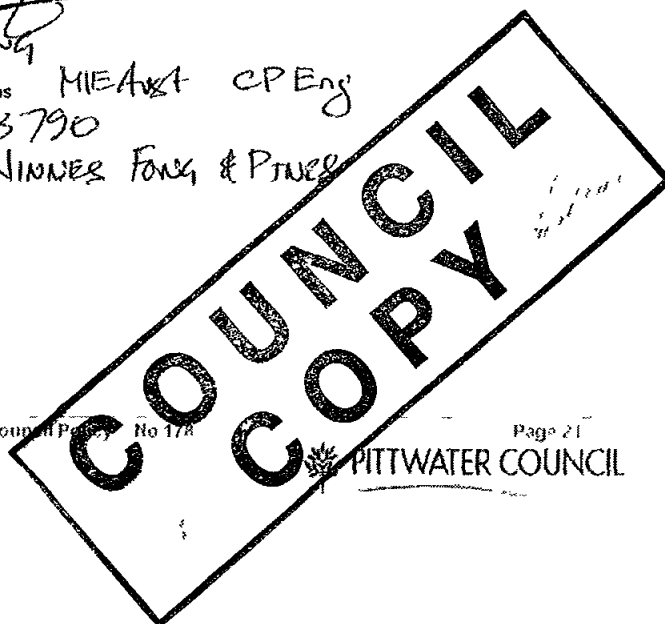
Report Title	<u>Risk Analysis & Management for Proposed pool at 56 Attunga Rd, Newport</u>
Report Date	<u>18/12/09</u>
Author	<u>Ben White for Jack Hodgson Consultants P/L</u>
Author's Company/Organisation	

Structural Documents list

<u>RYA 1007</u>	<u>SP1 & SP2</u>

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years unless otherwise stated and justified

Signature [Signature]
Name BRAD FONG
Chartered Professional Status MIE Aust CPEng
Membership No 63790
Company GEOFF NIMNES FONG & PARTNERS



GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO 2 – PART B - To be submitted with detailed design for construction certificate

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I Jack Hodgson on behalf of Jack Hodgson Consultants Pty Ltd
(insert name) (trading or company name)

on this the 13TH JULY 2010
(date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater – 2009 and I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans in accordance for the Constructor Certificate Stage and that I am satisfied that

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto
☒ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(v) of the Geotechnical Risk Management Policy

Geotechnical Report Details

Report Title RISK ANALYSIS & MANAGEMENT FOR PROPOSED POOL AT 56 ATTUNGA ROAD NEWPORT VU 26683

Report Date 18TH DECEMBER 2009

Author BEN WHITE

Documentation which relates to or is relied upon in report preparation

ARCHITECTURAL PLANS BY RIGHT ANGLE DRAFTING JAN 2010 P1 P4

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years unless otherwise stated and justified

JACK HODGSON

(name)

(signature)

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an Acceptable Risk Management level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk

Signature

Name Jack Hodgson

Chartered Professional Status M Eng Sc F I E Aust

Membership No 149788

Company Jack Hodgson Consultants Pty Ltd

PETER RYAN POOLS

ABN 94619089289

Email peterryanpools@optusnet.com.au



57 Hillcrest Ave
Mona Vale 2103
Blds Lic 114724C

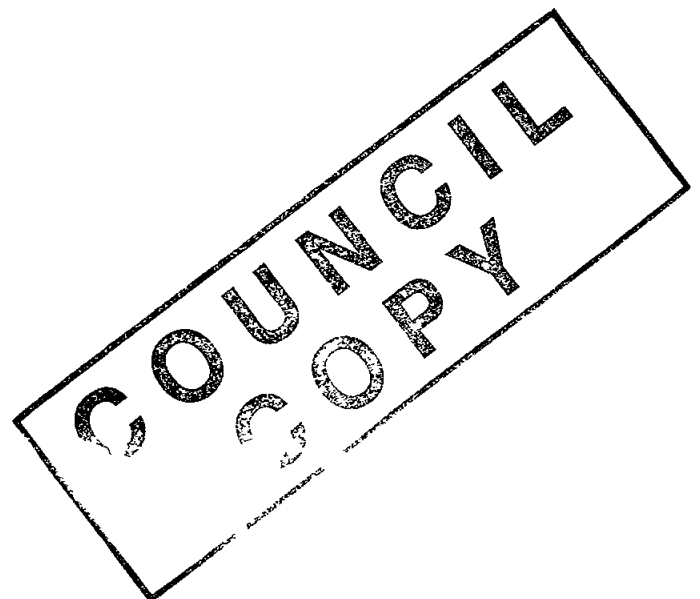
Phone 99991444
Mobile 0414574657
Fax 99991023

27th July 2010

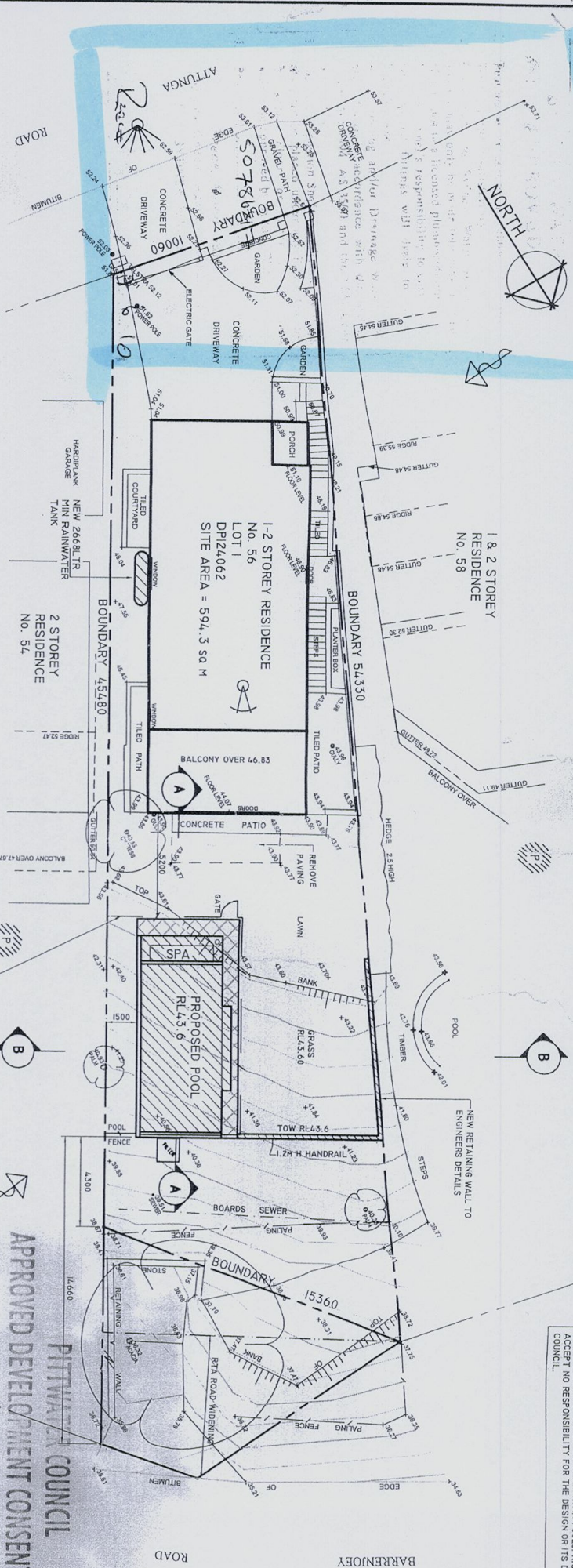
Re 56 Attunga Rd Newport

This is to confirm that the submitted Erosion and Sediment Control Plan complies with the requirements of the NSW Department of Land and Conservation Urban Erosion and Sediment control manual

Yours Faithfully
Peter M Ryan
Blds Lic 114724C
Peter Ryan Pools



THIS POOL WAS DESIGNED BY PETER RYAN POOLS. RIGHT ANGLE DRAFTING
ACCEPTS NO RESPONSIBILITY FOR THE DESIGN OR ITS DETERMINATION AT
COUNCIL.



SITE PLAN / SITE ANALYSIS PLAN

PROPOSED CHILDPROOF SAFETY FENCE
WITH SC/SI GATE TO BE IN ACCORDANCE
WITH A.S.1926-2007 AND THE SWIMMING
POOLS ACT, 1992 (BY OTHERS)

BASIC REQUIREMENTS

1. A RAINWATER TANK OF 2668LITRES MUST BE INSTALLED ON THE PROPERTY IN ACCORDANCE WITH THE APPLICABLE REGULATORY AUTHORITIES.
2. THE RAINWATER TANK MUST COLLECT RUNOFF FROM AT LEAST 100 SQUARE METRES OF ROOF AREA.
3. THE RAINWATER TANK MUST BE CONNECTED TO A TAP LOCATED WITHIN 10M OF THE EDGE OF THE POOL AND SPA AREA.
4. THE SWIMMING POOL MUST BE LOCATED OUTDOORS.
5. THE SWIMMING POOL MUST NOT HAVE A CAPACITY OF GREATER THAN 48.9 KILOLITRES.
6. THE SWIMMING POOL MUST HAVE A POOL COVER.
7. A POOL PUMP TIMER MUST BE INSTALLED.
8. THE POOL MUST HAVE A GAS HEATING SYSTEM INSTALLED AS PART OF THIS DEVELOPMENT.
9. THE SPA MUST NOT HAVE A CAPACITY GREATER THAN 3.6 KILOLITRES.
10. THE SPA MUST HAVE A SPA COVER.
11. A SPA PUMP TIMER MUST BE INSTALLED.
12. THE SPA MUST HAVE A GAS HEATING SYSTEM INSTALLED AS PART OF THIS DEVELOPMENT.

LANDSCAPE CALCULATION

SITE AREA = 594.3sq M

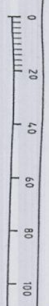
HARD SURFACE

HOUSE = 142.5m²
DRIVEWAY = 58.7m²
PAVING = 49.2m²
PROPOSED POOL = 50.0m²
TOTAL HARD SURFACE = 300.4m²
OR 50% OF THE SITE

VARIATIONS

;) AREAS < 1M = 25.3m²
;) OUTDOOR REC. = 36.0m²

THEREFORE INCL VARIATIONS
TOTAL SOFT SURFACE = 60% OF THE SITE.



SYMBOL LEGEND

- NEIGHBOURING PRIVATE OPEN SPACE
- PREVAILING WINDS
- VIEWS
- NOISE SOURCE

RIGHT ANGLE DRAFTING

ROBYN GOOD
HORTICULTURE CERT III
ASSOC. DIPLOMA STRUCTURAL ENGINEERING
CERT ARCHITECTURAL DRAUGHTING
52-11-88 KANDISON STREET
EAST BERRIGAN NSW 2016
PH: (02) 8398-0072 FAX: 8398-1301
MOBILE: 0423 227-055
EMAIL: rgood@rightangle.com.au
ABN: 72 884 788 450

PROPOSED NEW SWIMMING POOL
ALI AND JANELLE GURSEL
LOT 1 DP124062
NO. 56 ATTUNGA ROAD
NEWPORT

DWG NAME
SITE PLAN / SITE ANALYSIS PLAN

DATE SCALE AT A3 JOB NUMBER DWG NUMBER
JAN 10 1:200 PRP1001 PI

THIS POOL WAS DESIGNED BY PETER RYAN POOLS RIGHT ANGLE DRAFTING
ACCEPT NO RESPONSIBILITY FOR THE DESIGN OR ITS DETERMINATION AT
COUNCIL

insight building certifiers pty ltd

CONSTRUCTION CERT NO 10101856

CONSTRUCTION CERTIFICATE

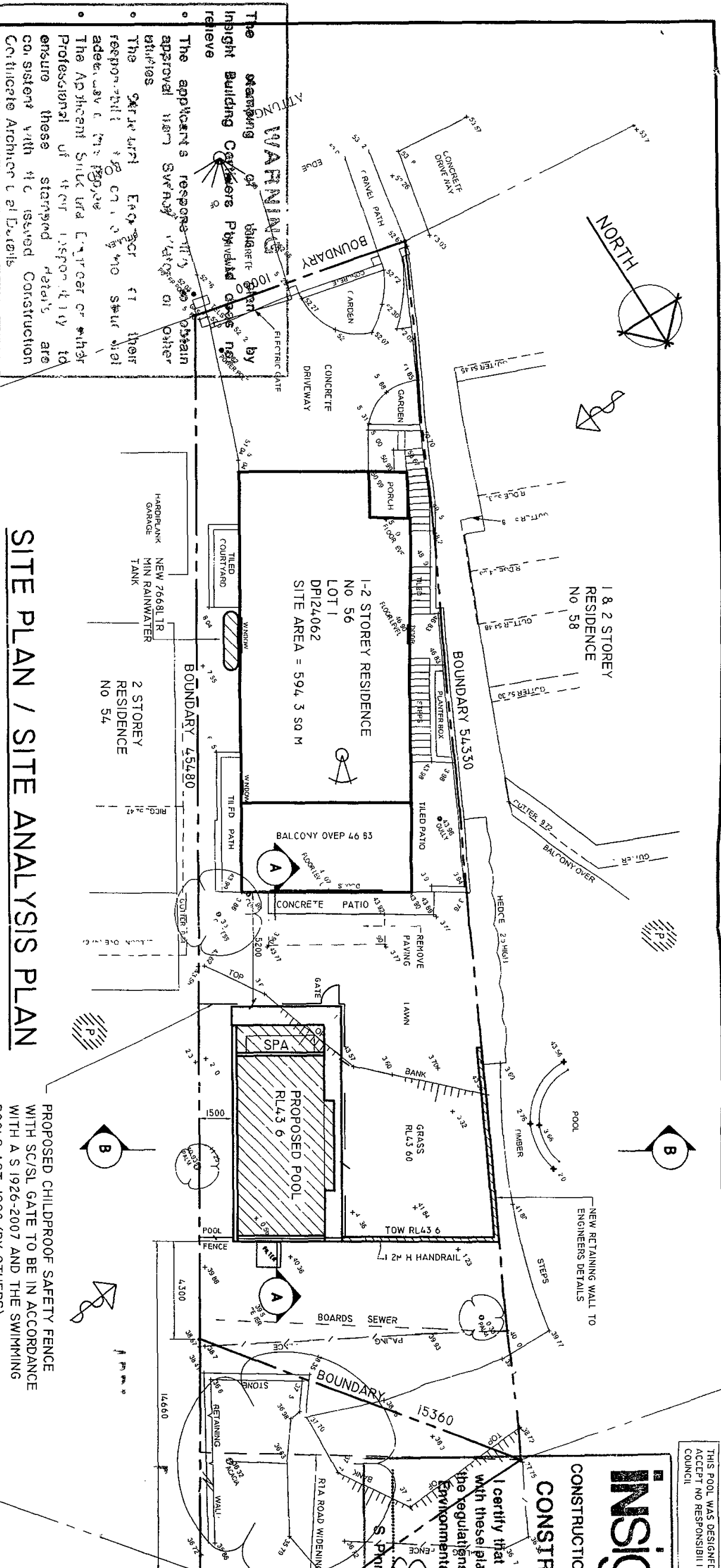
PLANS

I certify that the work completed in accordance
with these plans & specifications will comply with
the regulations referred to in Section 81A(5) of the
Environmental Planning & Assessment Act 1979

S. Pryn Accreditation No BPB 0326

PROPOSED CHILDPROOF SAFETY FENCE
WITH SC/SI GATE TO BE IN ACCORDANCE
WITH A S 1926-2007 AND THE SWIMMING
POOLS ACT 1992 (BY OTHERS)

SITE PLAN / SITE ANALYSIS PLAN



BASIX REQUIREMENTS

RAINWATER TANK

- 1 A RAINWATER TANK OF 2668LITRES MUST BE INSTALLED ON THE PROPERTY IN ACCORDANCE WITH THE APPLICABLE REGULATORY AUTHORITIES
- 2 THE RAINWATER TANK MUST COLLECT RUNOFF FROM AT LEAST 100 SQUARE METRES OF ROOF AREA
- 3 THE RAINWATER TANK MUST BE CONNECTED TO A TAP LOCATED WITHIN 10M OF THE EDGE OF THE POOL AND SPA AREA

POOL

- 4 THE SWIMMING POOL MUST BE LOCATED OUTDOORS
- 5 THE SWIMMING POOL MUST NOT HAVE A CAPACITY OF GREATER THAN 48 9 KILOLITRES
- 6 THE SWIMMING POOL MUST HAVE A POOL COVER
- 7 A POOL PUMP TIMER MUST BE INSTALLED
- 8 THE POOL MUST HAVE A GAS HEATING SYSTEM INSTALLED AS PART OF THIS DEVELOPMENT

SPA

- 9 THE SPA MUST NOT HAVE A CAPACITY GREATER THAN 3 6 KILOLITRES
- 10 THE SPA MUST HAVE A SPA COVER
- 11 A SPA PUMP TIMER MUST BE INSTALLED
- 12 T F SPA MUST HAVE A GAS HEATING SYSTEM INSTALLED AS PART OF THIS DEVELOPMENT

NOTES

CONFIRM ALL DIMENSIONS SERVICES AND LEVELS ON SITE PRIOR TO STARTING WORK
ALL BUILDING WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA THE RELEVANT AUSTRALIAN STANDARDS AND THE LOCAL GOVERNMENT AUTHORITY
BOUNDARY FENCING TO BE UPGRADED AS NECESSARY AND ALL POOL FENCING TO COMPLY WITH THE NSW SWIMMING POOL ACT 1992 AS1926 1 2007 SAFETY BARRIERS FOR SWIMMING POOLS AND AS1926 2-LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS
THIS POOL IS NOT DESIGNED FOR DIVING
EL = EXISTING LEVEL
FL - FLOOR LEVEL
RL - REDUCED LEVEL
1.8 - EXISTING LEVEL

LANDSCAPE CALCULATION

SITE AREA = 594.3sq M

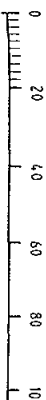
HARD SURFACE

HOUSE = 142.5m²
DRIVEWAY = 58.7m²
PAVING = 49.2m²
PROPOSED POOL = 50.0m²
TOTAL HARD SURFACE = 300.4m²
OR 50% OF THE SITE

VARIATIONS

AREAS < 1M = 25.3m²
OUTDOOR REC = 36.0m²

THEREFORE INCL VARIATIONS
TOTAL SOFT SURFACE = 60% OF THE SITE



SYMBOL LEGEND

- NEIGHBOURING PRIVATE OPEN SPACE
- PREVAILING WINDS
- VIEWS
- NOISE SOURCE

RIGHT ANGLE

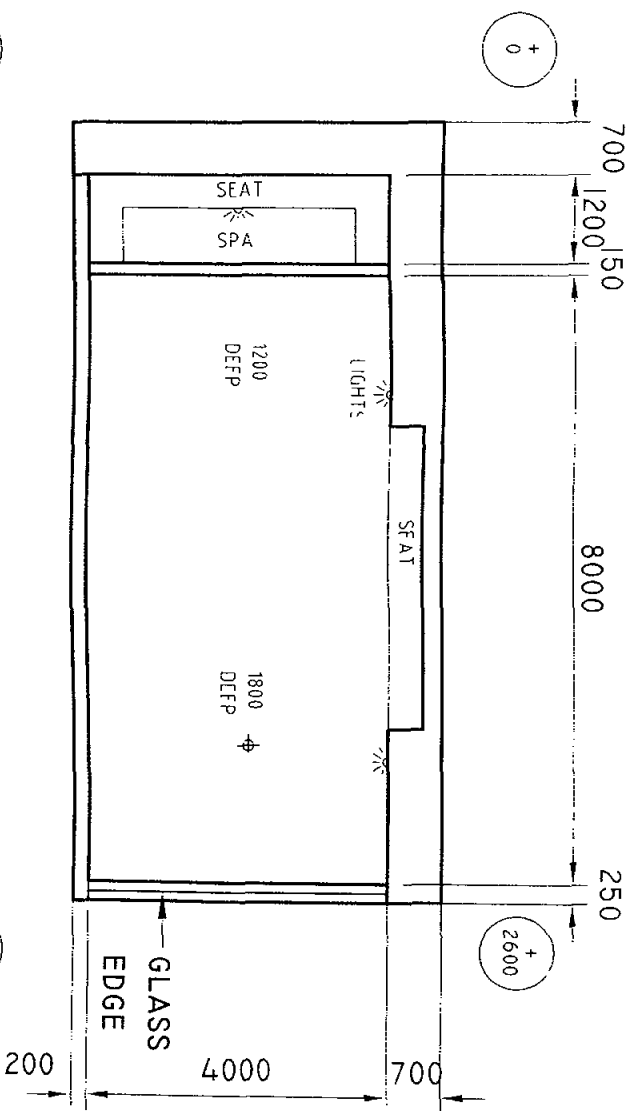
ROBYN GOOD
HORTICULTURE CERT III
ASSOC DIPLOMA STRUCTURAL ENGINEERING
CERT ARCHITECTURAL DRAFTING
32 / 11-33 MADISON STREET
EAST REDBURN NSW 2106
PH (02) 8399 1072 FAX 8399 1301
MOBILE 0435 220 055
EMAIL g.drafting@robyn.com.au
ABN 72 000 780 000

DRAFTING

PROPOSED NEW SWIMMING POOL
ALI AND LANCELE GURSEL
LOT 1 DP124062
NO 58 JITTUNAWA ROAD
NEWPORT

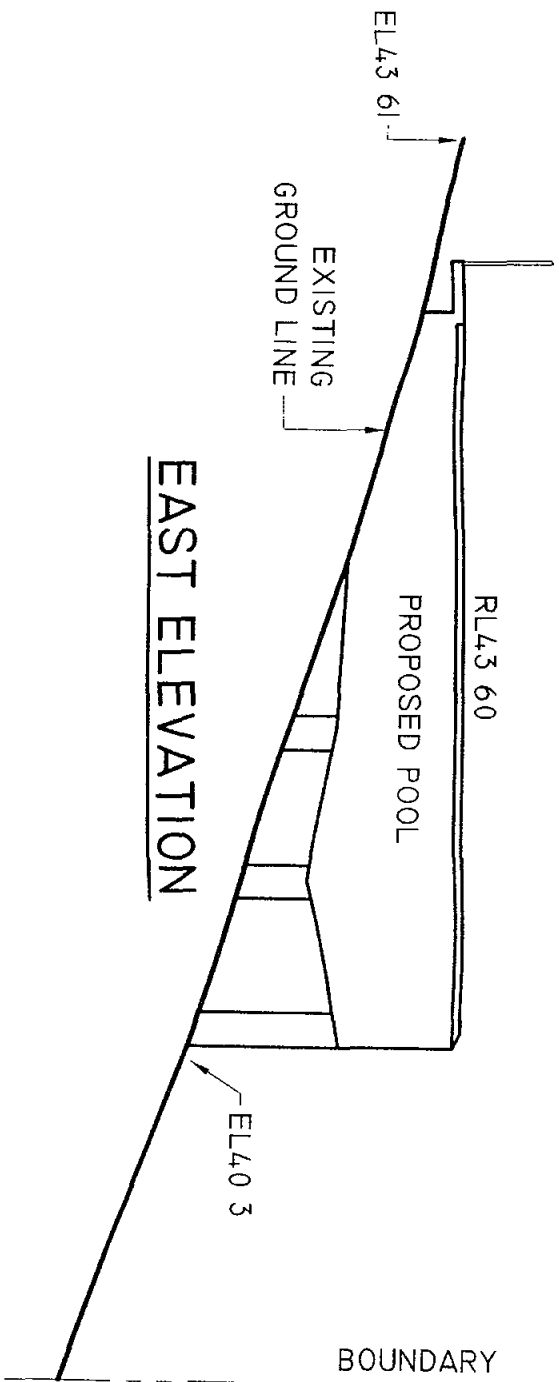
DWG NAME / SITE ANALYSIS PLAN

DATE SCALE AT A3 JOB NUMBER DWG NUMBER
JAN 10 1:200 PRP1001 PI

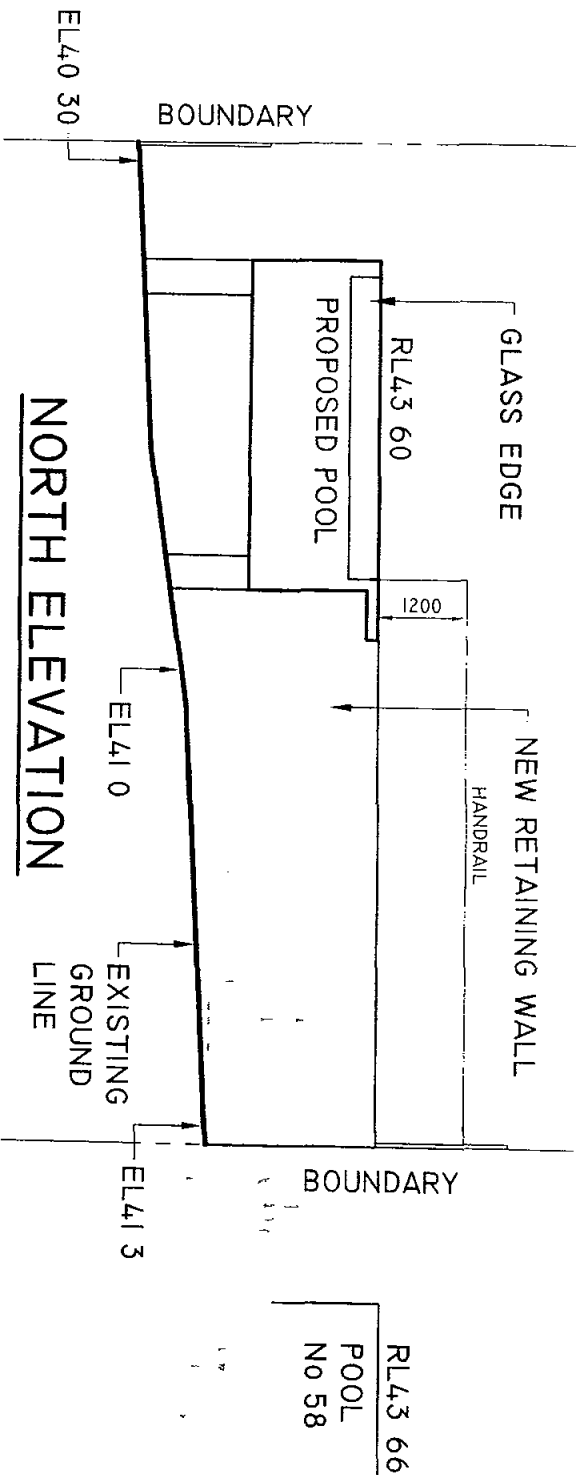


POOL PLAN

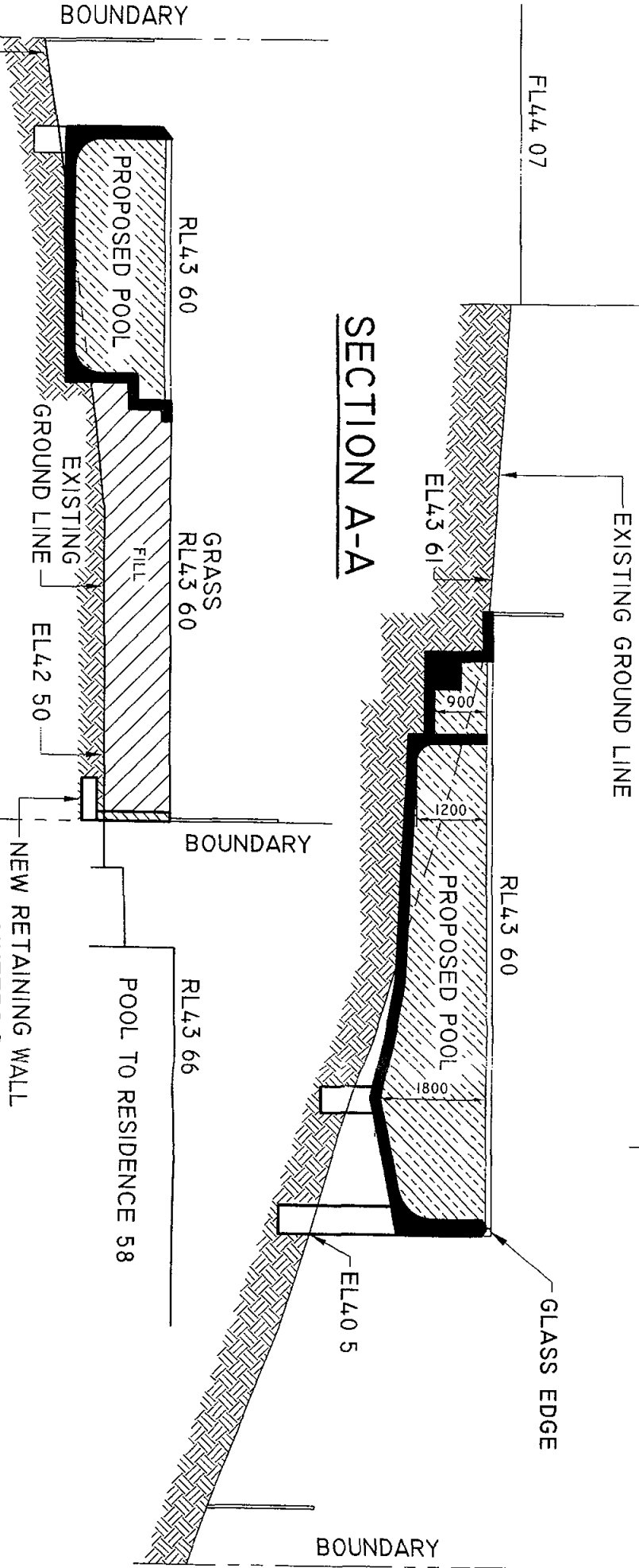
+ X
DENOTES TOP OF POOL RELATIVE TO
NATURAL GROUND LEVEL



EAST ELEVATION



NORTH ELEVATION



SECTION A-A

SECTION B-B

0 10 20 30 40 50 100mm



RIGHT ANGLE

ROBYN GOOD
HORTICULTURE CERT III
ASSOC DIPLOMA STRUCTURAL ENGINEERING
CERT ARCHITECTURAL DRAFTING
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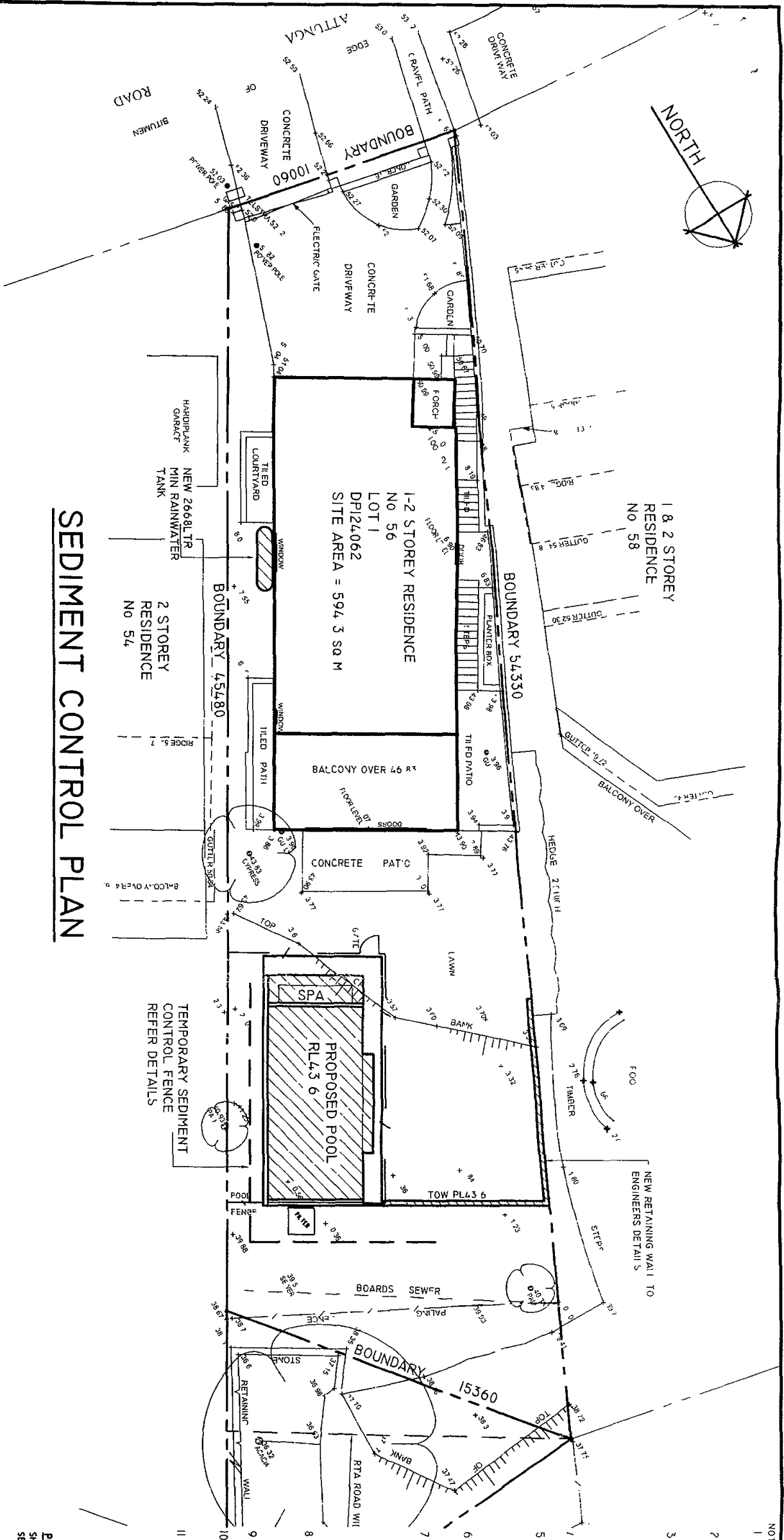
DRAFTING

PROPOSED NEW SWIMMING POOL
ALI AND JANELLE GURSEL
LOT 1 DP124062
NO 56 ATTUNGA ROAD
NEWPORT

DWG NAME

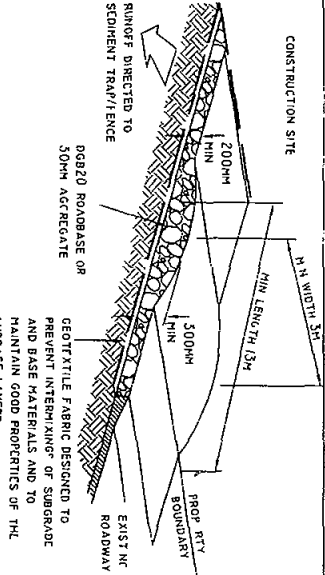
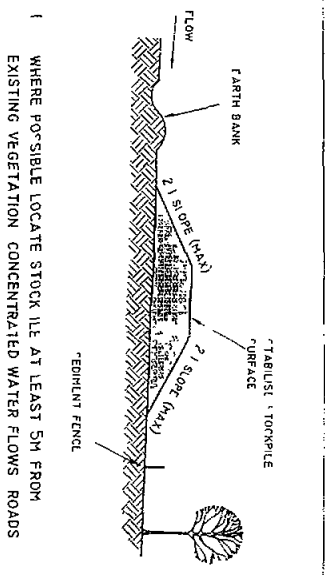
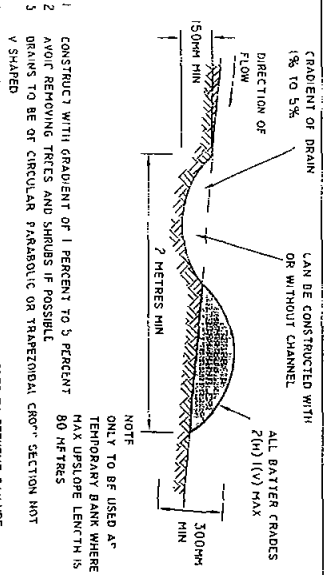
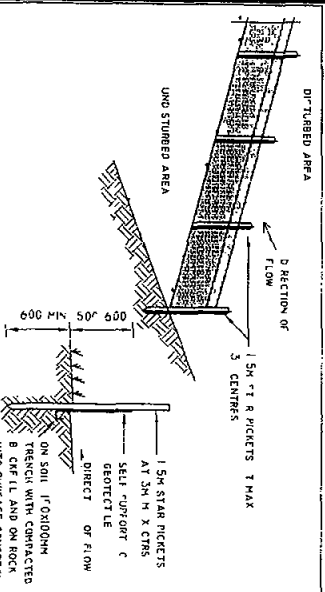
POOL PLAN AND SECTIONS

DATE SCALE AT A3 JOB NUMBER DWG NUMBER
JAN 10 1:100 PRP1001 P2



SEDIMENT CONTROL PLAN

- NOTES
- 1 ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH LANDCOM PUBLICATION MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION THE BLUE BOOK
 - 2 SITE WORKS WILL NOT START UNTIL THE EROSION AND SEDIMENT CONTROL WORKS OUTLINED IN CLAUSES 2 TO 7 BELOW ARE INSTALLED AND FUNCTIONAL
 - 3 THE ENTRY TO AND DEPARTURE OF VEHICLES FROM THE SITE WILL BE CONFINED TO ONE STABILISED POINT SEDIMENT OR BARRIERS FENCING WILL BE USED TO RESTRICT ALL VEHICULAR MOVEMENTS TO THAT POINT STABILISATION WILL BE ACHIEVED BY EITHER CONSTRUCTING A SEALED DRIVEWAY TO THE STREET/ CONSTRUCTING A STABILISED SILE ACCESS OR OTHER SUITABLE TECHNIQUE APPROVED BY COUNCIL
 - 4 SEDIMENT FENCES AND BARRIER FENCES SHALL BE INSTALLED AS SHOWN
 - 5 TOPSOIL FROM THE WORKS AREA WILL BE STRIPPED AND STOCKPILED FOR LATER USE IN LANDSCAPING THE SITE IF NECESSARY OTHERWISE THE EXCAVATION MATERIAL IS TO BE REMOVED FROM SITE AT THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR
 - 6 ALL STOCKPILES WILL BE PLACED AT LEAST 2M CLEAR OF POSSIBLE AREAS OF CONCENTRATED WATER FLOW INCLUDING DRIVEWAYS
 - 7 LANDS OUTSIDE OF THE SCOPE OF WORKS AND ON THE FOOTPATH WILL NOT BE DISTURBED DURING WORKS EXCEPT WHERE ESSENTIAL EG DRAINAGE WORKS ACROSS FOOTPATH WHERE WORKS ARE NECESSARY THEY WILL BE UNDERTAKEN IN SUCH A WAY TO MINIMISE THE OCCURRENCE OF SOIL EROSION EVEN FOR SHORT PERIODS THEY WILL BE REHABILITATED (GRASSED) AS SOON AS POSSIBLE STOCKPILES WILL NOT BE PLACED ON THESE LANDS AND THEY WILL NOT BE USED AS VEHICLE PARKING AREAS
 - 8 APPROVED BINS FOR BUILDING WASTE CONCRETE AND MORTAR SLURRIES PAINTS ACID WASHINGS AND LETTER WILL BE PROVIDED AND ARRANGEMENTS MADE FOR REGULAR COLLECTION AND DISPOSAL
 - 9 GUTTERING WILL BE CONNECTED TO THE STORMWATER SYSTEM OR THE RAINWATER TANK AS SOON AS POSSIBLE
 - 10 TOPSOIL WILL BE RESPREAD AND ALL DISTURBED AREAS WILL BE STABILISED WITHIN 20 WORKING DAYS OF THE COMPLETION OF WORKS
 - 11 ALL EROSION AND SEDIMENT CONTROLS WILL BE CHECKED AT LEAST WEEKLY AND AFTER RAIN TO ENSURE THEY ARE MAINTAINED IN A FULLY FUNCTIONAL CONDITION
- POOL WASTE WATER**
SHALL BE COLLECTED BY 500 PVC FROM FILTER INTO SEWER GULLY TRAP SUPPLIED BY OTHERS AS SHOWN
- SEWER GULLY TRAP**
BY OTHERS SUPPLIED WITH STORMY WATER REQUIREMENTS
- PUMPING LAYOUT**
BY OTHERS



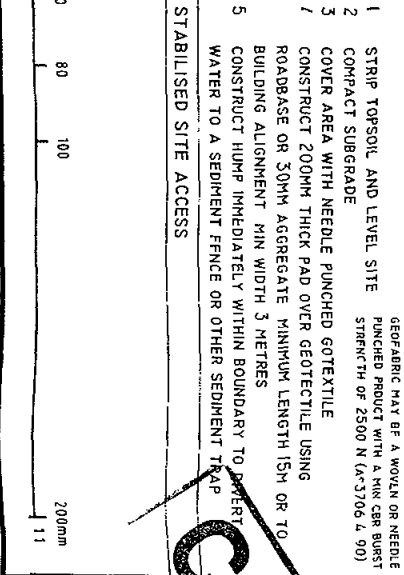
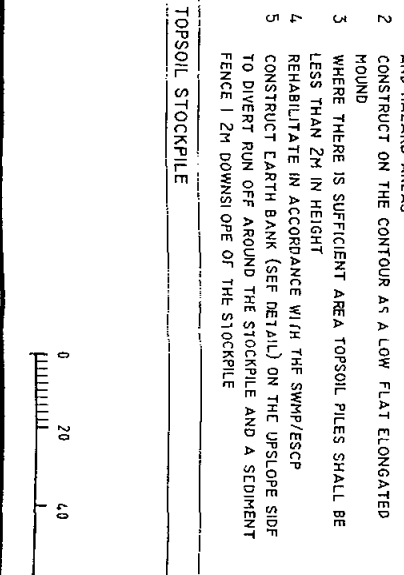
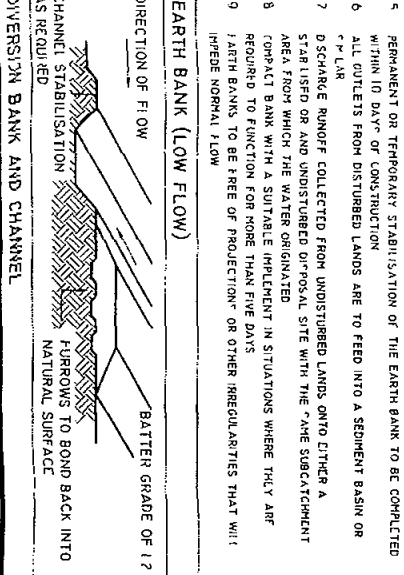
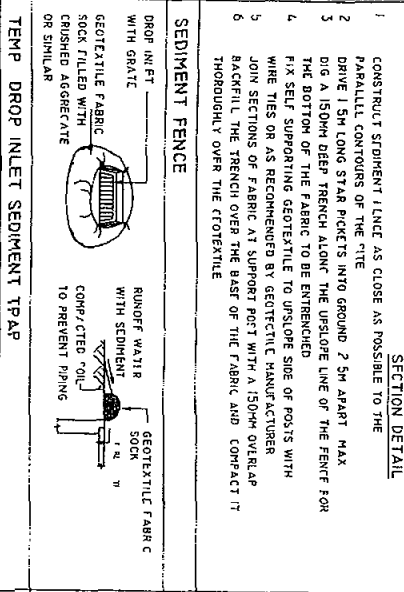
RIGHT ANGLE

ROBRY GOOD
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CERT ARCHITECTURAL DRAUGHTING

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PH (02) 8399-0077 FAX 8399-1301
MOBILE 0425-277-065
EMAIL rbg@rightangle.com.au
ABN 78 839 900 000

PROPOSED NEWSWIMMING POOL
ALLI AND SHELLE GUSEL
LOT 1 DP124062
1500mm ROAD
NEWPORT

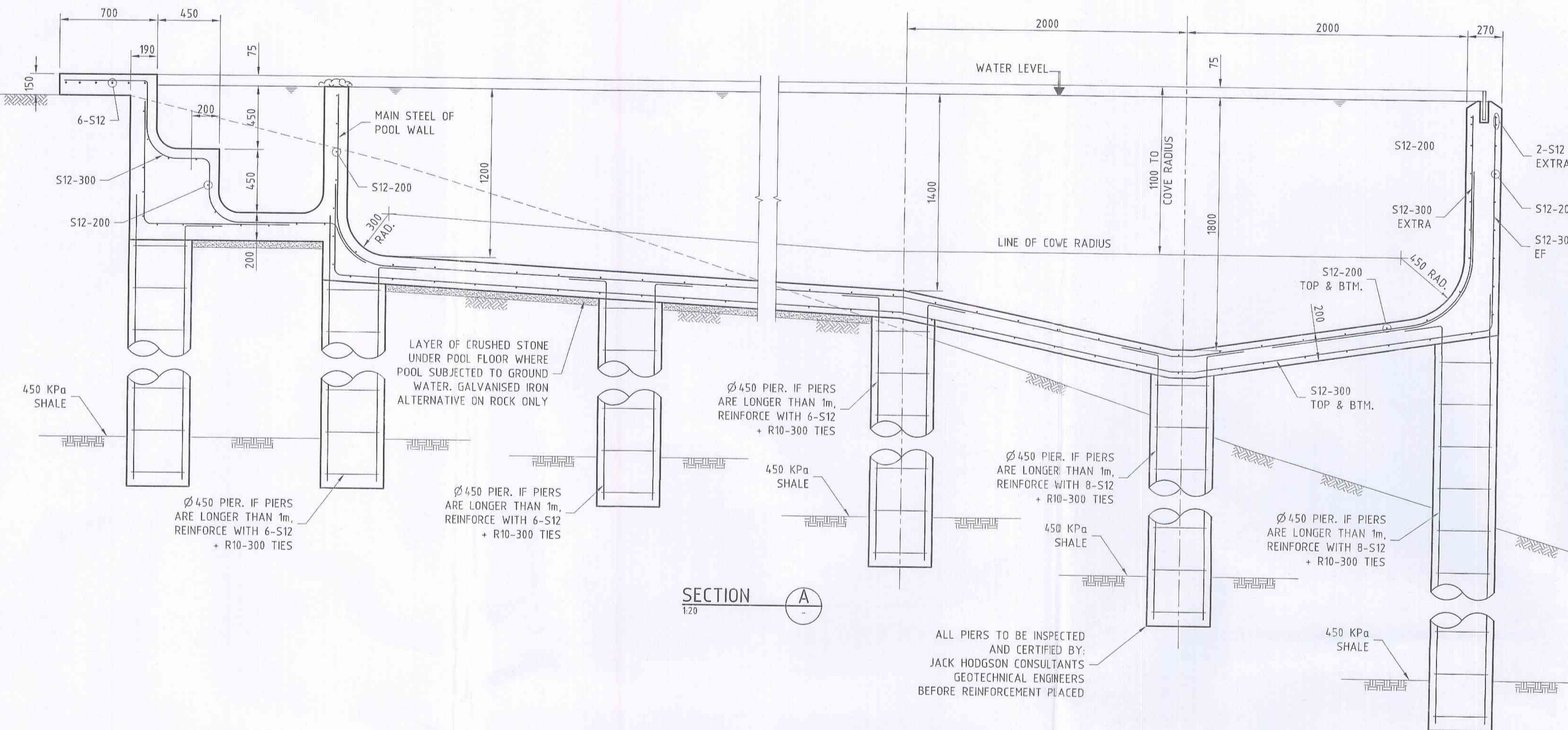
DRAFTING



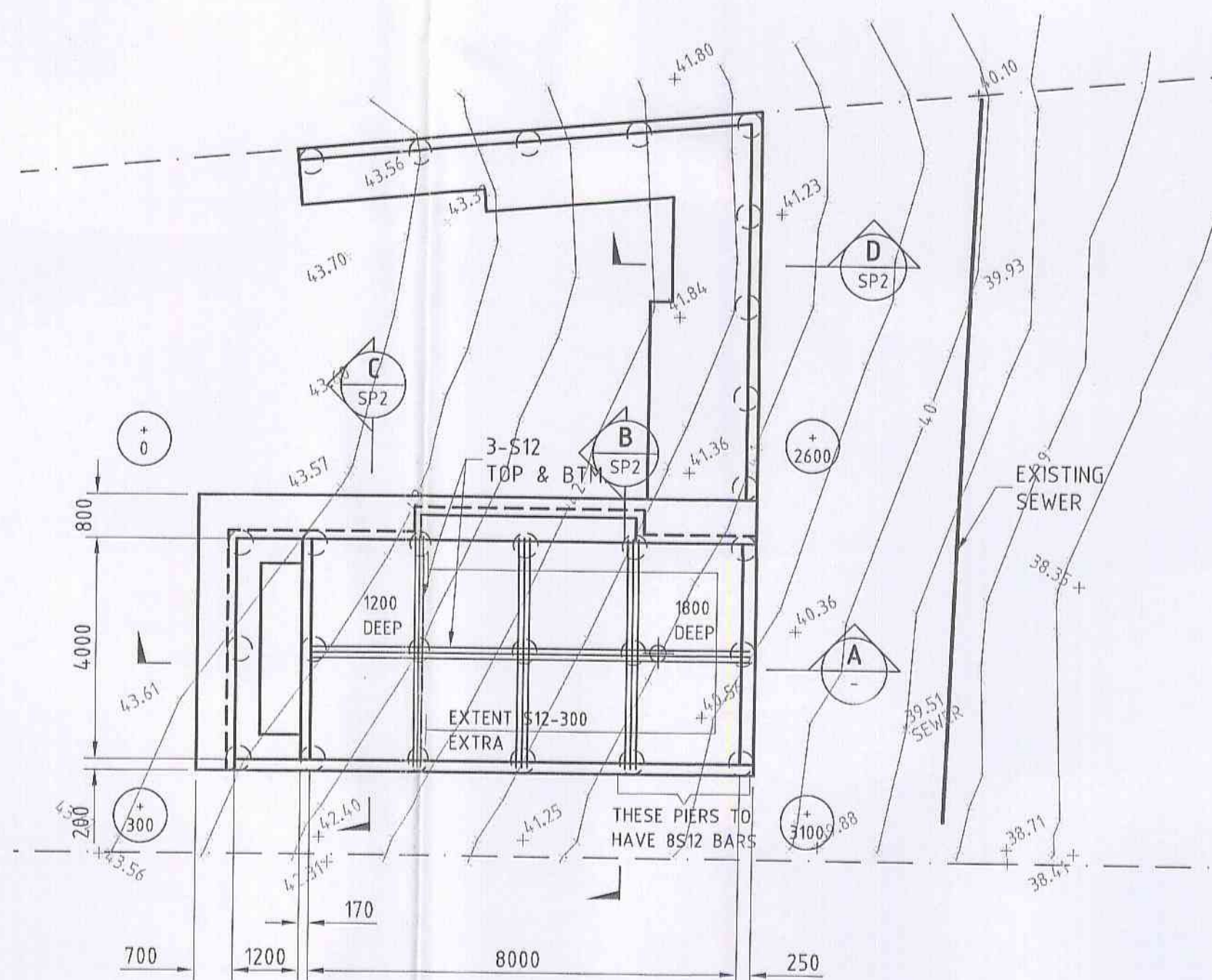
SEDIMENT CONTROL PLAN

DWG NO. 1

DATE SCALE A1 A3 JOB NUMBER DWG NUMBER
JAN 10 1:200 PRP1001 P4



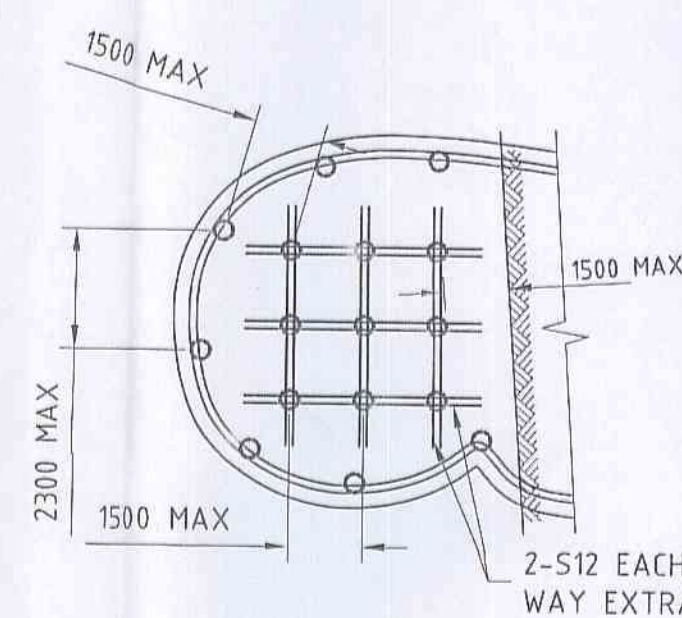
WARNING
The stamping of this plan by Inlight Building Certifiers Pty Ltd does not relieve:
* The Applicant's responsibility to obtain approval from Sydney Water or other utilities.
* The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
* The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.



POOL PLAN
1:10

○ DENOTES APPROX. HEIGHT OF POOL ABOVE EXISTING GROUND LEVEL
THIS POOL IS NOT DESIGNED FOR DIVING

ALL PIERS TO BE INSPECTED AND CERTIFIED BY: JACK HODGSON CONSULTANTS GEOTECHNICAL ENGINEERS BEFORE REINFORCEMENT PLACED



NOTE: WHERE POOL PARTIALLY ON ROCK SUSPEND THE REMAINDER OF THE POOL ON 450Ø MASS CONCRETE PIERS TO ROCKS.
PIERS UNDER WALLS @ 2300 MAX. CTRS.
PIERS UNDER FLOOR @ 1500 MAX. CTRS.
PIERS LONGER THAN 1000 TO BE REINFORCED WITH 6S12 & R10-300 TIES.

ALTERNATIVE SUPPORT DETAIL

(THIS POOL IS NOT DESIGNED FOR DIVING)

NOTE: ANY PAVING LAID ADJACENT TO POOL COPING MUST HAVE 15mm WIDE CONSTRUCTION OR EXPANSION JOINTS.
IF PAVING LAID IN MORTAR, EXPANSION JOINT MUST BE INSERTED BETWEEN PAVING AND POOL COPING.
LEAVE 3mm GAPS BETWEEN PAVERS LAID ON SAND.

WIRE CHAIRS (PLASTIC TIPPED) TO BE USED IN ALL OUT OF GROUND WALLS AND COPINGS. PLASTIC CHAIRS SHALL NOT BE USED. WHERE PLASTIC CHAIRS ARE USED ELSEWHERE IN POOL, PARTICULAR CARE TO BE TAKEN TO ENSURE CONCRETE IS COMPACTED AROUND AND UNDER CHAIR.

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POOL BUILDER: GENERAL NOTES

- G1 This design applies only for ground levels as shown.
- G2 All workmanship and materials shall comply with relevant current SAA codes, By-laws and ordinances of the local Building Authority.
- G3 The overall dimensions shall be checked on site. Dimensions shown are concrete sizes and do not include finishes. These drawings are to be used in conjunction with the Contract but do not form part of the Contract. Do not scale from this drawing. Any discrepancies shall be notified to the Engineer.
- G4 The foundation material must be stable, in natural ground, uniform and shall have a minimum bearing capacity of 150 kPa, for piers 450 KPa. Any variation in foundations from that assumed shall be immediately referred to the Engineer.
- G5 Excavations shall not be permitted within 2 metres of an existing structure without prior approval or recommendations for shoring or underpinning provided by the Engineer.
- G6 Walkways have been designed for a distributed load of 30kPa. Balustrade load is 30 kg/m UNO. No additional loads shall be permitted without prior approval from the Engineer. N.B. Engineer should be notified if masonry walls, planter boxes or heavy loads are to be placed on walkways.
- G7 Provide temporary drain holes in both shallow and deep ends of pool shell. Hydro valve to be cleared of debris on completion of concreting.
- G8 Underside of pool shell to be separated from underlying material by 75mm layer of crushed stone draining to hydrostatic valve. Place membrane between pool shell and blue metal. Corrugated iron alternative on rock only. Fill main drain sump with blue metal.
- G9 Notify Engineer if pool more than 900 above N.G.L.

CONCRETE NOTES

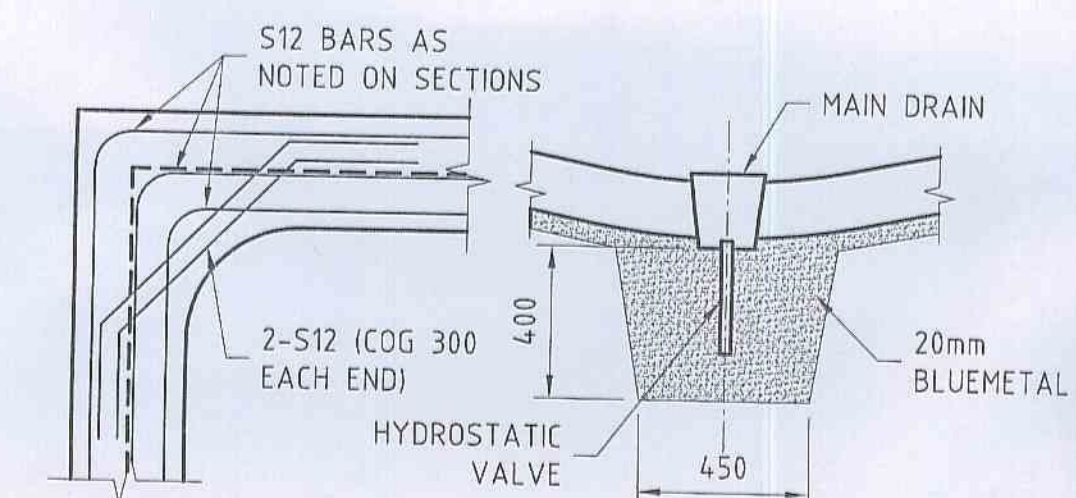
- C1 The mix shall be proportioned to produce a minimum 28 day compressive strength of 32MPa when tested in accordance with AS1012 and suitable for pneumatic application. All workman-ship and materials shall be in accordance with AS2703:1994.
- C2 Exclude calcium chloride. Max aggregate size 10mm. Max slump 80mm. Cement type GP.
- C3 Reinforcement cover - Soil Face Air Face Water Face

Walkway	65	40	60
Floor	65	50	60
Walls	65	50	60
Beams	50	50	-
Piers	65	65	-

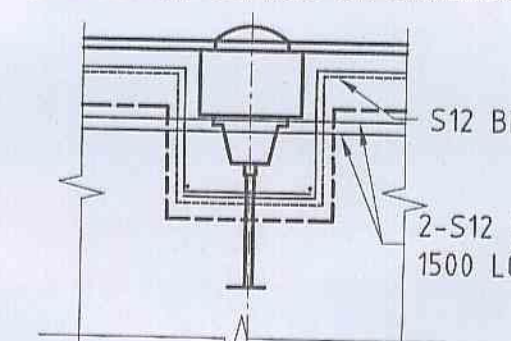
- C4 Vibrate concrete in piers longer than 2m and all beams.
- C4 Plumbing piping to be behind reinforcement and to have minimum 65 clear cover from soil or air.
- C5 Reinforcement to comply with SAA Standards and be supported on non-rusting chairs at approximately 30 centres.
- C6 Reinforcement to be adequately wire tied with wire ends flattened into plane of bars. Separate lap bars by 75mm.
- C7 All splices to bars and fabric to be 450.
S = Grade 230 structural grade deformed
M = Grade 410 tempore deformed
R = Grade 230 plane grade round.
R = Grade 450 hard drawn wire fabric.
- C8 Plastic chairs that restrict entry of concrete into and around them shall not be used.

POOL OWNER NOTES

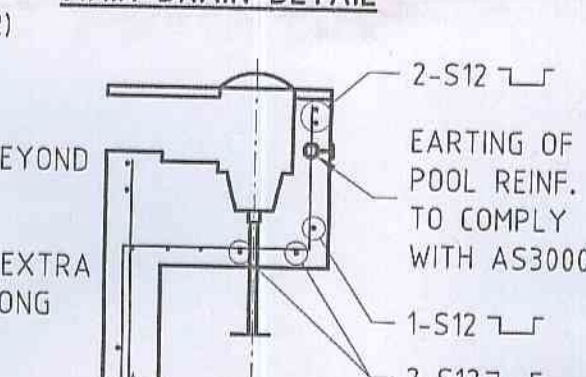
- O1 If owner is dissatisfied with initial pool set out, location or depths, builder should be notified before steel reinforcement is fixed.
- O2 The position of skimmers, lights, return lines etc. on this drawing is indicative only and final position to be determined on site.
- O3 The pool concrete should be cured by hosing four times per day for seven days (10 days in summer) to keep exposed concrete continuously wet after concrete placement.
- O4 Safety fencing should be in accordance with Local Councils requirements and conform to Australian Standards.
- O5 The pool is not designed for diving. Provide safety signage to SAA code and Council requirements and AS2416, AS2899.2. 66 Notify engineer if pool to be emptied after finishing.



COPING CORNER DETAIL
(FOR 300mm COPINGS OR SMALLER)



MAIN DRAIN DETAIL



ELEVATION SKIMMER DETAIL SECTION

P.M RYAN
BUILDER FOR PETER RYAN POOLS
LICENSED BUILDER No 114724C
A.B.N. 94 619 089 289
57 HILLCREST AVE MONA VALE 2103
Phone 9999 1444

Rev No	Eng	Revision Description	Amended By	Approval Date
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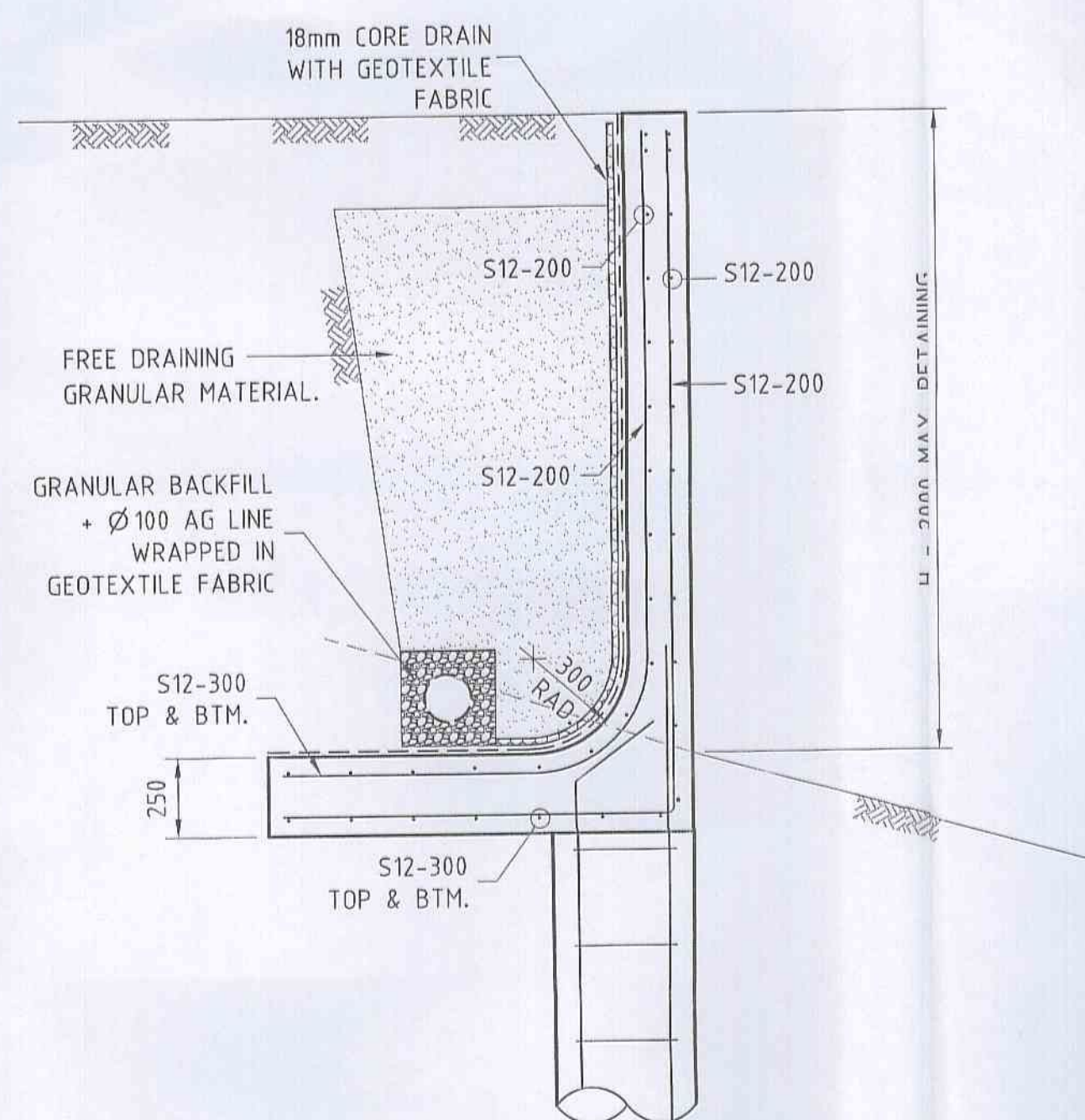
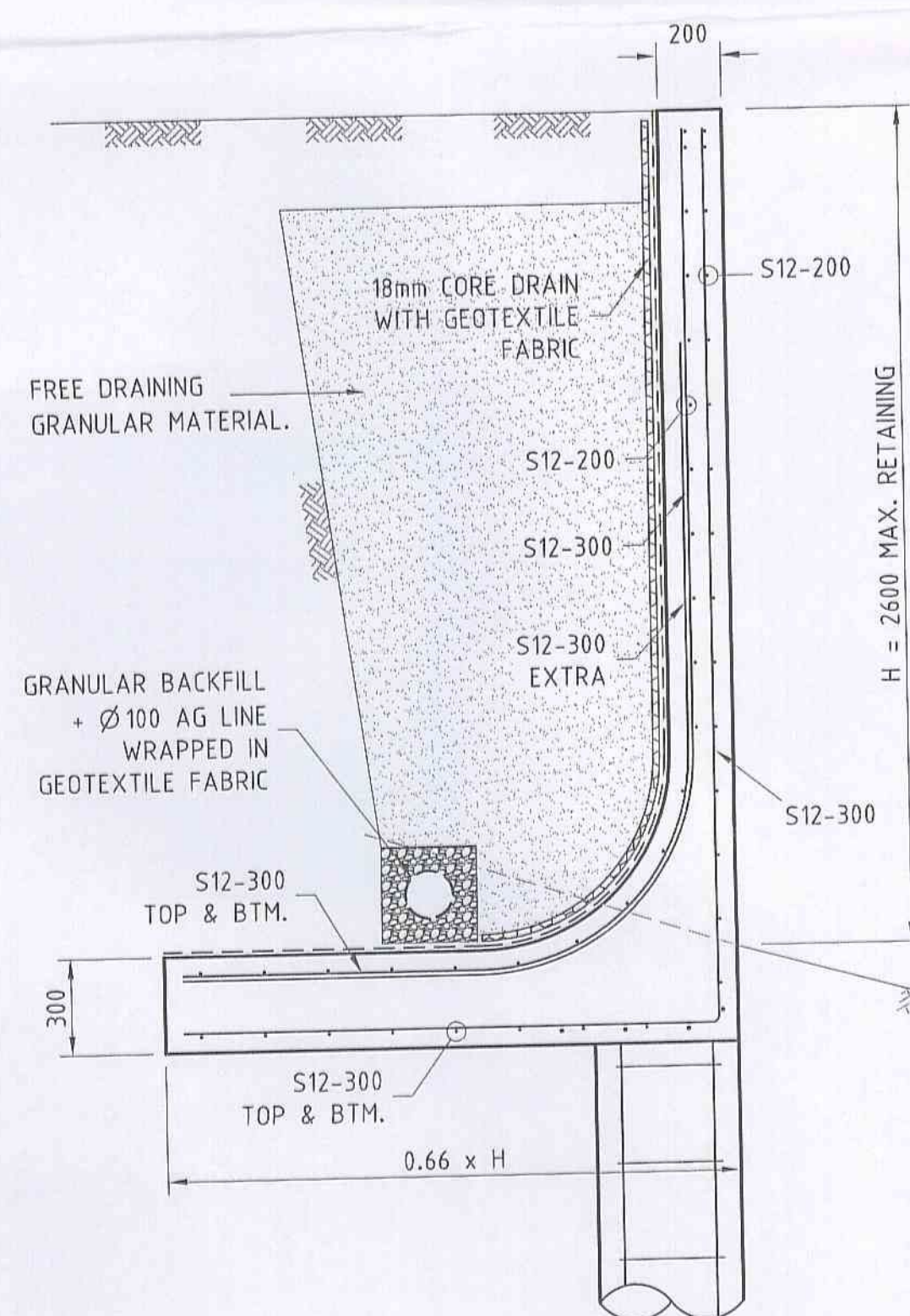
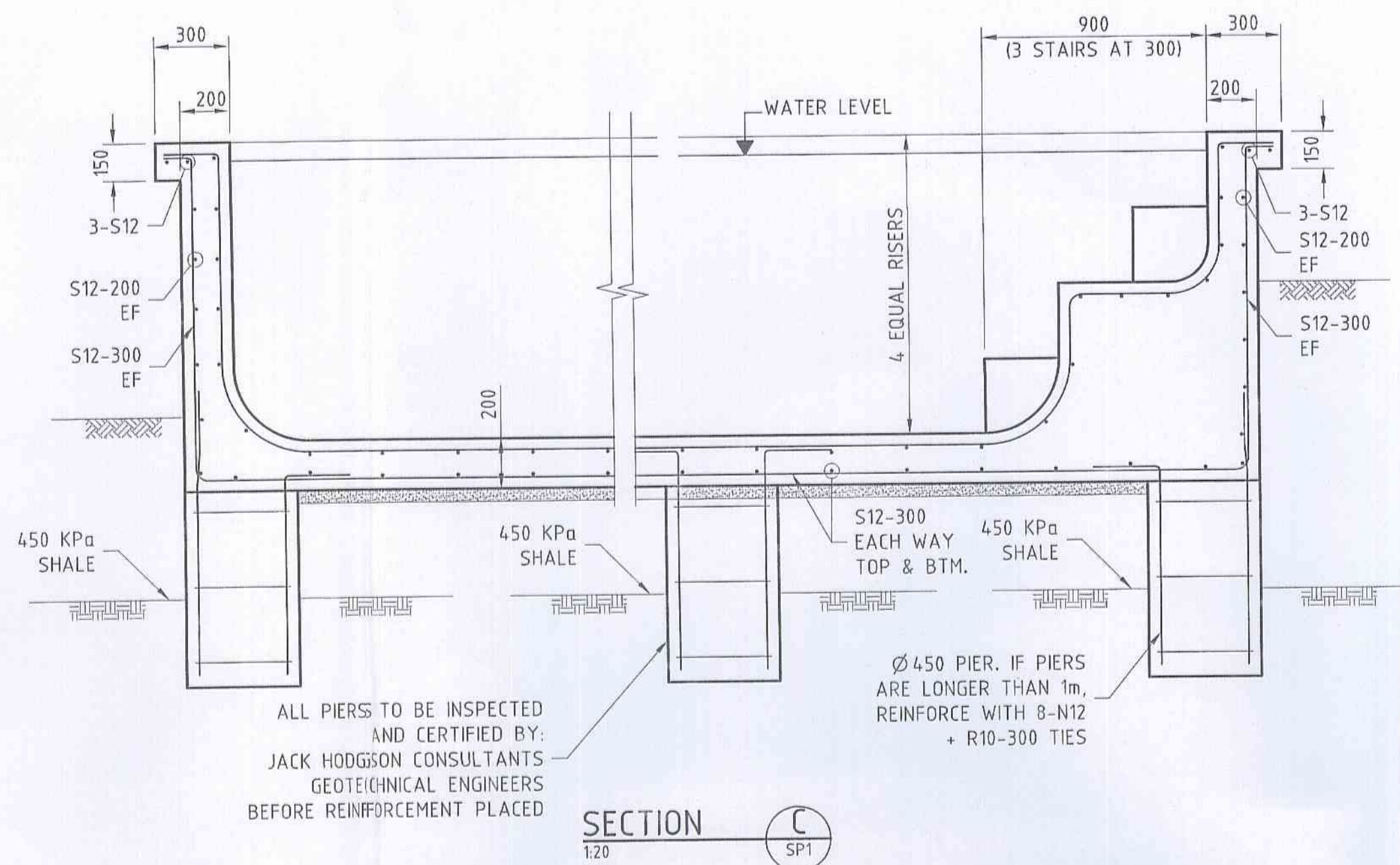
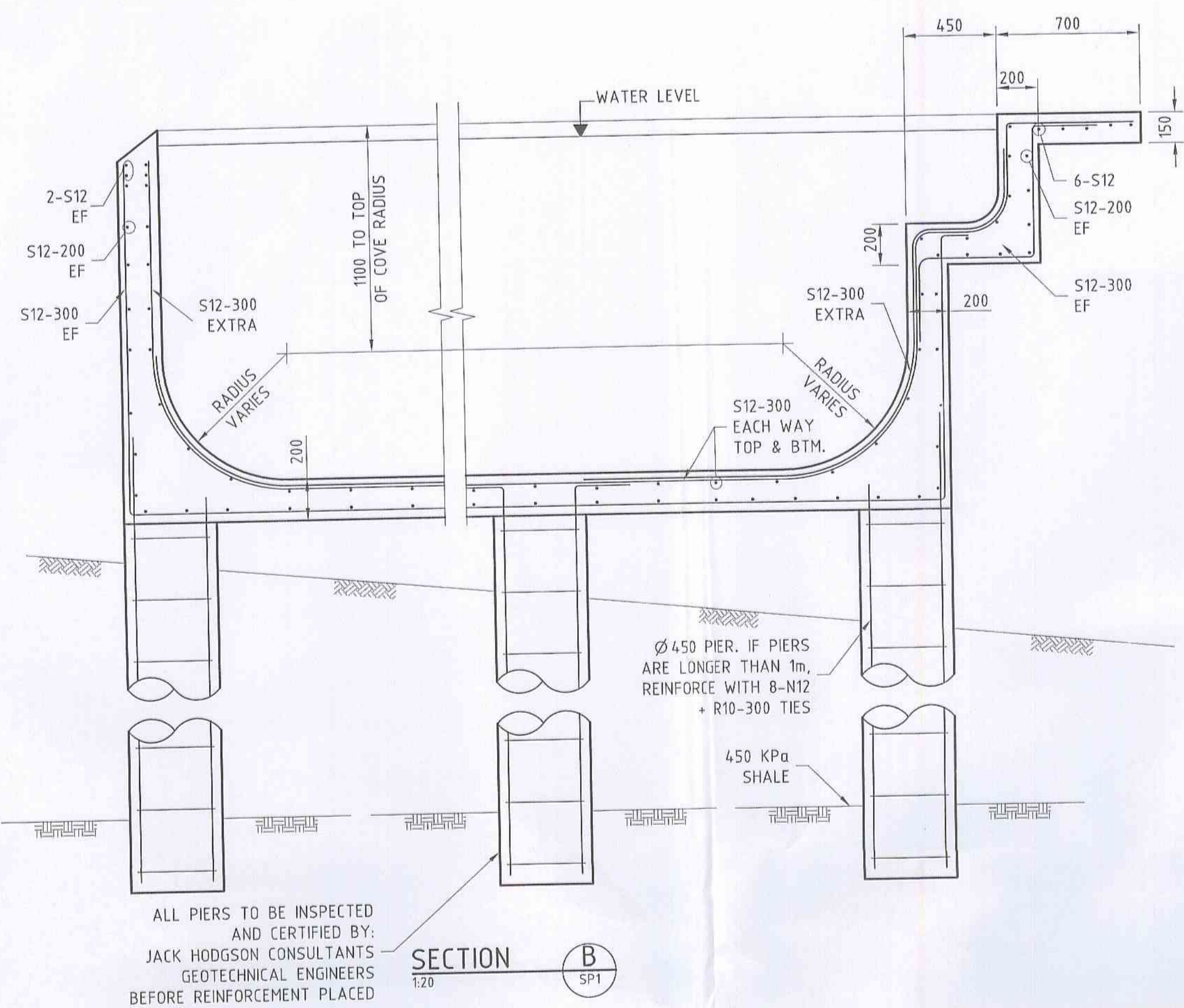
GEOFF NINNES, FONG & PARTNERS PTY. LTD.

ACN No. 001 849 289
Consulting Engineers
Civil Structural Stormwater
Level 1,
68-70 Crown Street,
Woolloomooloo, N.S.W. 2011
Phone 9332 5100 Fax 9331 2963
Email: sydney@gnfp.com.au

Project **PROPOSED NEW SWIMMING POOL FOR ALI & JANELLE GURSEL**
56 ATTUNGA RD, NEWPORT

Title **POOL PLAN & SECTIONS**

Drawn P.GRIGGS	Checked B.FONG	Disc. No.
Scale 1:100, 1:20	Date JUN 2010	RYA1007-SP1



2m SPRAYED RETAINING WALL.

WIRE CHAIRS (PLASTIC TIPPED) TO BE USED IN ALL OUT OF GROUND WALLS AND COPINGS. PLASTIC CHAIRS SHALL NOT BE USED. WHERE PLASTIC CHAIRS ARE USED ELSEWHERE IN POOL, PARTICULAR CARE TO BE TAKEN TO ENSURE CONCRETE IS COMPACTED AROUND AND UNDER CHAIR.

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<p>P.M RYAN BUILDER FOR PETER RYAN POOLS LICENSED BUILDER No 114724C A.B.N. 04 619 089 289 57 HILLCREST AVE MONA VALE 2103 Phone 9999 1444</p>				
Rev No	Eng	Revision Description	Amended By	Approval Date
<p>GEOFF NINNES, FONG & PARTNERS PTY. LTD.</p> <p>ACN No. 001 849 289 Consulting Engineers Civil Structural Stormwater</p> <p>Level 1 68-70 Crown Street Woolloomooloo, N.S.W. 2011 Phone 9332 5100 Fax 9331 2963 Email: sydney@gnfp.com.au</p>				
<p>Project: PROPOSED NEW SWIMMING POOL FOR ALI & JANELLE GURSEL 56 ATTUNGA RD, NEWPORT</p>				
<p>Title: POOL & RETAINING WALL DETAILS</p>				
Drawn P.GRIGGS	Checked B.FONG	Drwg. No. RYA1007-SP2		
Scale 1:20	Date JUN 2010			