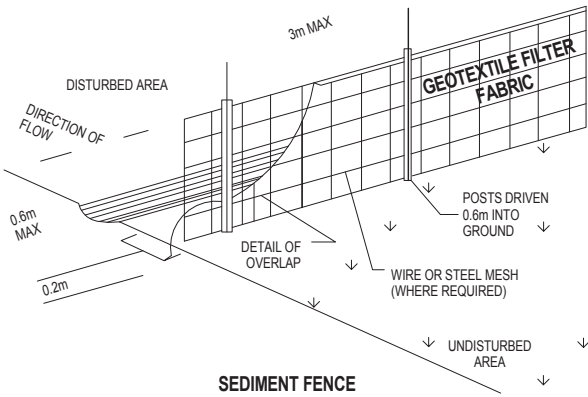




THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2022/0771

LOT 5  
DP 528415  
NEIGHBOURING  
DWELLING



**DUST CONTROL :**  
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

**SEDIMENT NOTE :**  
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.  
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.  
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.  
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.  
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

**STOCKPILES :**  
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.  
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.  
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

**GUTTER PROTECTION :**  
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

**NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING**

LOT 2  
DP 228781  
NEIGHBOURING  
DWELLING

TOWARRI PLACE

SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT PLAN

1:200

NOTE: NO PROPOSED SITE WORKS



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B	06/06/2022	DA: REV A	RNA

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**LEGEND**  
EXISTING  
PROPOSED  
DEMOLISHED

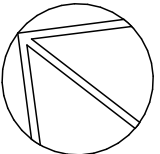
**CLIENT**  
ADAM & TINA SIMEK

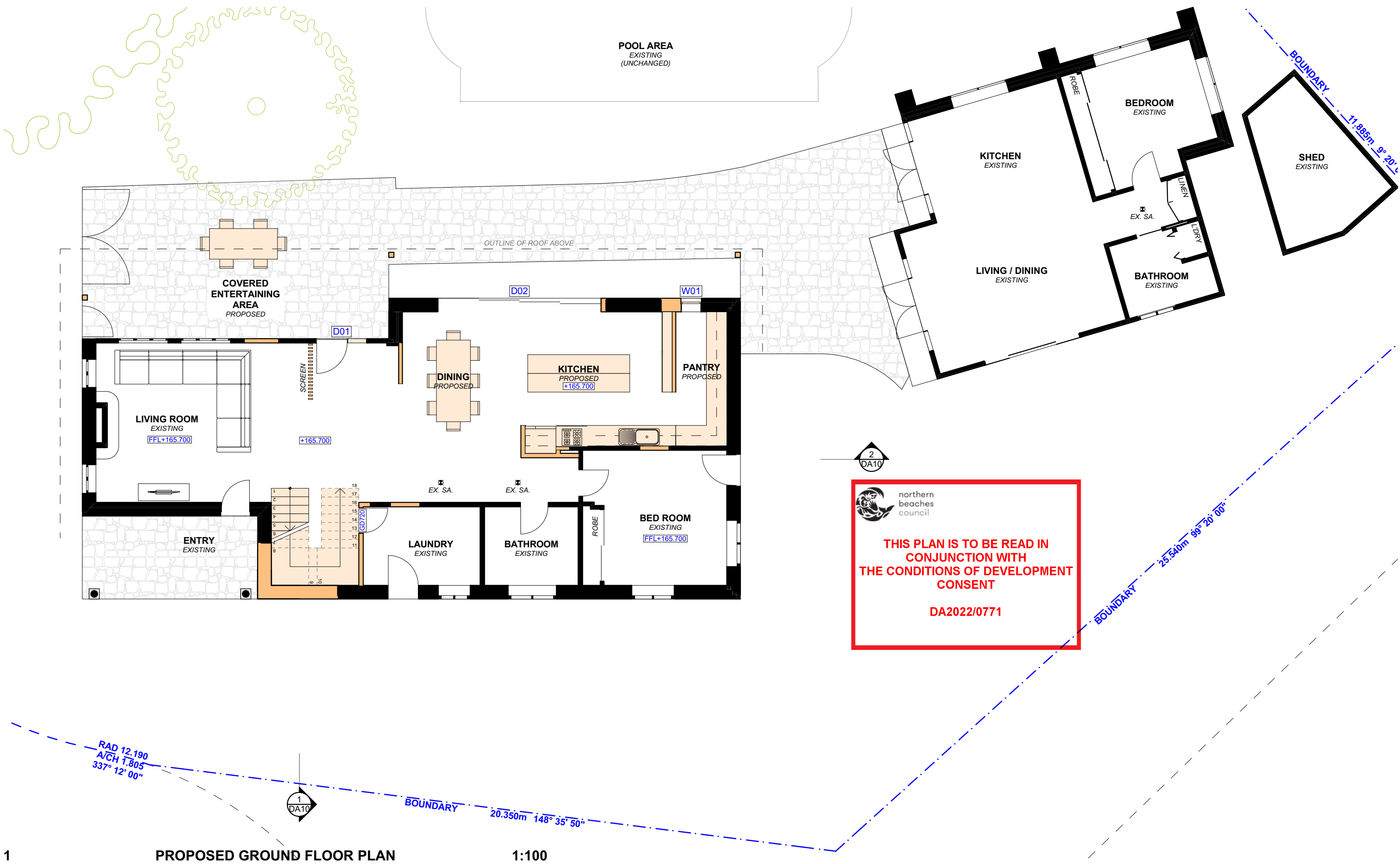
**PROJECT ADDRESS**  
9 TOWARRI PLACE,  
BELROSE NSW 2085

**DRAWING NO.**  
DA04

**DATE**  
Monday, 6 June 2022

**DRAWING NAME**  
SITE / ROOF / SEDIMENT EROSION /  
WASTE MANAGEMENT /  
STORMWATER CONCEPT PLAN  
**SCALE**  
1:200 @A3





1 PROPOSED GROUND FLOOR PLAN 1:100



northern  
beaches  
council

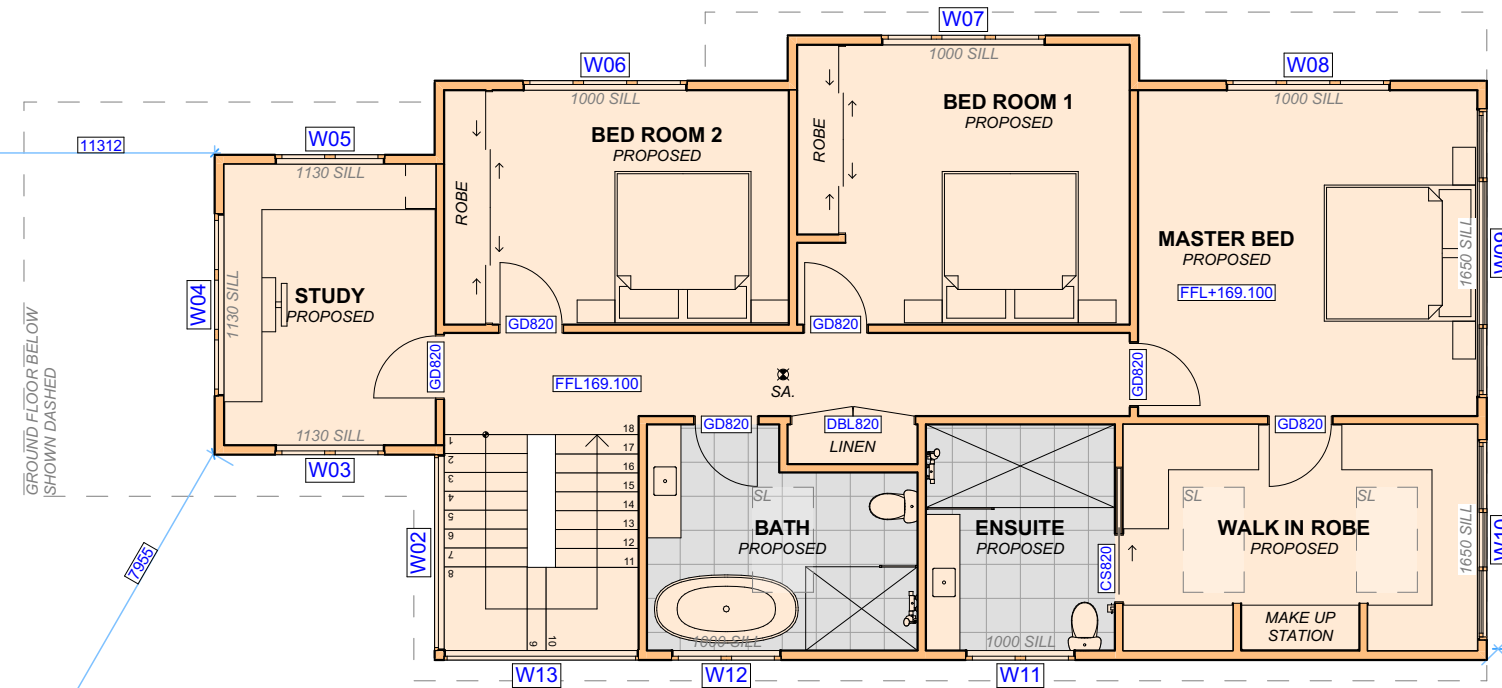
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GROUND FLOOR BELOW  
SHOWN DASHED

BOUNDARY

11.885m 9° 20' 00"



BOUNDARY

25.540m 99° 20' 00"

RAD 12.190  
A/CH 1.805  
337° 12' 00"



BOUNDARY

20.350m 148° 35' 50"

ALL BEDROOM WINDOWS WITH A SILL LESS THEN 1.7m  
TO BE RESTRICTED IN ACCORDANCE WITH BCA 3.9.2.6.  
ALL OPENABLE WINDOWS IN OTHER ROOMS TO BE  
RESTRICTED IN ACCORDANCE WITH BCA 3.9.2.7.

## PROPOSED FIRST FLOOR PLAN

1:100



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### LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED
- SA. SMOKE ALARM

### CLIENT

ADAM & TINA SIMEK

### PROJECT ADDRESS

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BELROSE NSW 2085

### DRAWING NO.

DA07

### DATE

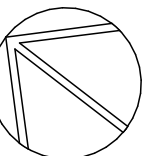
Monday, 6 June 2022

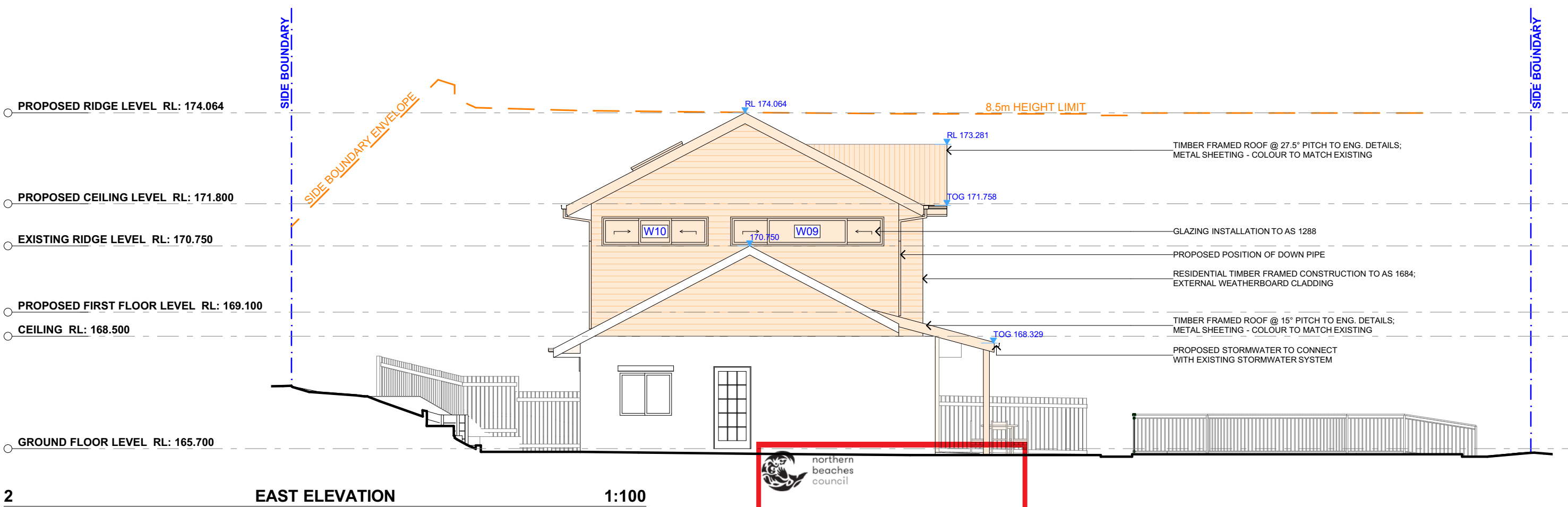
### DRAWING NAME

PROPOSED FIRST FLOOR PLAN

### SCALE

1:100 @A3

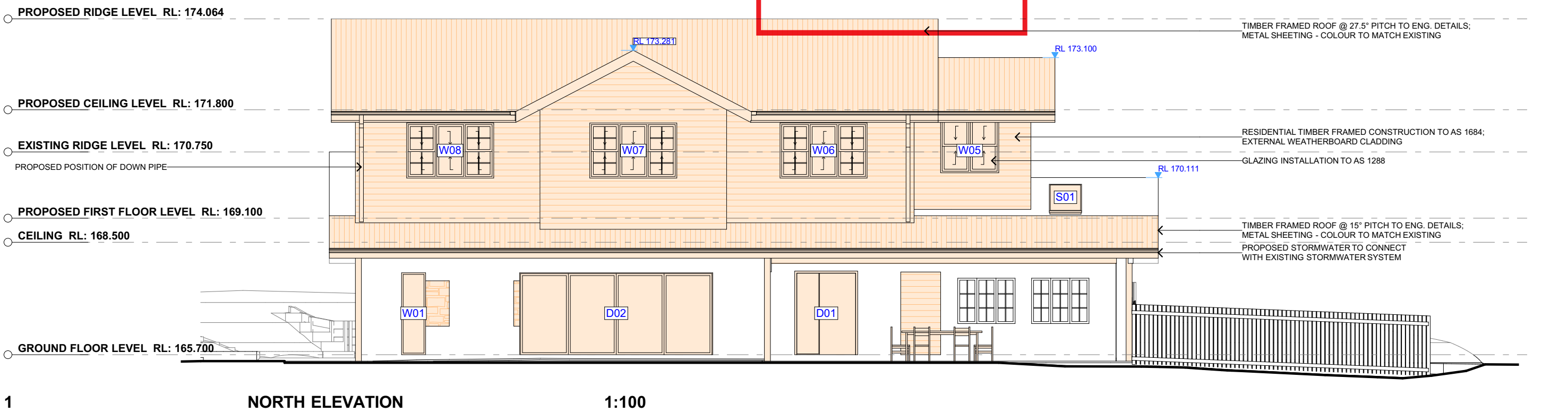




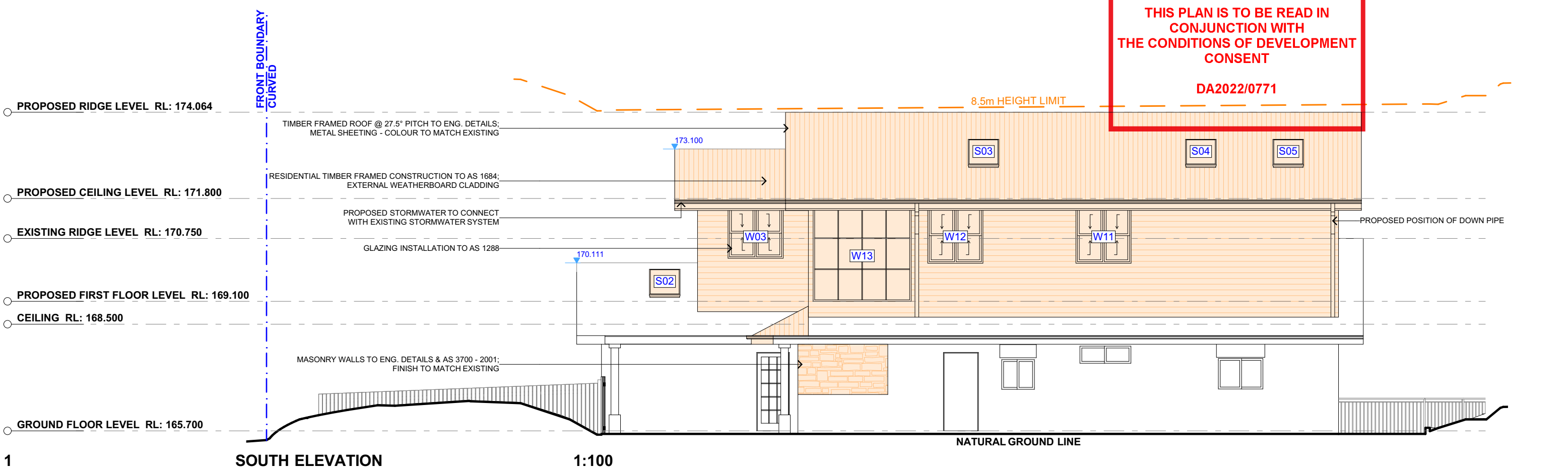
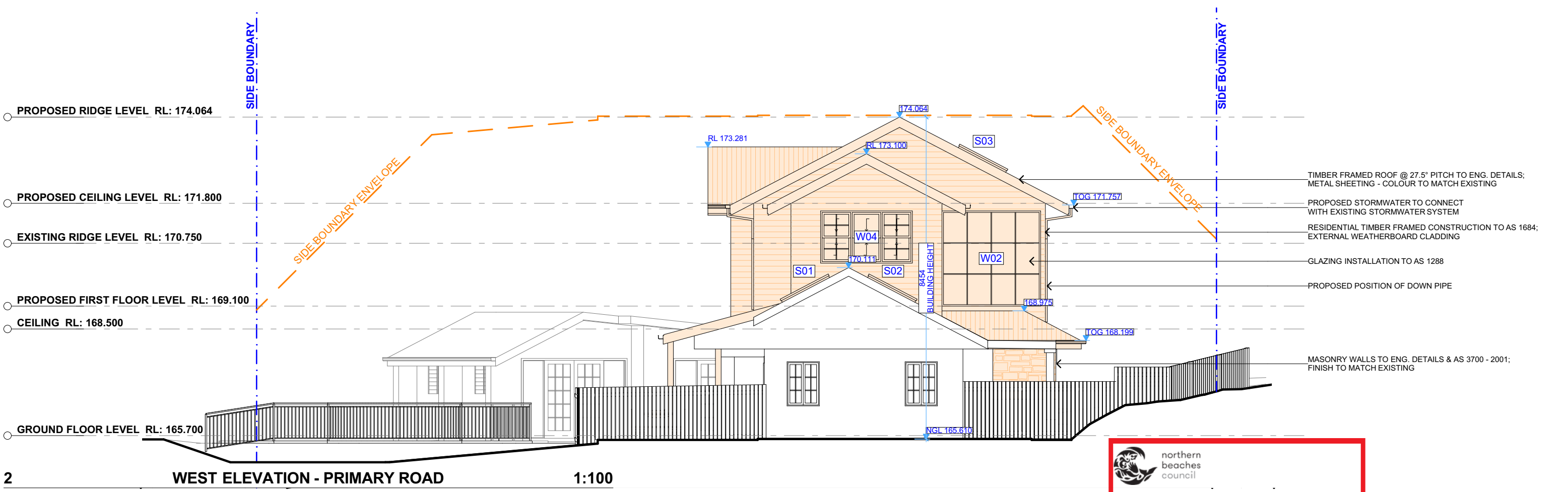
 northern beaches council


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**DA2022/0771**









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A	16/02/2022	DEVELOPMENT APPLICATION	DLR	<div>This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.</div>
B	06/06/2022	DA: REV A	RNA	

LEGEND

EXISTING

PROPOSED

---

 DEMOLISHED

CLIENT

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DRAWING NO.

DA09

DATE

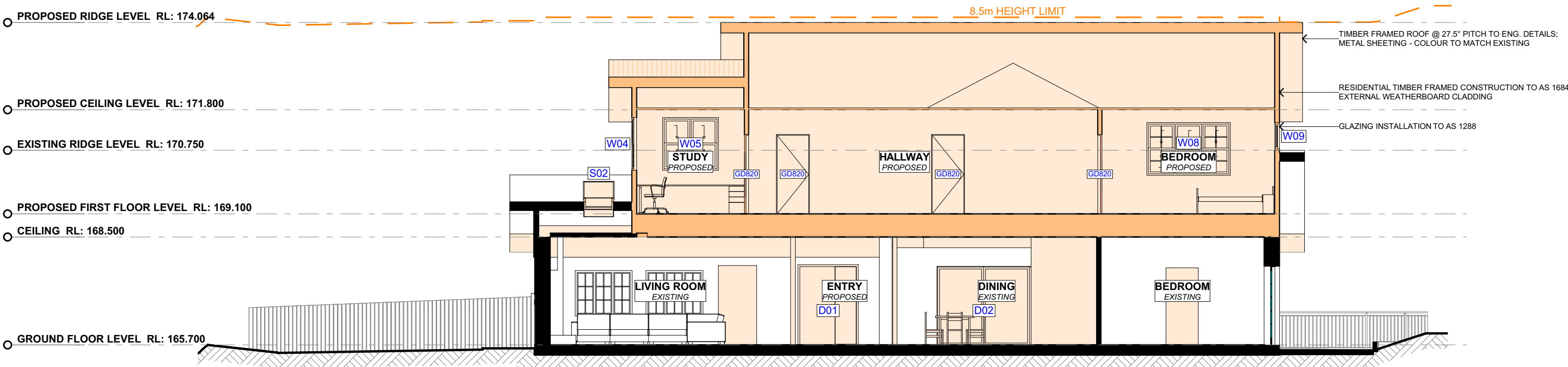
Monday, 6 June 2022

DRAWING NAME

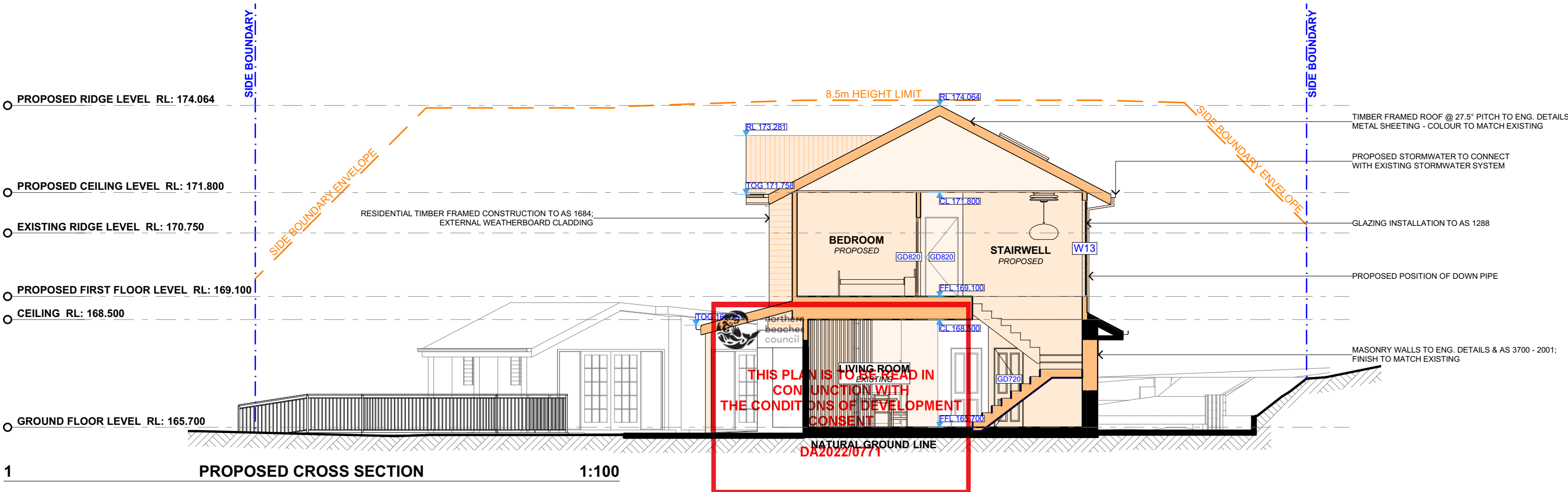
SOUTH / WEST ELEVATION

SCALE

1:100 @A3



2 PROPOSED LONG SECTION 1:100



1 PROPOSED CROSS SECTION 1:100



**MT-01**  
PAINTED COLOURBOND METAL ROOF SHEETING.  
  
'IRONSTONE' OR SIMILAR  
  
WHERE MARKED ON ELEVATION.



northern  
beaches  
council

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DA2022/0771

**SS-01**  
SANDSTONE CLADDING  
  
TO MATCH EXISTING  
  
WHERE MARKED ON ELEVATION.

**WB-01**  
WEATHERBOARD CLADDING  
  
TO MATCH EXISTING  
  
WHERE MARKED ON ELEVATION.

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REV.	DATE	COMMENTS	DRWN
A	16/02/2022	DEVELOPMENT APPLICATION	DLR
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LEGEND

CLIENT

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BELROSE NSW 2085

DRAWING NO.

DA12

DATE

Monday, 6 June 2022

DRAWING NAME

SAMPLEBOARD

SCALE

@A3