



ROOF: CUSTOM ORB, SHALE GREY



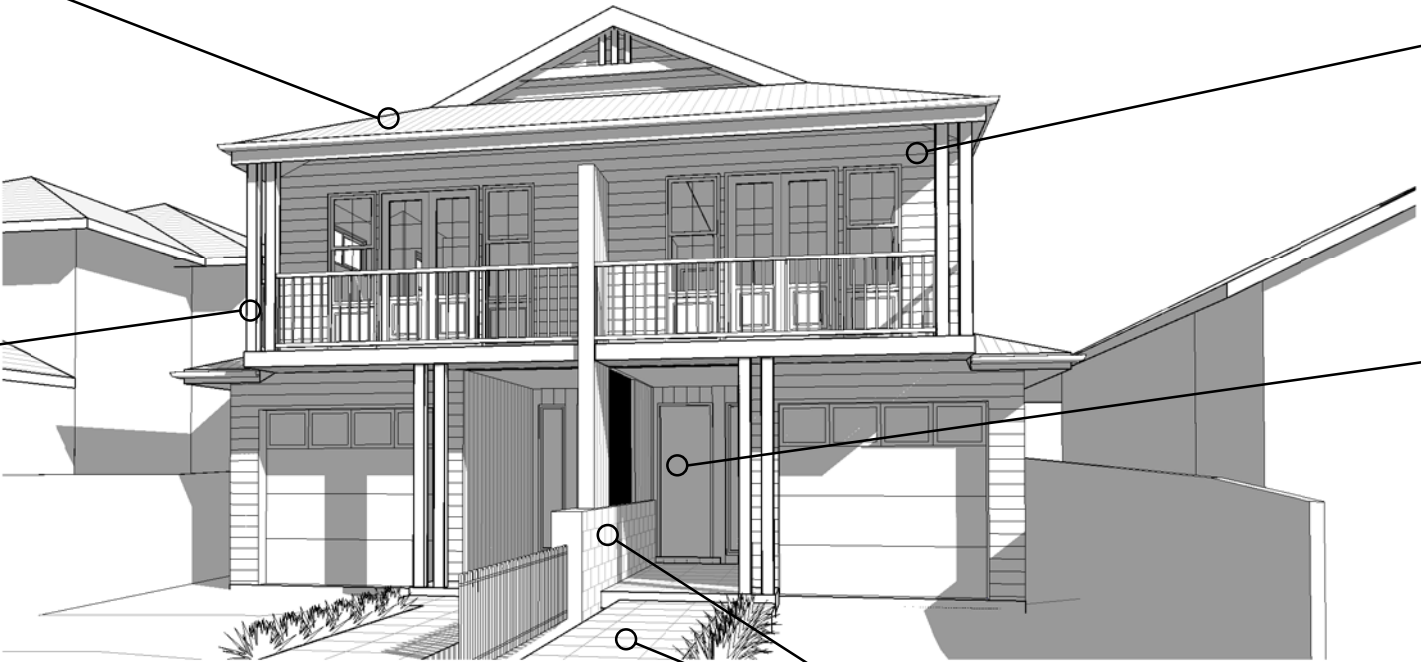
WALLS: WEATHERBOARD, LEXICON HALF



TIMBER WORK: WHITE



FRONT DOOR: DARK BLUE



COLOUR PALETTE



ENTRY WALL, FENCE & PATH: SANDSTONE



PROJECT
NEW SEMI DETACHED DWELLINGS
FOR
NONIE VANESS & PASA SAGLAM

PROJECT ADDRESS
143 BALGOWLAH RD BALGOWLAH
LOT: 17 DP: 9362

PROJECT No
02001
DRAWING
COVER SHEET

DRAWING No
A01
REV
1

Drawing List	
Sheet No.	Sheet Name
A01	COVER SHEET
A02	SITE PLAN
A03	GROUND FLOOR PLAN
A04	FIRST FLOOR PLAN
A05	ELEVATIONS
A06	ELEVATIONS
A07	SECTION & DRIVEWAY DESIGN
A08	DEMOLITION & EXCAVATION PLAN
A09	SUBDIVISION PLAN & LANDSCAPE PLAN
A10	CALCULATIONS
A11	SITE ANALYSIS
A12	SHADOW DIAGRAM JUNE 21 9am
A13	SHADOW DIAGRAM JUNE 21 12pm
A14	SHADOW DIAGRAM JUNE 21 3pm
A15	BASIX COMMITMENTS

ABBREVIATIONS

AC	AIR CONDITIONING UNIT
CH	CEILING HEIGHT
CR	CEMENT RENDER
HC	HOSECOCK
HWU	HOT WATER UNIT
MR	METAL ROOF
RWT	RAINWATER TANK
VP	VERTICAL PANELLING
WB	WEATHERBOARD
WC	WATER CLOSET
WIR	WALK-IN-ROBE

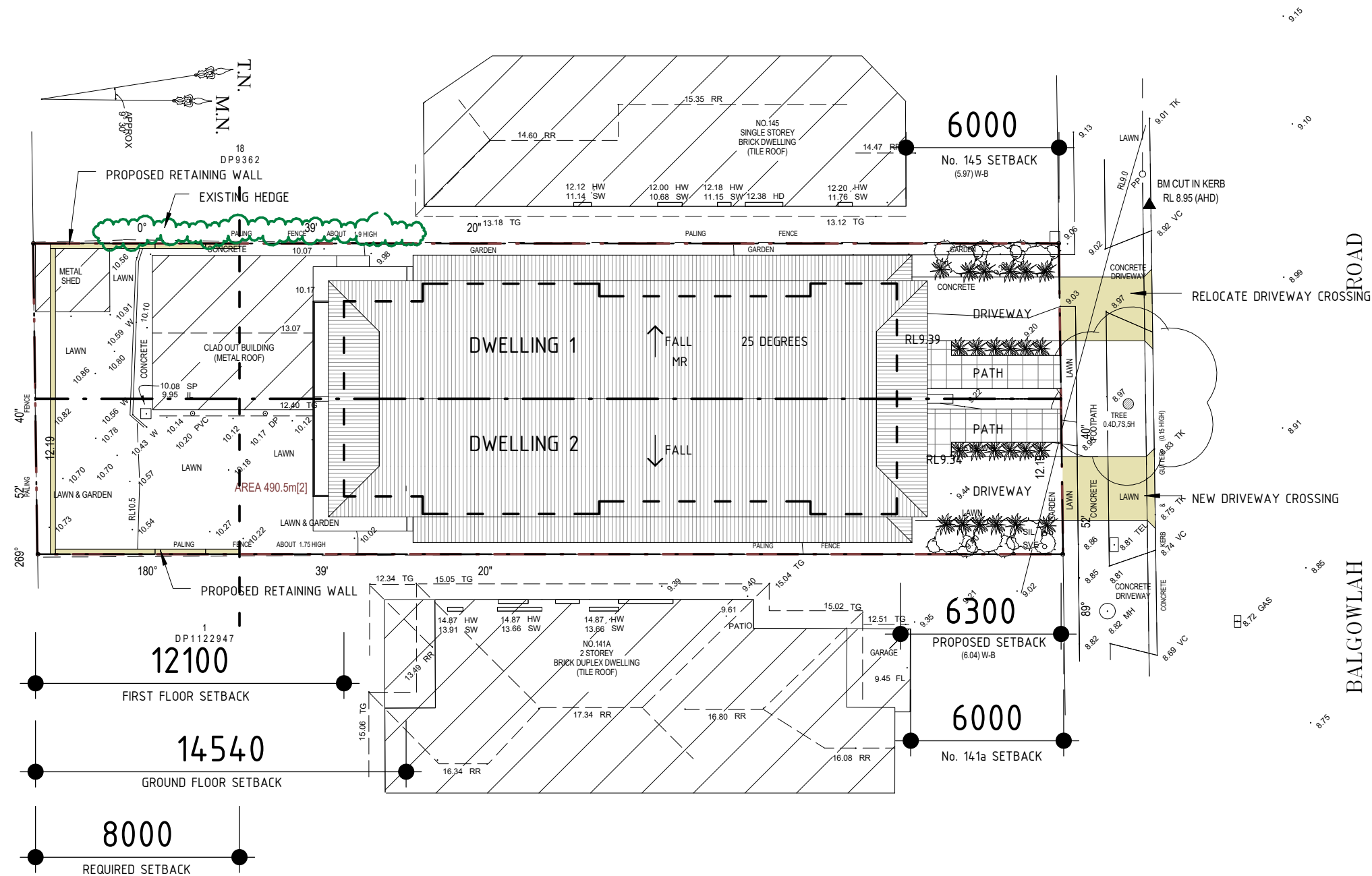


1	Development Application	02.06.2021
No	Revision Description	Date



80 WEST ST BALGOWLAH NSW 2093 **Ph: 9400 4554**
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1	Development Application	02.06.2021
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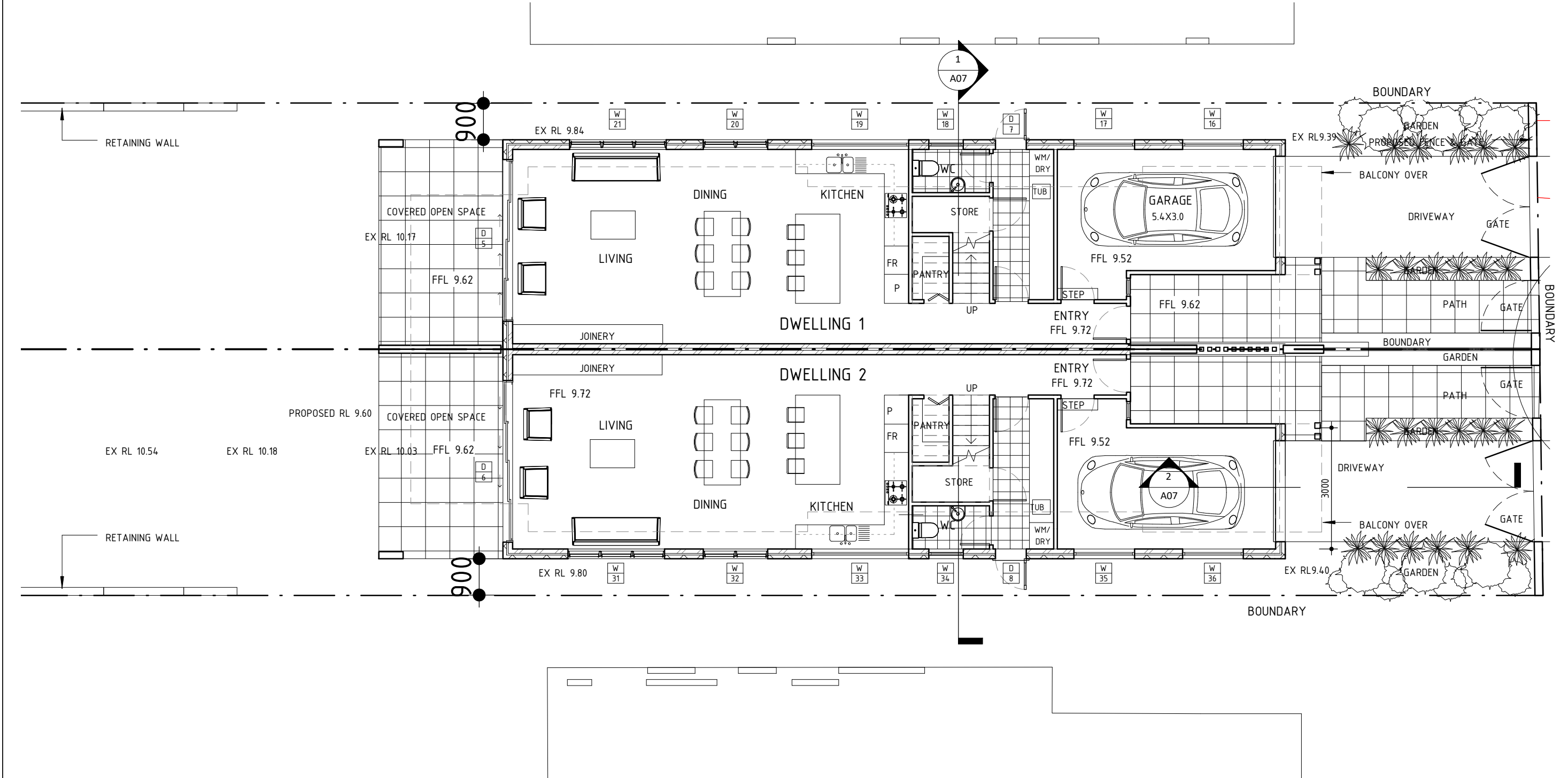
 SCOPE ARCHITECTS	80 WEST ST BALGOWLAH NSW 2093 mail@scopearchitects.com.au ph: 9400 4554 www.scopearchitects.com.au	CLIENT NONIE VANESS & PASA SAGLAM	PROJECT NEW SEMI DETACHED DWELLINGS 143 BALGOWLAH RD BALGOWLAH LOT: 17 DP: 9362	DRAWING TITLE SITE PLAN		DRAWN Xu	PROJECT NO. 02001	DRAWING NO A02	REV NO 1
						SIZE A3	SCALE 1 : 200		

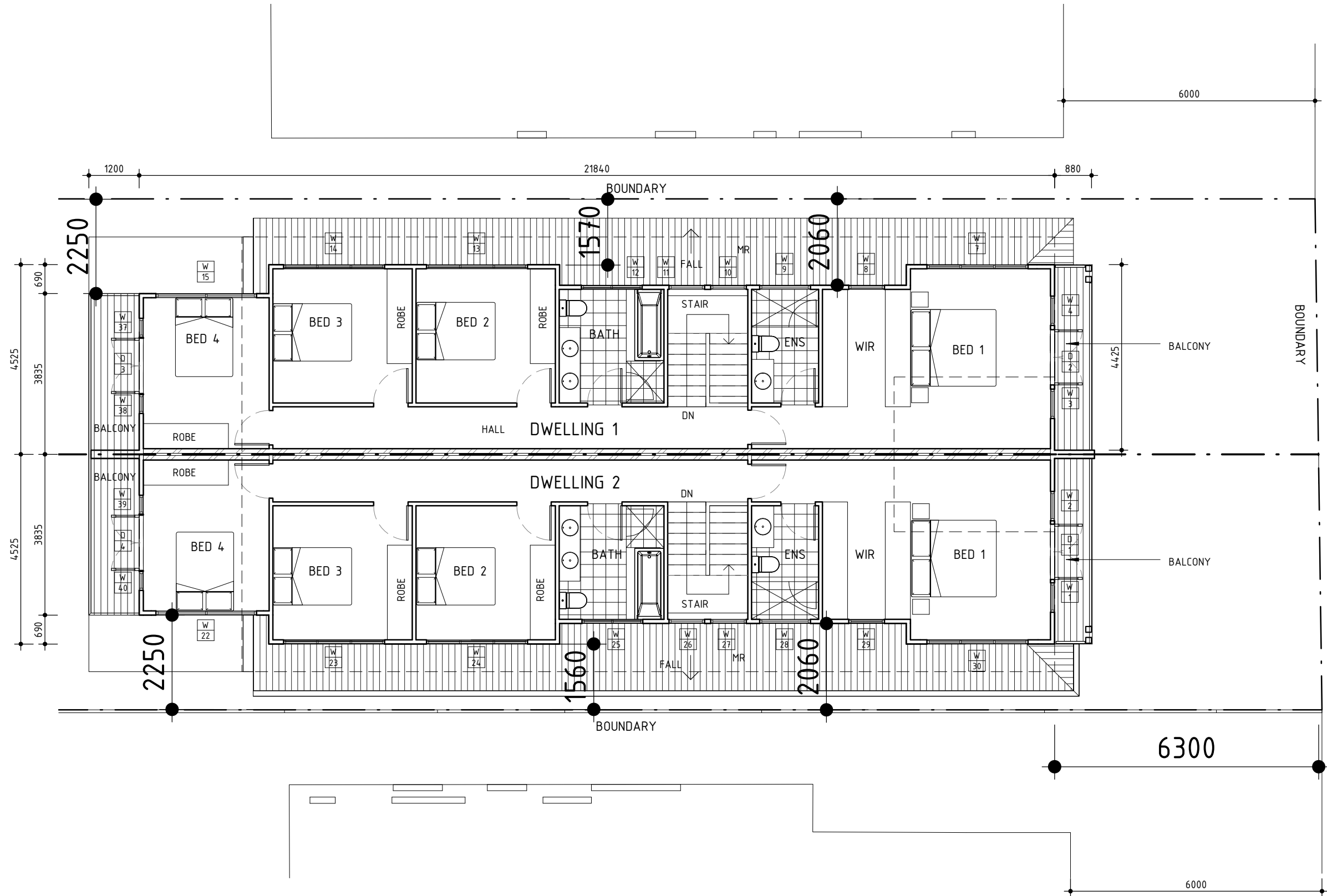




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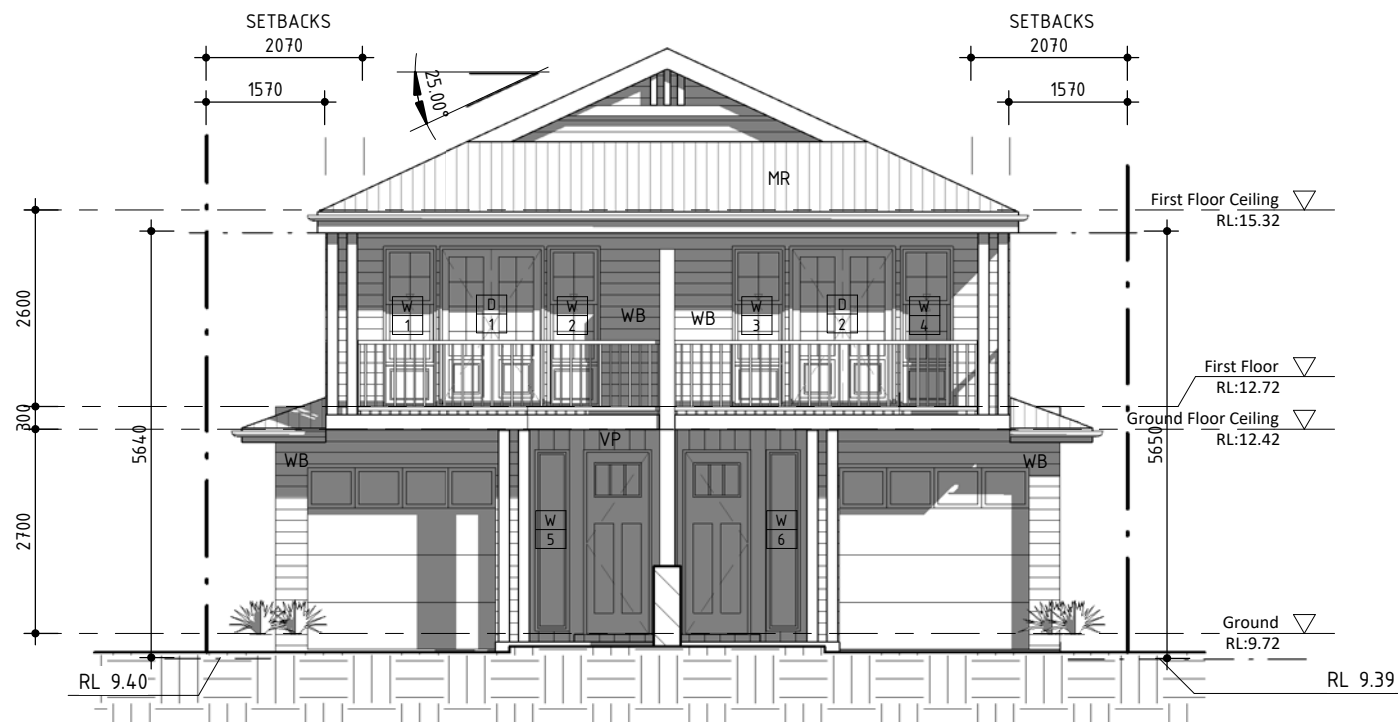
 80 WEST ST BALGOWLAH NSW 2093 mail@scopearchitects.com.au ph: 9400 4554 www.scopearchitects.com.au	CLIENT NONIE VANESS & PASA SAGLAM	PROJECT NEW SEMI DETACHED DWELLINGS 143 BALGOWLAH RD BALGOWLAH LOT: 17 DP: 9362	DRAWING TITLE GROUND FLOOR PLAN	TRUE NORTH 	DRAWN Xu	PROJECT NO. 02001	DRAWING NO A03	REV NO 1
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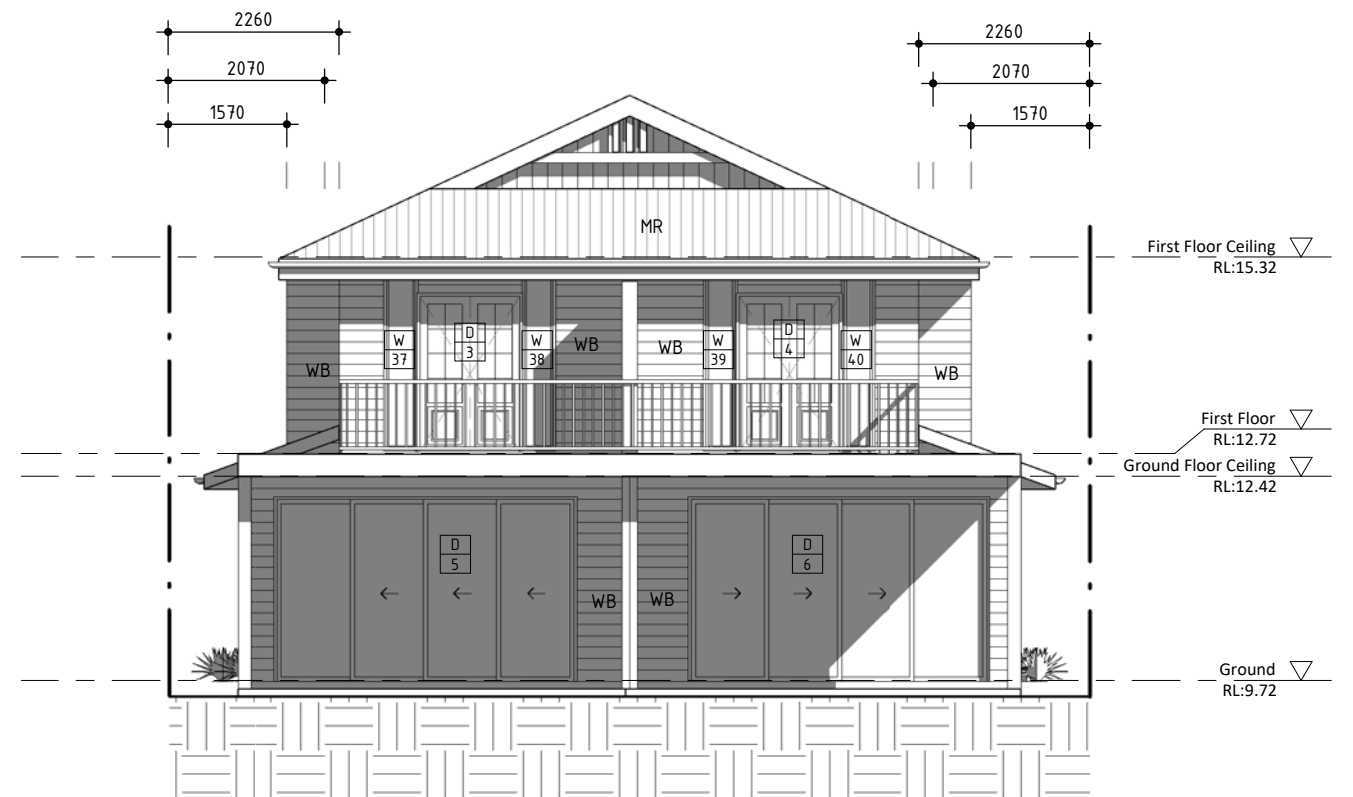


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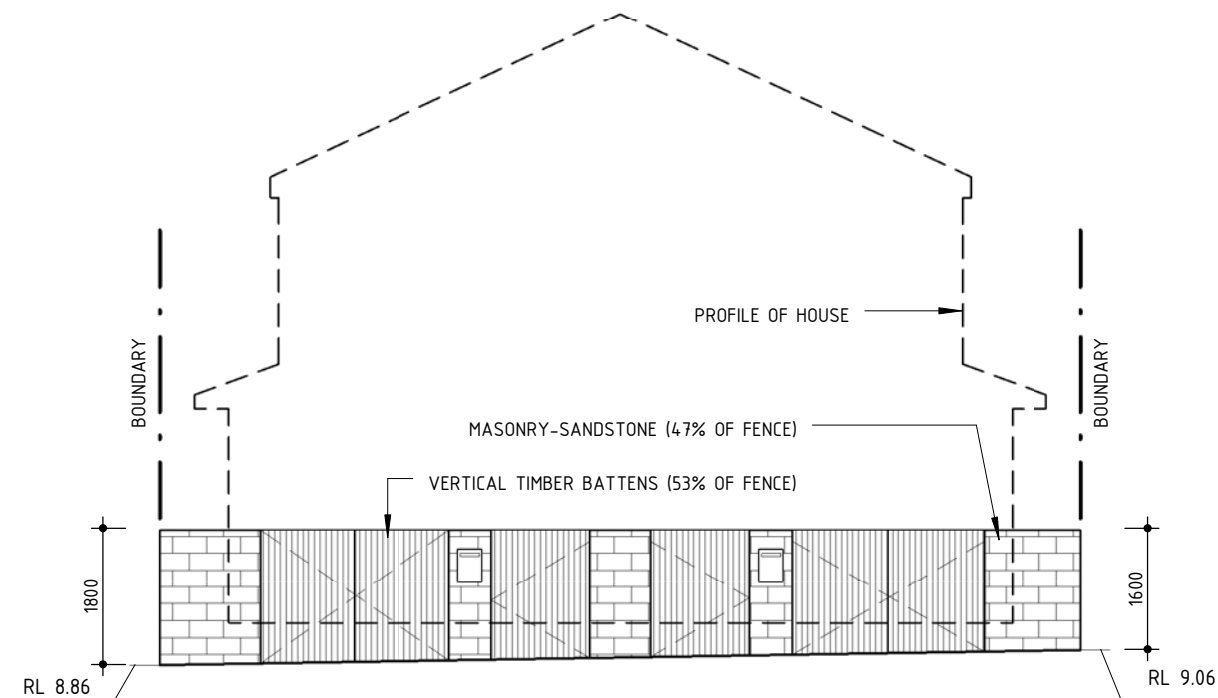
 80 WEST ST BALGOWLAH NSW 2093 mail@scopearchitects.com.au ph: 9400 4554 www.scopearchitects.com.au	CLIENT NONIE VANESS & PASA SAGLAM	PROJECT NEW SEMI DETACHED DWELLINGS 143 BALGOWLAH RD BALGOWLAH LOT: 17 DP: 9362	DRAWING TITLE FIRST FLOOR PLAN	TRUE NORTH 	DRAWN Xu	PROJECT NO. 02001	DRAWING NO A04	REV NO 1
					SIZE A3	SCALE 1 : 100		



1 North Elevation
1 : 100



2 South Elevation
1 : 100



3 Fence Elevation
1 : 100

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**NONIE VANESS & PASA
SAGLAM**

PROJECT
NEW SEMI DETACHED DWELLINGS
143 BALGOWLAH RD BALGOWLAH
LOT: 17 DP: 9362

DRAWING TITLE
ELEVATIONS

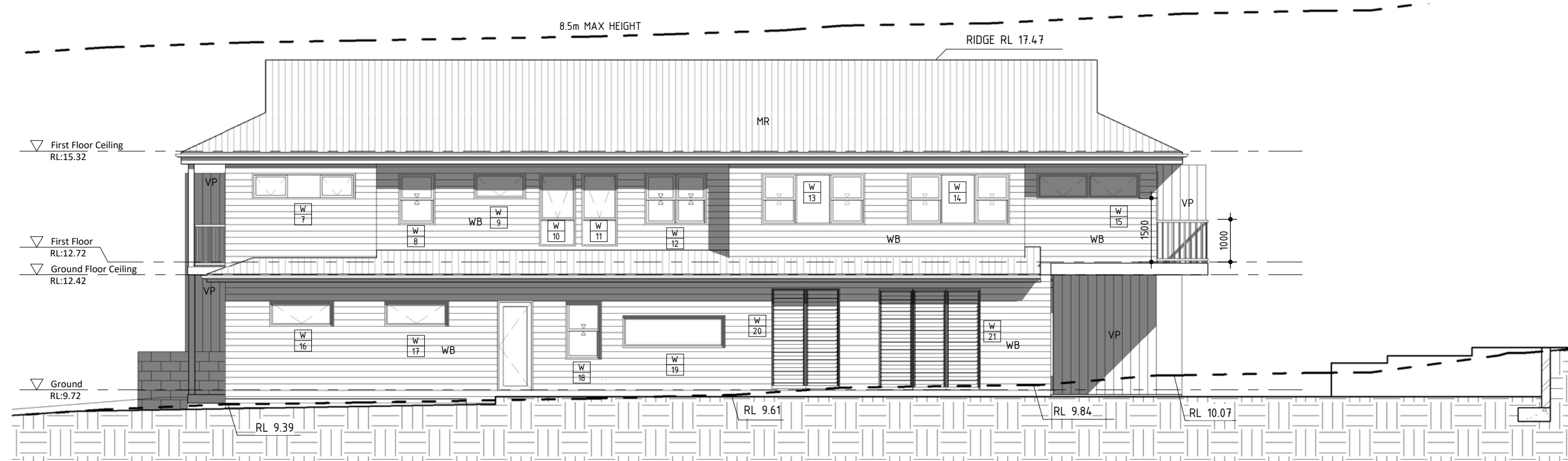
TRUE NORTH

DRAWN
Xu
SIZE
A3

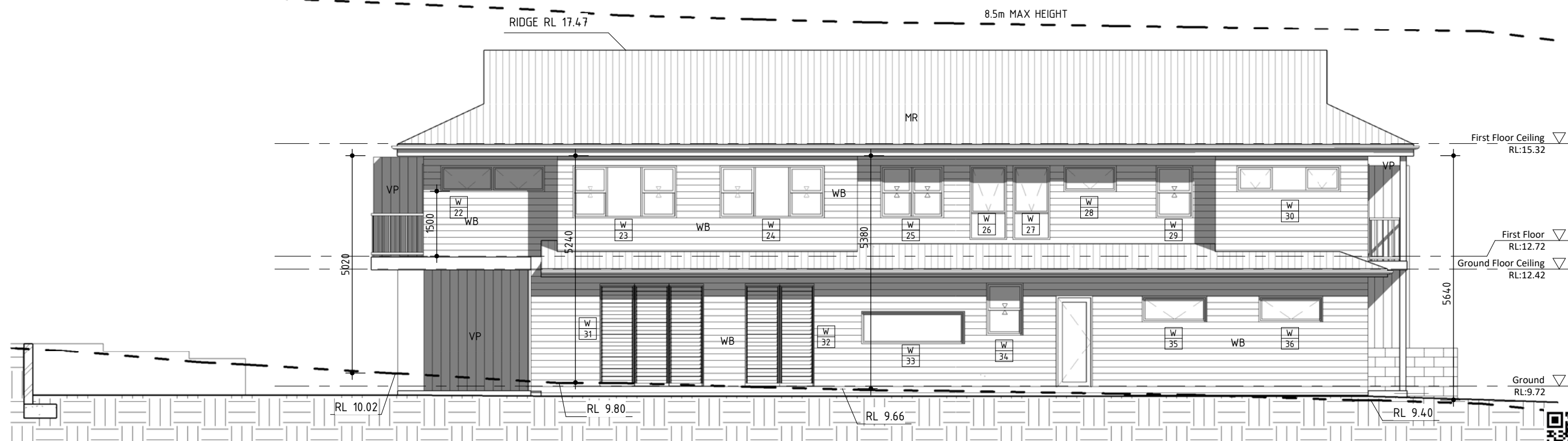
PROJECT NO.
02001
SCALE
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DRAWING NO
A05
REV NO
1





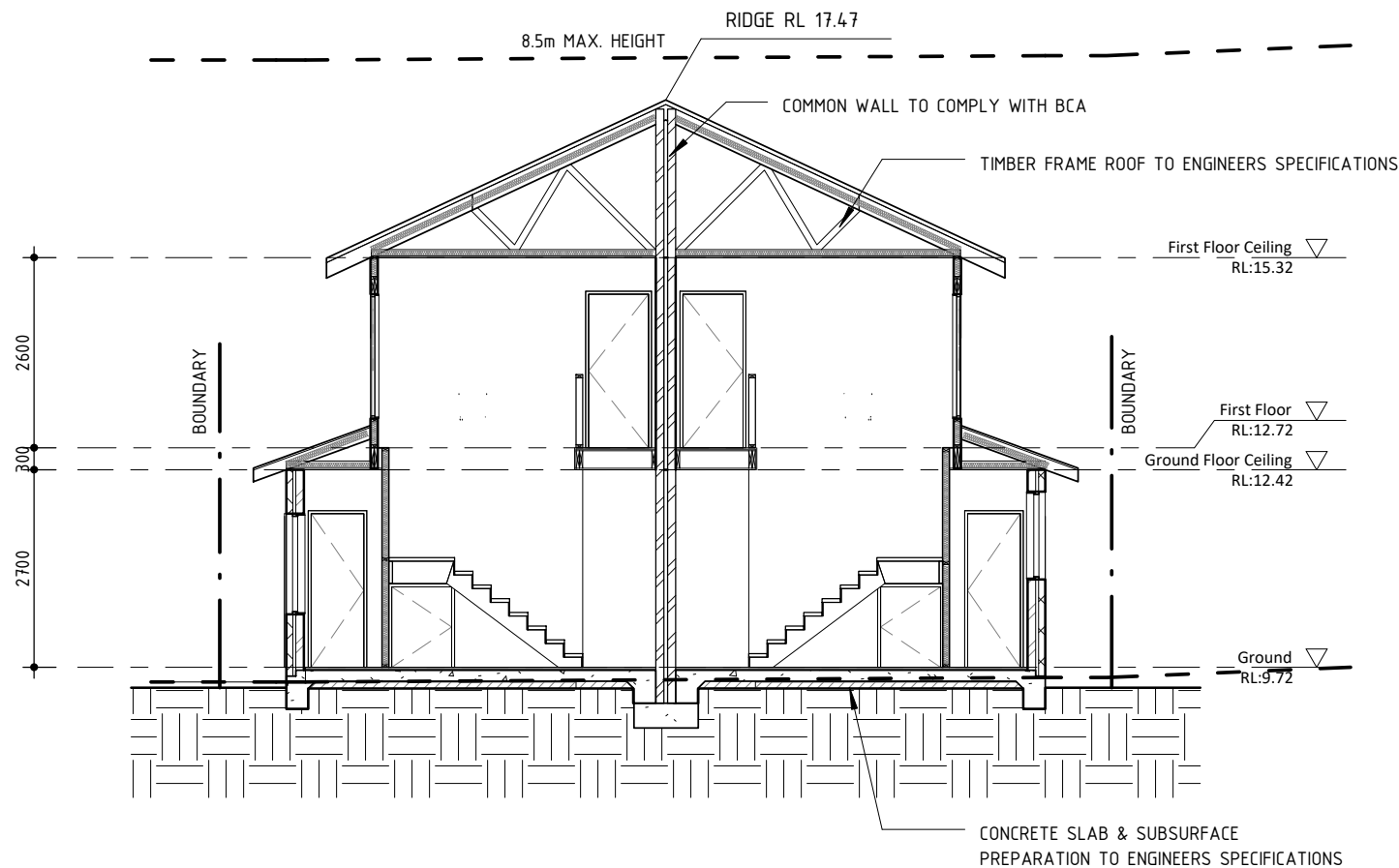
1 West Elevation
1 : 100



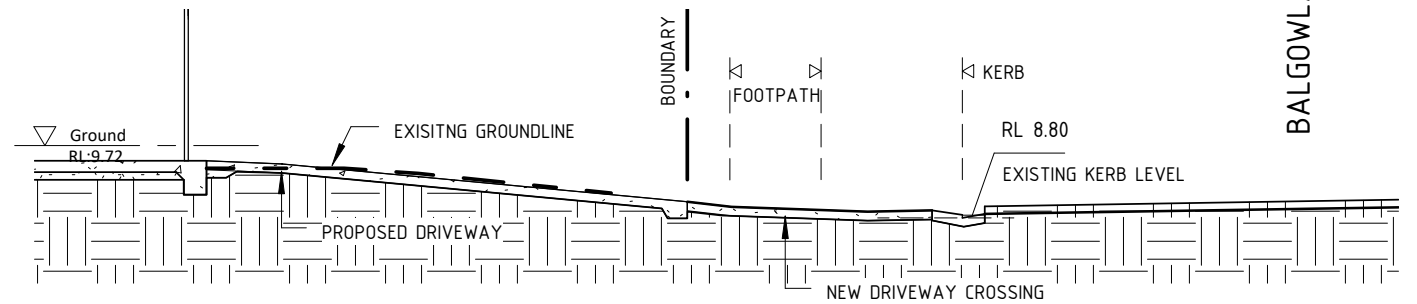
2 East Elevation
1 : 100

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1 Cross Section
1 : 100

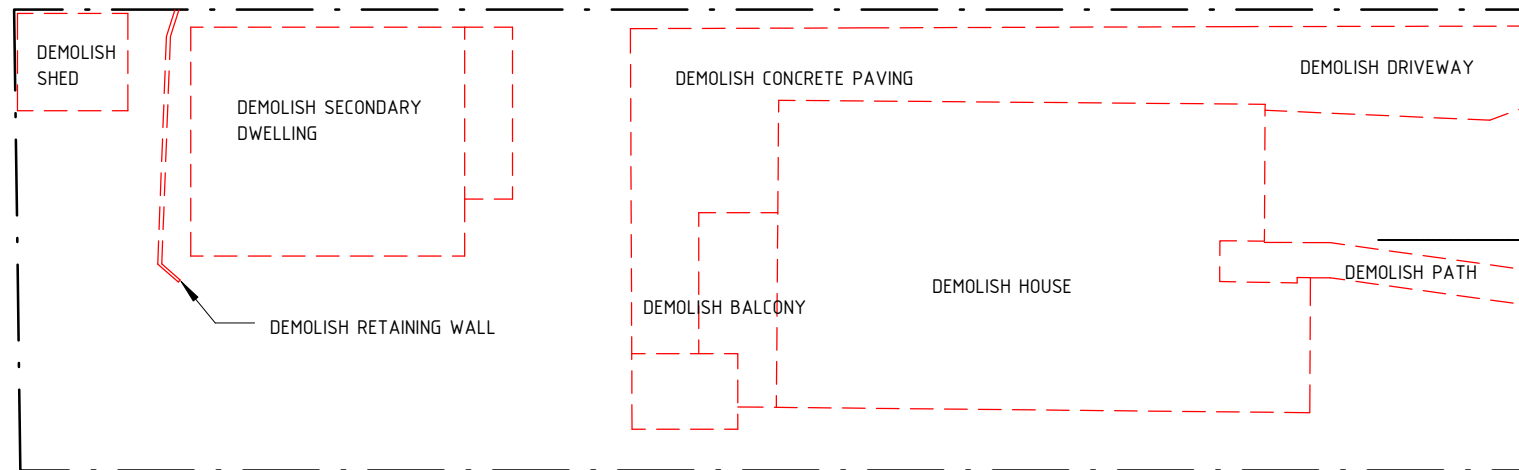


2 Concept Driveway Section
1 : 100

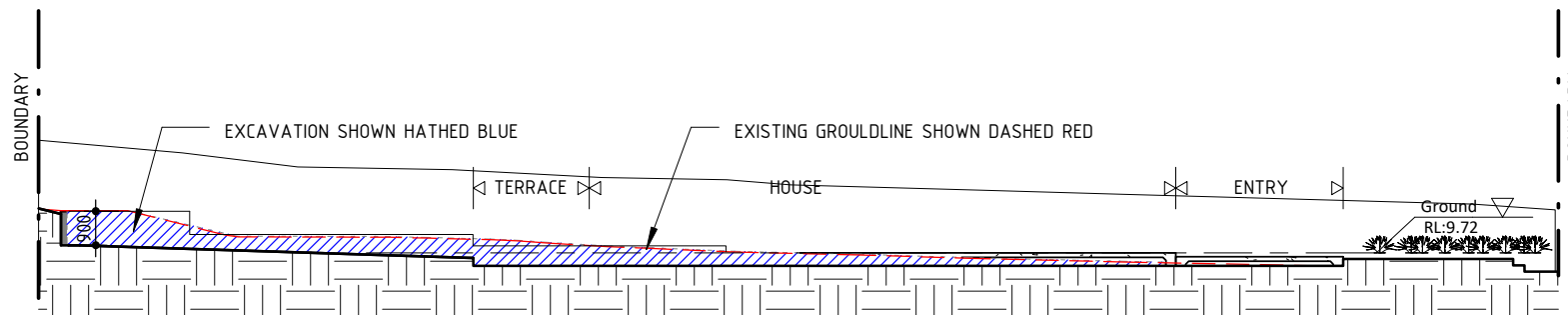
1	Development Application	02.06.2021
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1 Demolition Plan
1 : 200



2 Excavation Section
1 : 200



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LOT: 17 DP: 9362

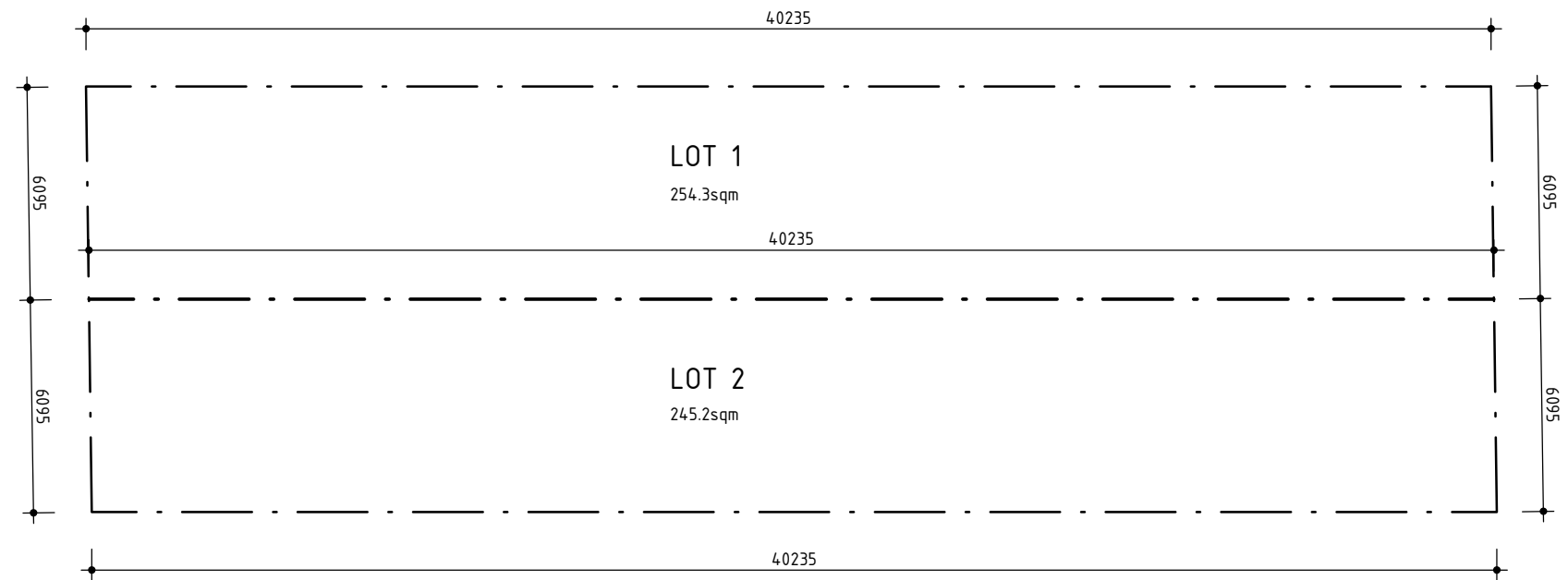
DRAWING TITLE
**DEMOLITION & EXCAVATION
PLAN**



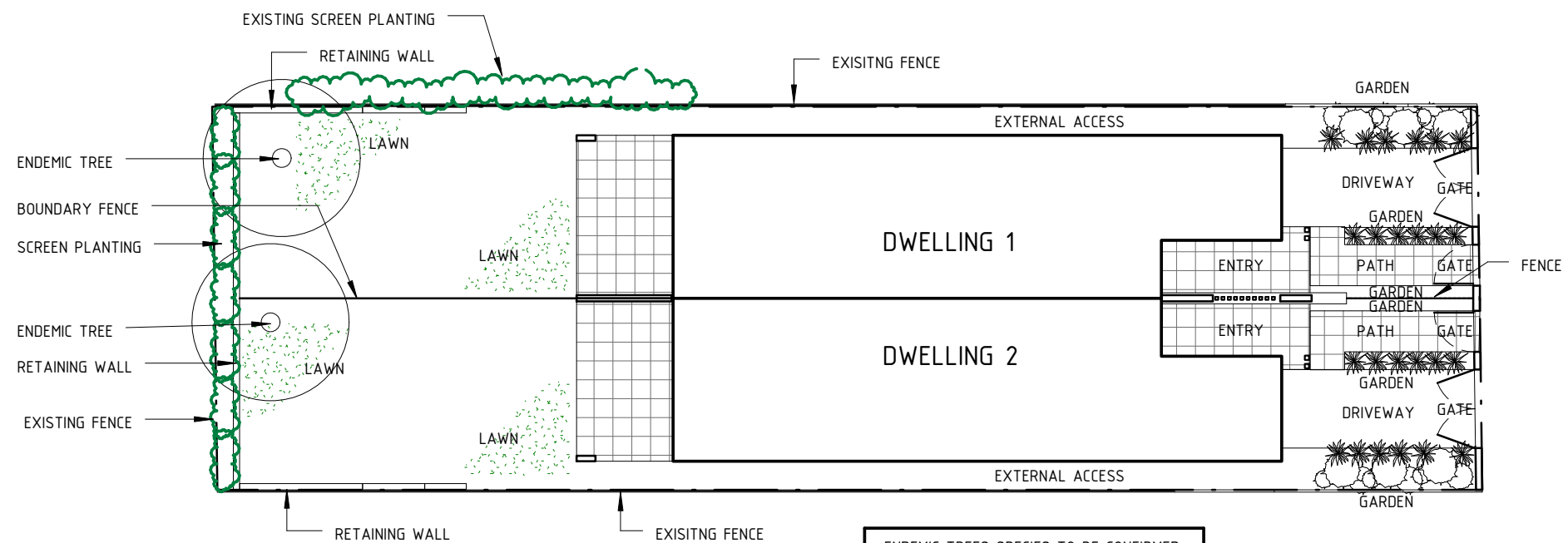
DRAWN
Xu
SIZE
A3
PROJECT NO.
02001
SCALE
1 : 200

DRAWING NO
A08
REV NO
1





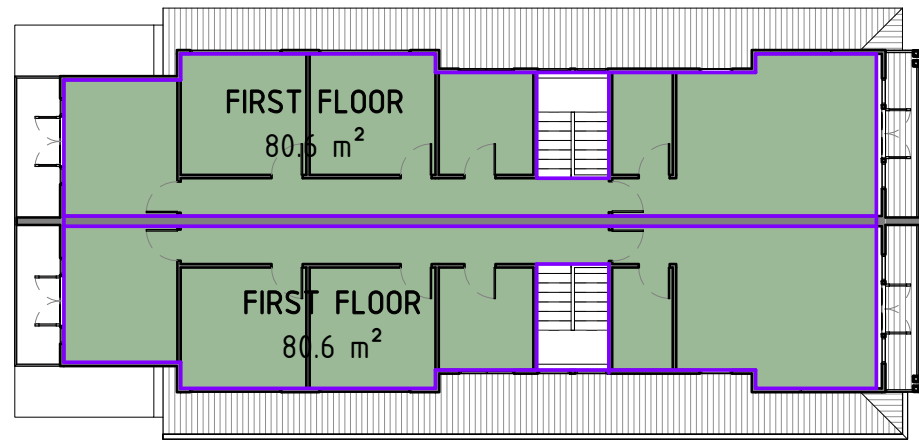
1 Subdivision Plan
1 : 200



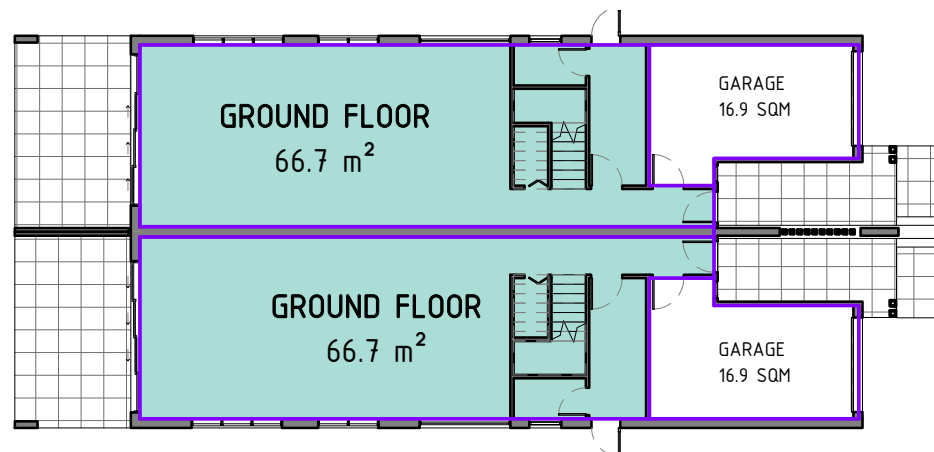
2 Concept Landscape Plan
1 : 200

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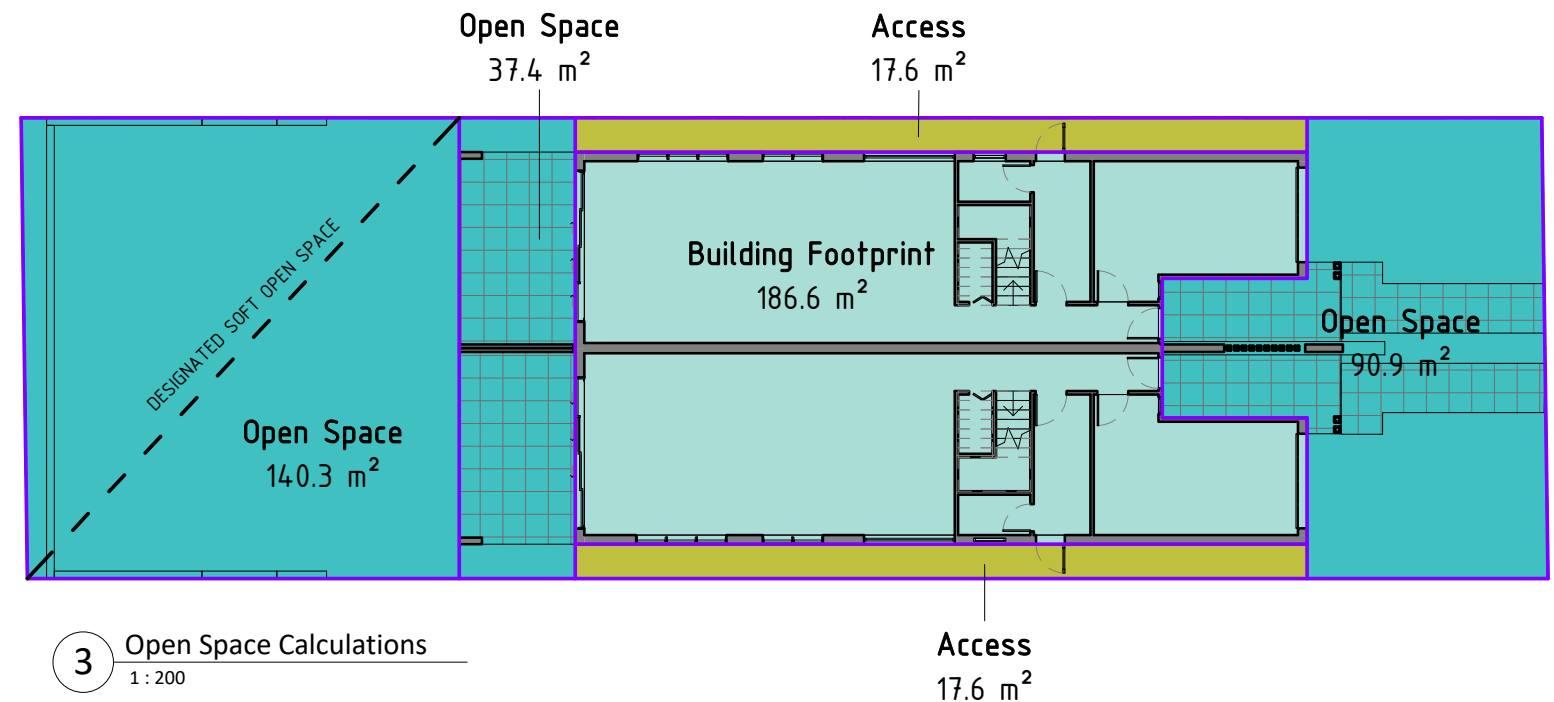
1 GFA - First Floor
1 : 200



2 GFS - Ground Floor
1 : 200

Gross Floor Area	
Name	Area
FIRST FLOOR	161.2 m ²
GROUND FLOOR	133.4 m ²
	294.6 m ²

SITE AREA 490.5sqm
GFA 294.6sqm
FSR 0.60:1



3 Open Space Calculations
1 : 200

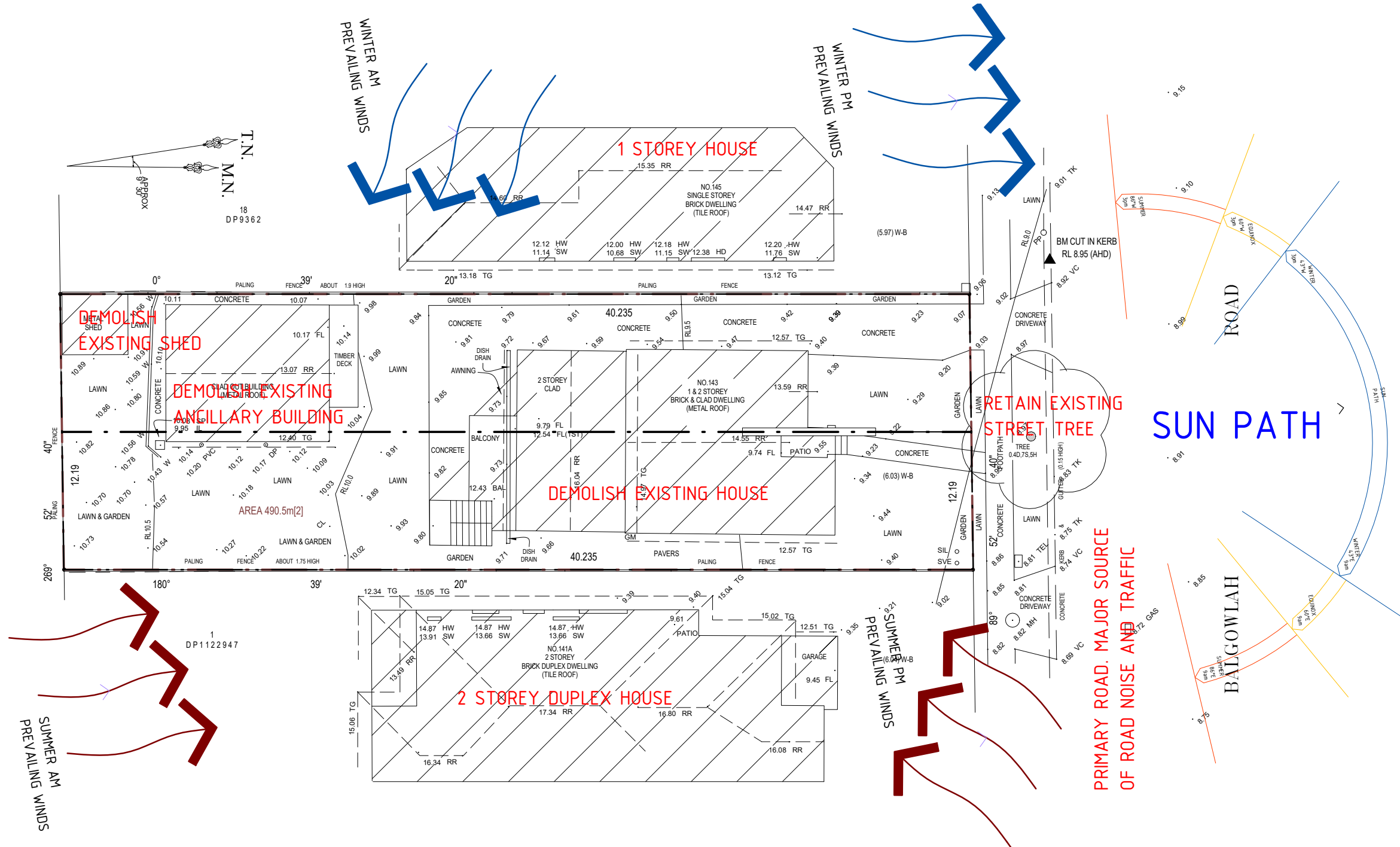
Landscape Area Calculations		
Name	Area	% of site
Access	35.2 m ²	7%
Building Footprint	186.6 m ²	38%
Open Space	268.6 m ²	55%
	490.4 m ²	100%

PROPOSED SOFT LANDSCAPING 140sqm (54% OF OPEN SPACE)
REQUIRED SOFT LANDSCAPING 92sqm (35% OF OPEN SPACE)

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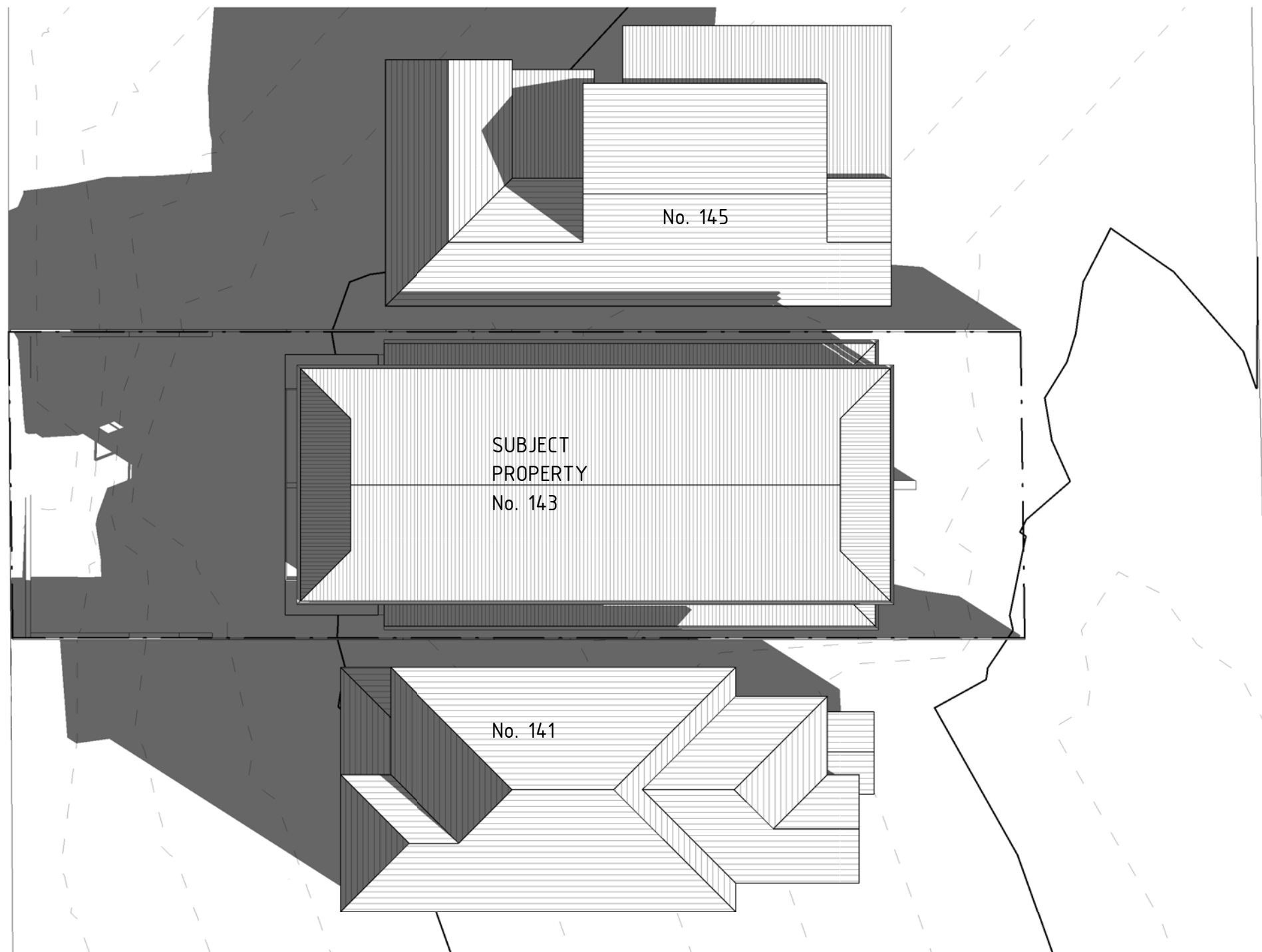
MANLY WEST PUBLIC SCHOOL PLAYGROUND



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						SCALE 1 : 200		



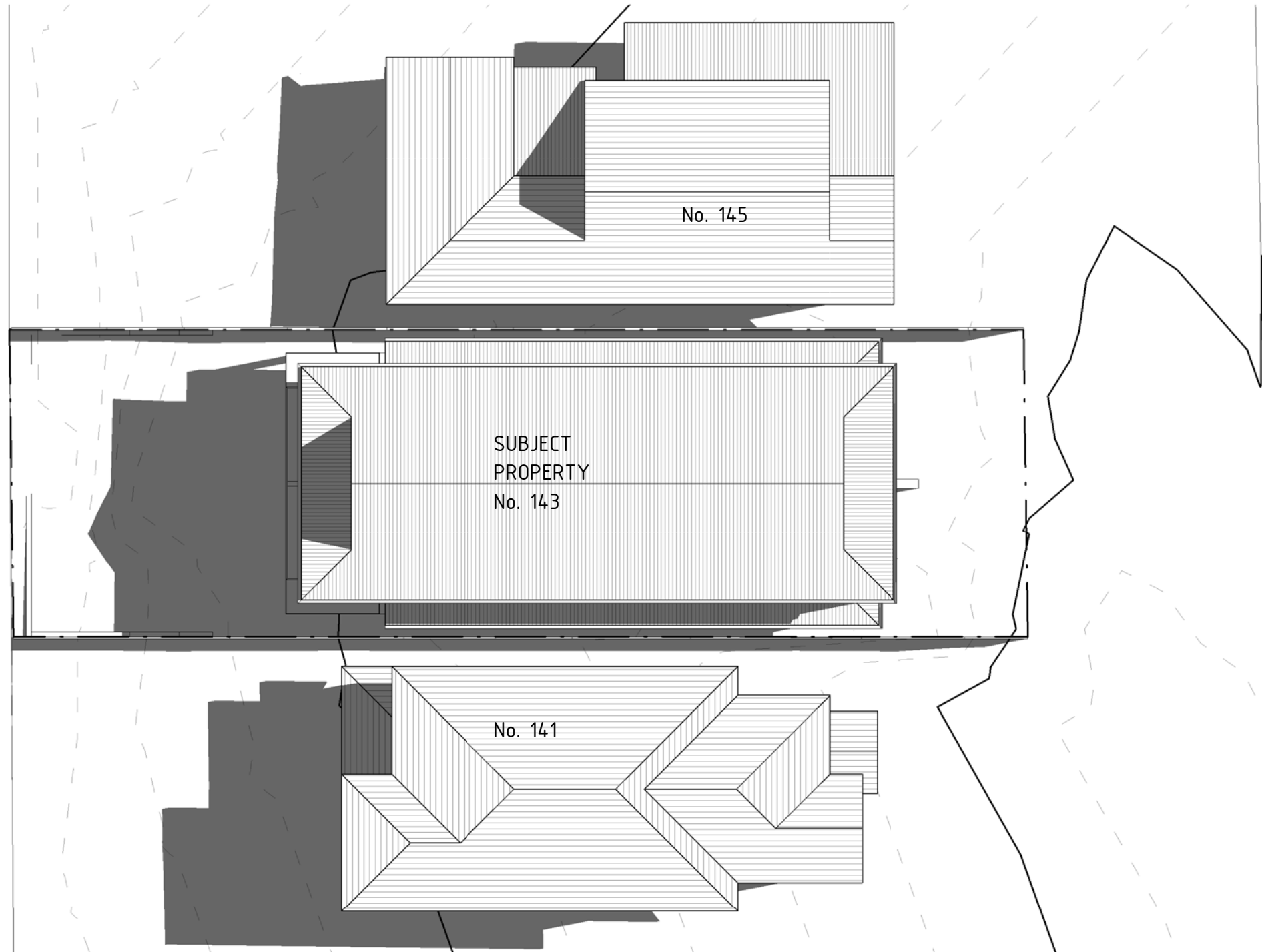


BALGOWLAH RD

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 80 WEST ST BALGOWLAH NSW 2093 mail@scopearchitects.com.au ph: 9400 4554 www.scopearchitects.com.au	CLIENT NONIE VANESS & PASA SAGLAM	PROJECT NEW SEMI DETACHED DWELLINGS 143 BALGOWLAH RD BALGOWLAH LOT: 17 DP: 9362	DRAWING TITLE SHADOW DIAGRAM JUNE 21 9am	TRUE NORTH 	DRAWN Xu	PROJECT NO. 02001	DRAWING NO A12	REV NO 1
					SIZE A3	SCALE 1 : 200		



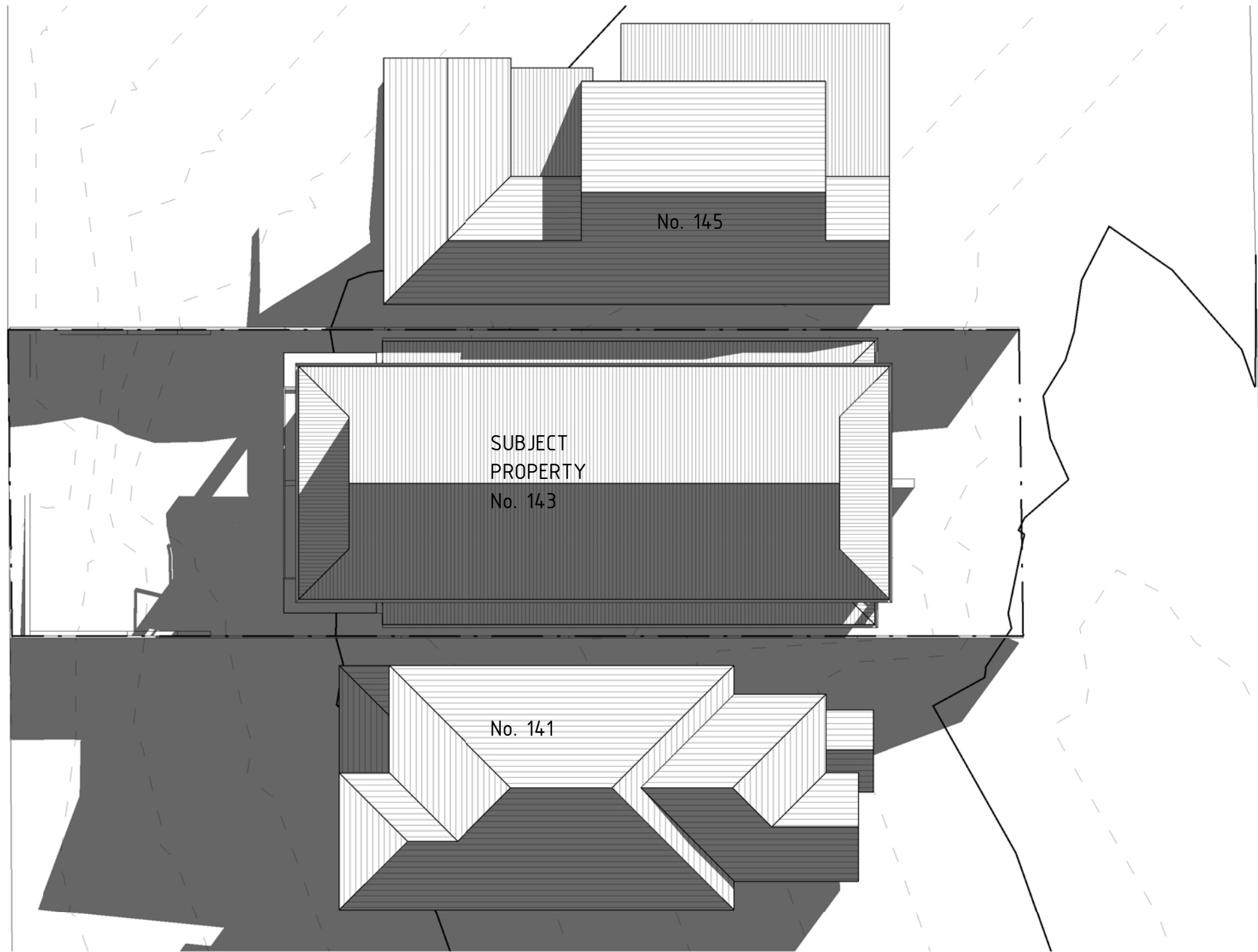


BALGOWLAH RD

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 80 WEST ST BALGOWLAH NSW 2093 mail@scopearchitects.com.au ph: 9400 4554 www.scopearchitects.com.au	CLIENT NONIE VANESS & PASA SAGLAM	PROJECT NEW SEMI DETACHED DWELLINGS 143 BALGOWLAH RD BALGOWLAH LOT: 17 DP: 9362	DRAWING TITLE SHADOW DIAGRAM JUNE 21 12pm	TRUE NORTH 	DRAWN Xu	PROJECT NO. 02001	DRAWING NO A13	REV NO 1
					SIZE A3	SCALE 1 : 200		





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 80 WEST ST BALGOWLAH NSW 2093 mail@scopearchitects.com.au ph: 9400 4554 www.scopearchitects.com.au	CLIENT NONIE VANESS & PASA SAGLAM	PROJECT NEW SEMI DETACHED DWELLINGS 143 BALGOWLAH RD BALGOWLAH LOT: 17 DP: 9362	DRAWING TITLE SHADOW DIAGRAM JUNE 21 3pm	TRUE NORTH 	DRAWN Xu	PROJECT NO. 02001	DRAWING NO A14	REV NO 1
					SIZE A3	SCALE 1 : 200		



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					SIZE A3	SCALE		

Window Schedule			
Mark	Description	Height	Width
1	Double Hung Window	2140	700
2	Double Hung Window	2140	700
3	Double Hung Window	2140	700
4	Double Hung Window	2140	700
5	Fixed Window	2400	450
6	Fixed Window	2400	450
7	Awning Window	600	2410
8	Double Hung Window	1200	850
9	Awning Window	600	1210
10	Fixed Window	1700	850
11	Fixed Window	1700	850
12	Double Hung Window	1200	1450
13	Double Hung Window	1200	2410
14	Double Hung Window	1200	2410
15	Awning Window	600	2400
16	Awning Window	600	1500
17	Awning Window	600	1500
18	Double Hung Window	1375	850
19	Fixed Window	750	2400
20	Breezeway Altair	2370	1595
21	Breezeway Altair	2370	2390
22	Awning Window	600	2400
23	Double Hung Window	1200	2410
24	Double Hung Window	1200	2410
25	Double Hung Window	1200	1450
26	Fixed Window	1700	850
27	Fixed Window	1700	850
28	Awning Window	600	1210
29	Double Hung Window	1200	850
30	Awning Window	600	2410
31	Breezeway Altair	2370	2390
32	Breezeway Altair	2370	1595
33	Fixed Window	750	2400
34	Double Hung Window	1200	850
35	Awning Window	600	1500
36	Awning Window	600	1500
37	Fixed Window	2400	450
38	Fixed Window	2400	450
39	Fixed Window	2400	450
40	Fixed Window	2400	450

External Door Schedule			
Mark	Type	Height	Width
1	Double- Glass	2060	1320
2	Double- Glass	2060	1320
3	Double- Glass	2060	1320
4	Double- Glass	2060	1320
5	Stacker XXX0	2400	4000
6	Stacker XXX0	2400	4000
7	Single- Glass	2065	762
8	Single- Glass	2065	762

BASIX®Certificate
Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1206080M_02

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 6 but <= 7.5 L/min)	4 star	3 star	5 star	no	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	individual water tank (no. 1)	Tank size (min) 5000.0 litres	To collect run-off from at least: 90.0 square metres of roof area; 0.0 square metres of impervious area; 0.0 square metres of garden and lawn area; and 0.0 square metres of planter box area.	yes	no	no	no	no

Dwelling no.	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	4 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	3	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	-	-	-	no	yes

BASIX Certificate Centre				
Thermal Comfort Specification Summary				
ABSA Assessor # 20322			NatHERS Certificate # 0006112130	
The items specified below are those used in the above certificate, and should be cross-checked with the actual certificate				
Windows	Glass Type	Frame Type	U Value	SHGC Value
ALM-001-01 A	Single Clear	Aluminium	6.70	0.57
ALM-002-01 A	Single Clear	Aluminium	6.70	0.70
ALM-001-03 A	Single Low E	Aluminium	5.40	0.49
ALM-002-03 A	Single Low E	Aluminium	5.40	0.58
ALM-003-01 A	Double Clear	Aluminium	4.80	0.51
ALM-004-01 A	Double Clear	Aluminium	4.80	0.59
NB: Screens required to windows in accordance with NCC Child Safety, to allow full opening and cross-flow.				
NB: Double Glazed could be substituted for single glazed with value tolerances as noted above - Similar to ComfortPlus				
Alternative products with different glazing and frame types can be used if they have a lower U value and a SHGC value tolerance of + or - 5%.				
External Wall Type	Insulation	Colour	Description	
Brick Veneer + Cladding	None	Light	To Garage - As per plan	
Brick Veneer + Cladding	R2.0 (or total R Value 2.75)	Light	As per plans	
Weatherex Style Cladding on Frame	Sisalation+R2.0 (or total R Value 2.28)	Light	As per plans, including Garage	
Internal Wall Type	Insulation	Description		
Brick + Plasterboard	As per NCC requirements	To Party Wall		
Plasterboard + Frame	R2.0	To Garage and to Wet Areas		
Plasterboard + Frame	None	To remainder as per plan		
Floor Type	Insulation	Floor Finishes	Description	
Concrete (SOG)	None	None	To Garages	
Concrete (SOG)	Waffle Pod	Tiles	To Ground Floor wet areas	
Concrete (SOG)	Waffle Pod	Timber	To remainder of Ground Floor areas	
Framed	R2.5	Timber & Tiles	To areas over Garage, and Open under sections	
Framed	None	Timber & Tiles	To remainder of First Floor areas	
NB: First Floor - Tiles to wet areas and carpet to remainder				
Ceiling Type	Insulation	Description		
Plasterboard	None	To Garage roof area		
Plasterboard	(R2.5 - see above)	To Garage below First Floor areas		
Plasterboard	None	To remainder of Ground Floor areas below First Floor		
Plasterboard	R5.0	To remainder as per plan		
Roof Type	Insulation	Colour	Description	
Metal Sheetting	Anticon 55 or similar	Light	As per plans	
External Shade Devices:				
None required for Thermal Comfort Simulations				
Additional items:				
Roof Ventilation:	None	Approved Sealed LED Downlights:	Yes (if downlights installed)	
Sealed Exhaust Fans:	Yes (self closing)	Approved Downlight Covers:	Yes (if downlights installed)	
Seals to Windows & Doors:	Yes - to AS2047	Ventilated Skylights:	N/A	
NB: LED Downlights must be sealed to eliminate ventilation & approved to allow for insulation cover.				
NB: Builder to ensure compliance with all relevant NCC requirements				

