

**ECOLIV<sup>TM</sup>**

Hammond Residence

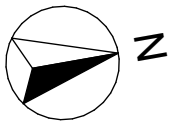


drawing list	
00	Coversheet
01	Perspectives
02	Site Context Plan
03	Site Plan
04	SWMP
05	Floor Plan
06	Elevations
07	Roof Plan
08	Sections 1-1
09	Modular Construction Plan
10	Shadows
11	Notification Plan



1114 Bass Highway,  
The Gurdies VIC  
P.O. Box 222,  
Grantville VIC 3984  
  
Ph: 03 5672 5196  
www.ecoliv.com.au

Project: Proposed Moveable Dwelling  
Address: Lot 1, 47 Woodbine Street  
North Balgowlah, NSW, 2093  
For: Mitchell & Rebekah Hammond



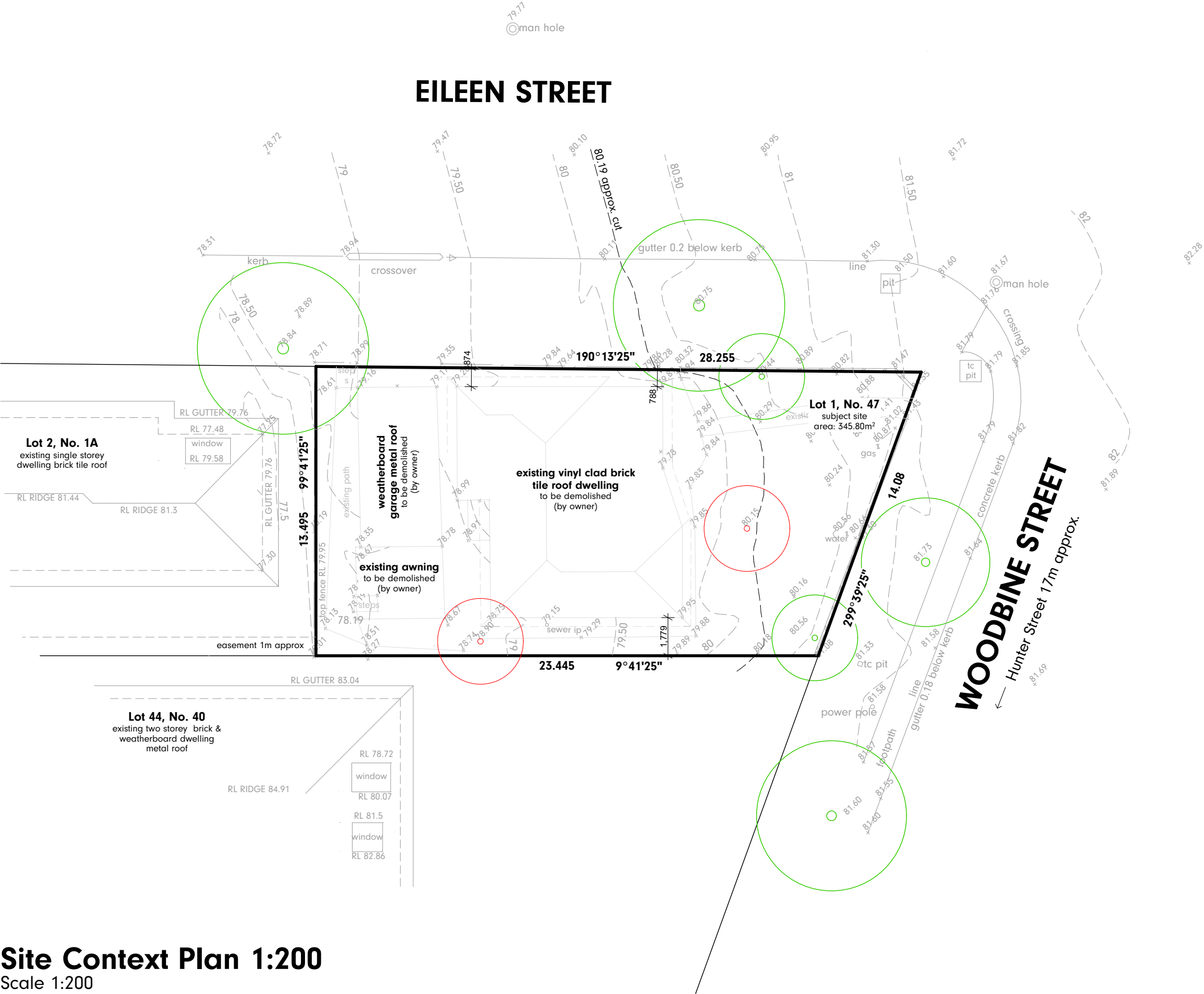
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Development Approval  
Perspectives


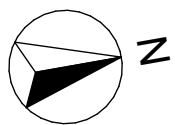
Drawn By: SW    Scale: 1:1 @ A3    Date: 12/08/2022  
Job No: 22-02    Project Inclusions: EcoLiving

Issue:  
**DA1**  
Drawing No:  
**01**

site details	
site area	345.80m <sup>2</sup>





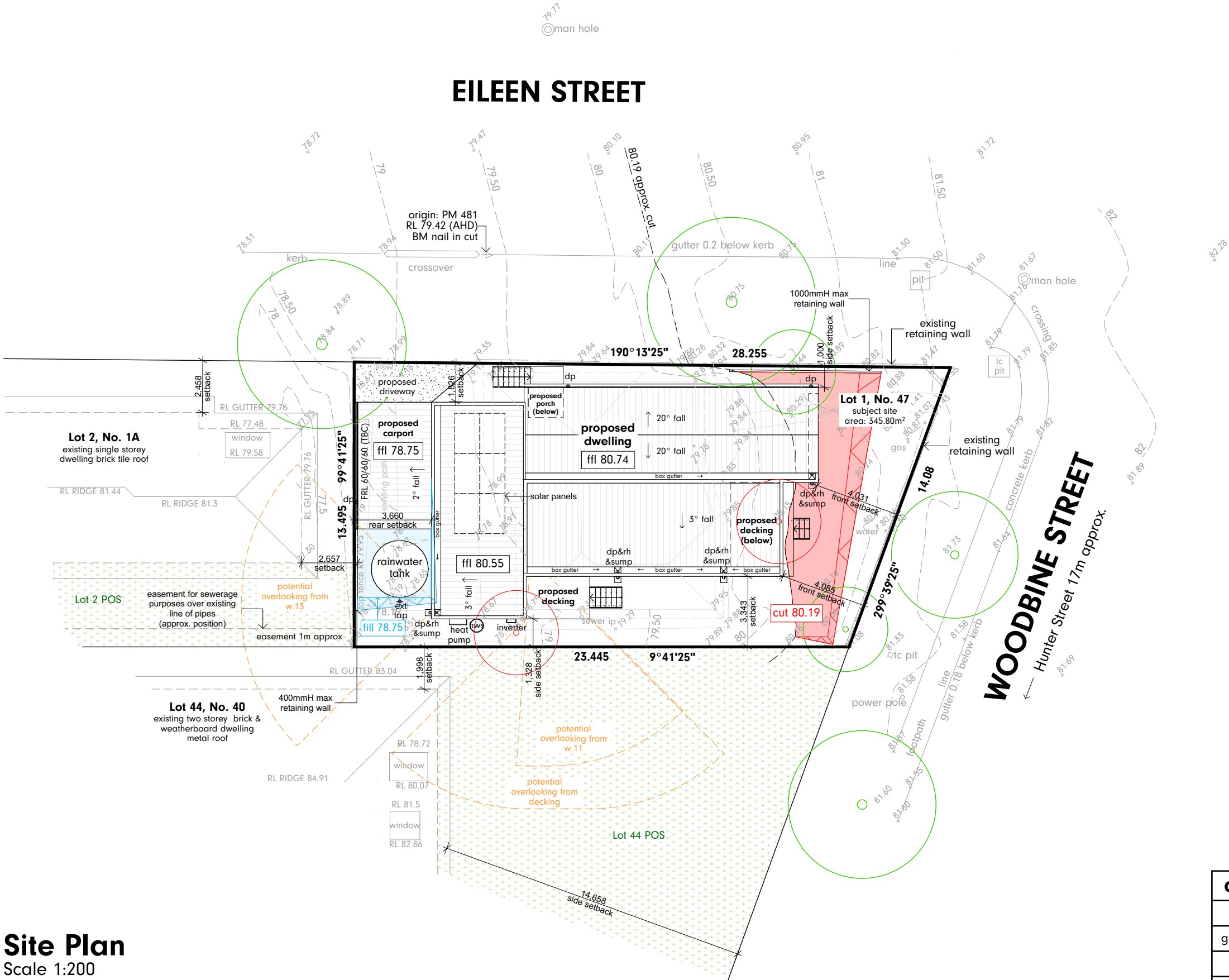
**Site Context Plan 1:200**  
Scale 1:200

 <b>ECOLIV</b> <sup>TM</sup>	1114 Bass Highway, The Gurdies VIC P.O. Box 222, Grantville VIC 3984  Ph: 03 5672 5196 www.ecoliv.com.au	Project: Proposed Moveable Dwelling  Address: Lot 1, 47 Woodbine Street North Balgowlah, NSW, 2093  For: Mitchell & Rebekah Hammond		© copyright © copyright <b>Ecoliv Buildings</b> The drawings, designs, & specifications & copyright therein are the property of <b>Ecoliv Buildings</b> & must not be used, copied, or reproduced wholly or in part without the express written permission of <b>Ecoliv Buildings</b> .	Development Approval Site Context Plan		Issue: <b>DA1</b>
					Drawn By: SW    Scale: 1:200 @ A3    Date: 12/08/2022	Job No: <b>22-02</b> Project Inclusions: <b>EcoLiving</b>	Drawing No: <b>02</b>



site details	
site area	345.80m <sup>2</sup>

legend	
tbm	- temporary bench mark
nsl	- natural surface level
dp	- downpipe
rwh	- rainwater head
sp	- spreader
bg	- box gutter min. 300mm wide
pp	- power pole
	- existing vegetation to remain
	- existing vegetation to be removed

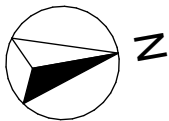


development schedule	
	m2
ground floor	147.38
decking	23.18
carport	21.00
	191.56 m <sup>2</sup>

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Development Approval  
Site Plan

Drawn By: SW Scale: 1:200 @ A3 Date: 12/08/2022  
Job No: 22-02 Project Inclusions: EcoLiving

Issue:  
**DA1**  
Drawing No:  
**03**



<p><b>stormwater management</b></p> <p>All roof &amp; hardstand captured stormwater to be plumbed and directed to a 10,000L Rain Water Tank with overflow from tank to be disposed of onsite by way of an 'absorption trench' system. Absorption trench area shown with blue hatch (minimum 3m offset from boundaries and dwelling)</p>
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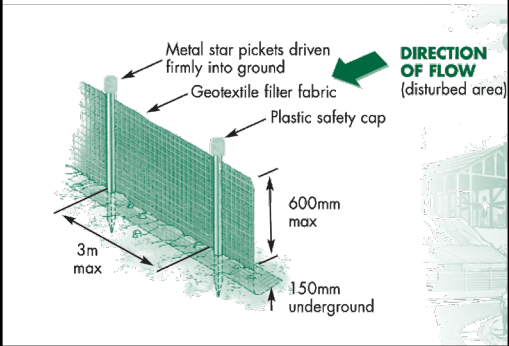
## geotextile sediment fence

1. Construct sediment fences as close as possible to follow the contours of the site.
2. Drive 1.5 metre long posts into round, maximum 3 metres apart.
3. Staple to 40 mm square hardwood posts or wire tied to steel posts.
4. Dig a 150 mm deep trench along the up-slope line of the fence for the bottom of the fabric to be entrenched.
5. Backfill trench over base of fabric and compact on both sides.

## geotextile sediment fence

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4. Dig a 150 mm deep trench along the up-slope line of the fence for the bottom of the fabric to be entrenched.
5. Backfill trench over base of fabric and compact on both sides.

- 
- A 3D perspective diagram showing a green geotextile filter fabric being installed over a disturbed area. Two metal star pickets are driven vertically into the ground, one at the top and one at the bottom of the fabric. A plastic safety cap is placed over the top picket. A large green arrow points from the top right towards the fabric, labeled "DIRECTION OF FLOW (disturbed area)". Dimensions are indicated: a horizontal distance of "3m max" between the pickets, a vertical height of "600mm max" for the fabric, and a depth of "150mm underground" for the bottom picket.
- Metal star pickets driven firmly into ground
- Geotextile filter fabric
- Plastic safety cap
- DIRECTION OF FLOW**  
(disturbed area)
- 600mm max
- 3m max
- 150mm underground



site details	
site area	345.80m <sup>2</sup>

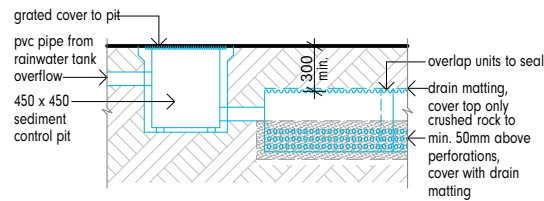
development schedule	
	m2
ground floor	147.38
decking	23.18
carport	21.00
	<b>191.56 m²</b>

ground floor	147.38
decking	23.18
carport	21.00
	<b>191.56 m<sup>2</sup></b>

decking	23.18
---------	-------

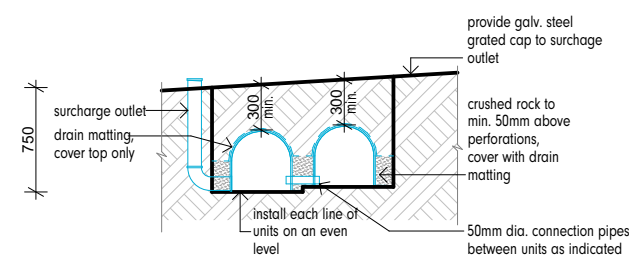
carport	21.00
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	191.56 m²
--	-----------



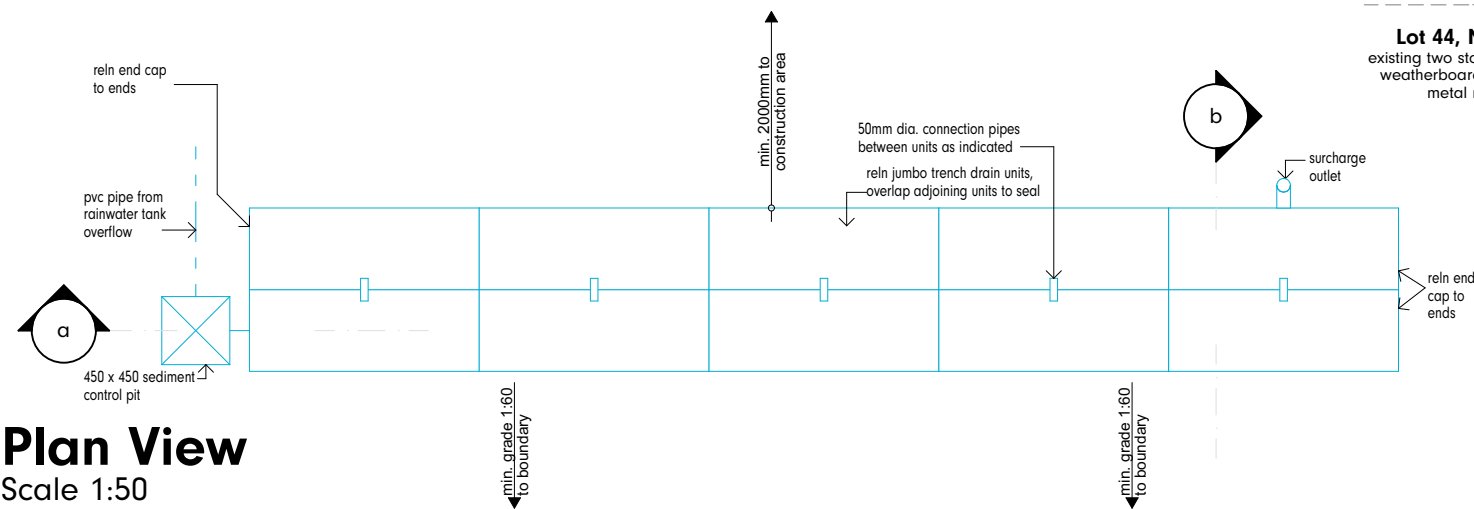
## Section a

Scale 1:50



## Section b

Scale 1:50



# Plan View

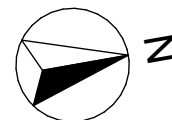
Scale 1:50

Scale 1:200

Project: Proposed Moveable Dwelling

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Development	Approval
SWMP	

Job No: 22-02      Project Inclusions: EcoLiving

Project Inclusions: **EcoLiving**

# DA1

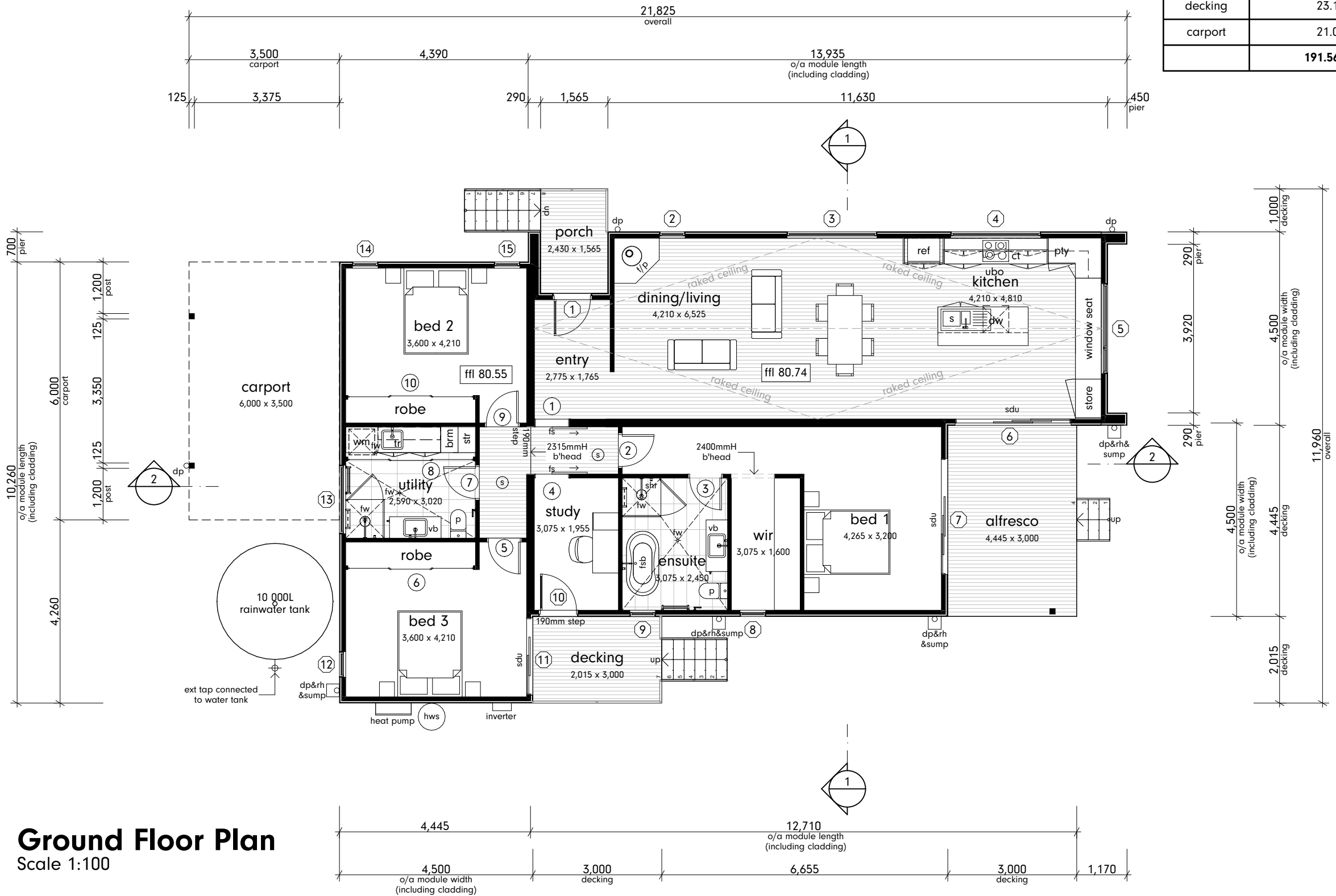
04

legend	
sdu - sliding door unit	wm - washing machine
cs - cavity slider	dr - dryer
fows - face of wall slider	Ⓢ - smoke detector
vb - vanity basin	s - stainless steel sink
wb - wash basin	ref - refridgerator
shr - shower	b - bath
p - pan	hp - hot plate
tr - laundry trough	ubo - under bench oven
dw - dishwasher	fw - floor waste
dp/rh - downpipe with rainhead	ss - split system

glazing schedule				
mark	height	x	width	window style
1	2,100	x	920	external hinged
2	1,800	x	600	awning
3	600	x	2,100	awning
4	600	x	2,100	fixed
5	1,500	x	2,100	awning
6	2,100	x	2,700	sliding stacker door
7	2,100	x	2,700	sliding stacker door
8	1,800	x	600	awning
9	1,800	x	600	awning
10	2,100	x	920	external hinged
11	2,100	x	1,800	sliding door
12	1,800	x	600	awning
13	400	x	1,600	fixed
14	1,800	x	600	awning
15	1,800	x	600	awning

door schedule				
mark	height	x	width	door style
1	2,100	x	820	face slider
2	2,100	x	820	internal hinged
3	2,100	x	820	internal hinged
4	2,100	x	820	face slider
5	2,100	x	820	internal hinged
6	2,340		2,920	3 panel robe doors
7	2,100	x	820	internal hinged
8	2,340		2,920	3 panel robe doors
9	2,100	x	820	internal hinged
10	2,340		2,920	3 panel robe doors

development schedule	
	m2
ground floor	147.38
decking	23.18
carport	21.00
	191.56 m²

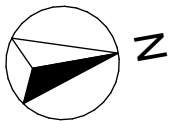


Ground Floor Plan  
Scale 1:100

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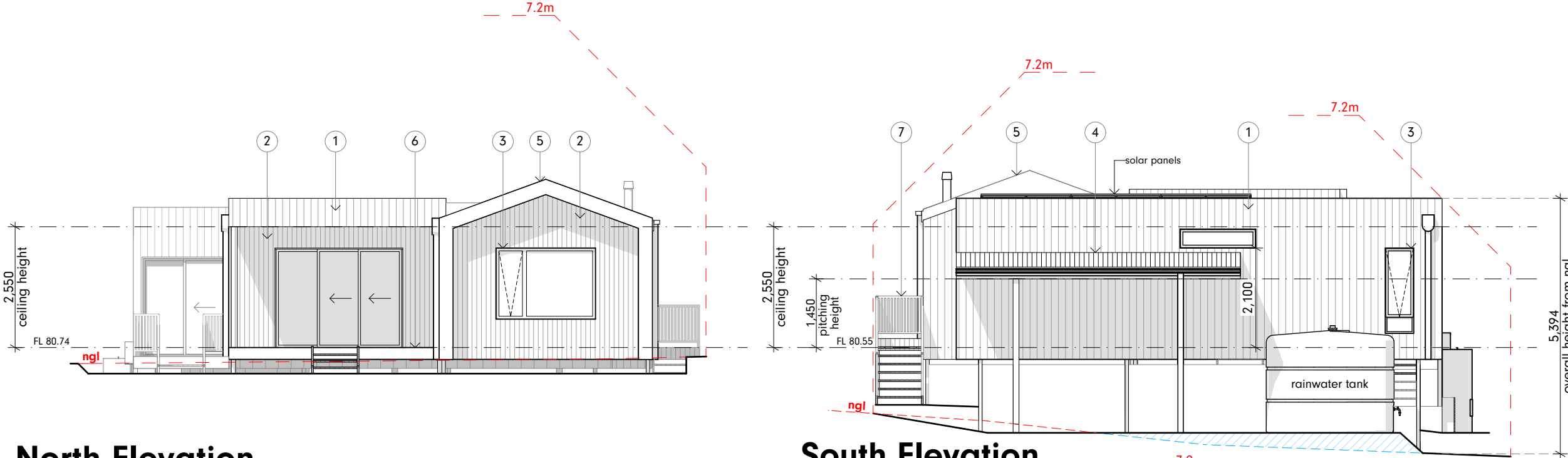
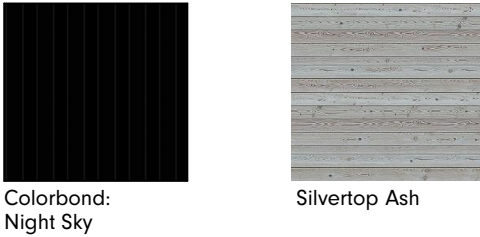
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Floor Plan

Drawn By: SW Scale: 1:100 @ A3 Date: 12/08/2022  
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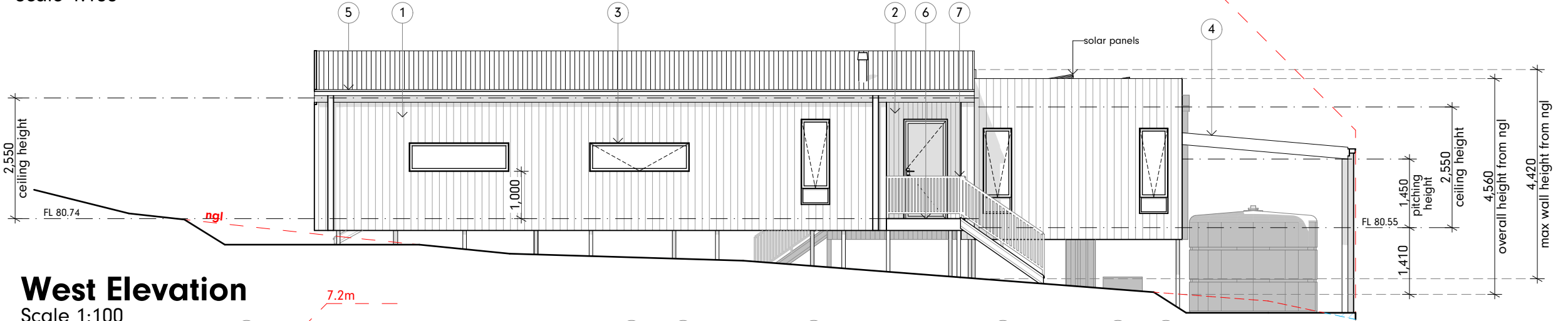
Issue:  
DA1  
Drawing No:  
05

material schedule	
1. wall cladding:	Weathertex Smooth 150mm Colour: Night Sky
2. wall cladding:	Feature timber cladding Colour: Silvertop Ash
3. Windows:	Aluminium Colour: Black
4. Roofing:	Trimdek Colour: Night Sky
5. Capping, Flashings Downpipes & Rainwater Heads:	Colour: Night Sky
6. Decking:	Silvertop Ash
7. Balustrade:	Steel balustrade & handrail Colour: Black

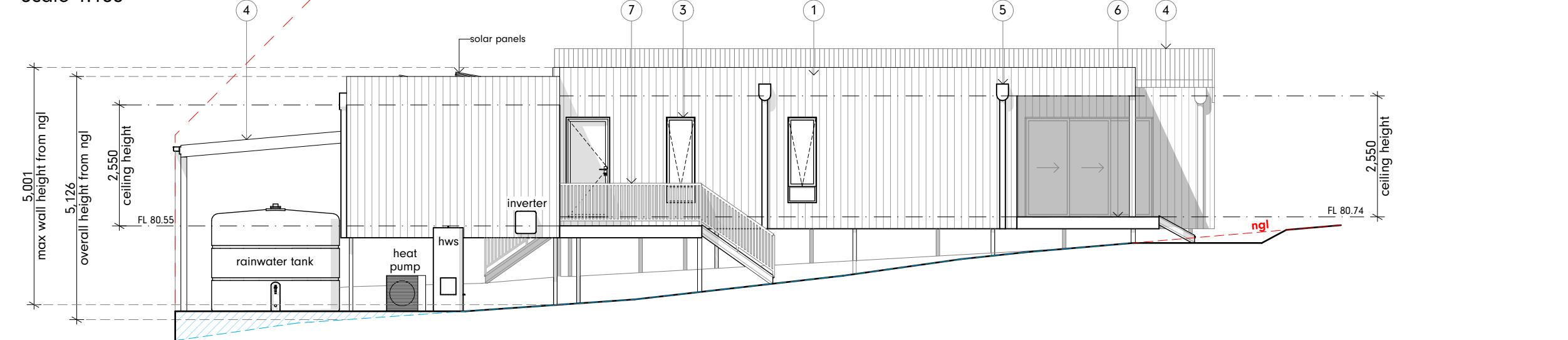


**North Elevation**  
Scale 1:100

**South Elevation**  
Scale 1:100



**West Elevation**  
Scale 1:100

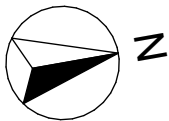


**East Elevation**  
Scale 1:100

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**Development Approval  
Elevations**

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Job No: 22-02 Project Inclusions: EcoLiving

Issue:  
**DA1**  
Drawing No:  
**06**



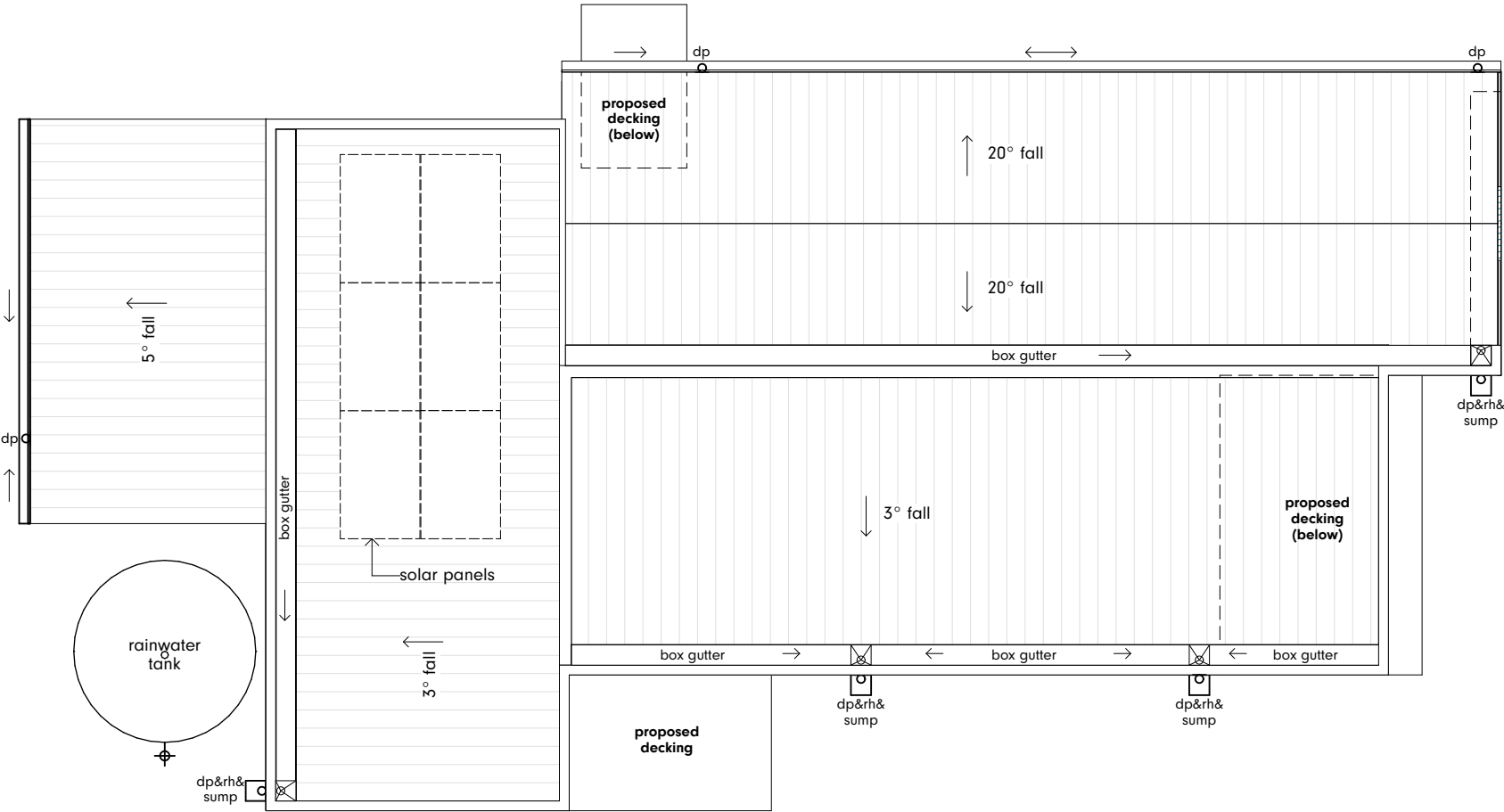
roof & stormwater notes

**MATERIALS:**  
Refer to materials schedule on page 05.

**METAL ROOFING:**  
Metal sheet roofing must be protected from corrosion in accordance with table 3.5.1.1a in accordance with AS1397.

**STORMWATER:**  
All stormwater overflow to be taken to the legal point of discharge to the relevant authorities approval.  
Gutters and downpipes shall be installed in accordance with National Construction Code Series 2019 Building Code of Australia Volume 2 Part3.5.2 2019. 90mm Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge.  
Provide inspection openings at 9000MM c/c and at each change of direction.  
The cover to underground stormwater drains shall be not less than:  
- 100mm under soil  
- 50mm under concrete or paved areas  
- 100mm under unreinforced concrete or paved driveways.  
- 75mm under reinforced concrete or paved driveways.

**DOWNPINES**  
All downpipes to be connected to the Legal Point of Discharge as determined by the Responsible Authority.

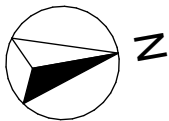


Roof Plan  
Scale 1:100



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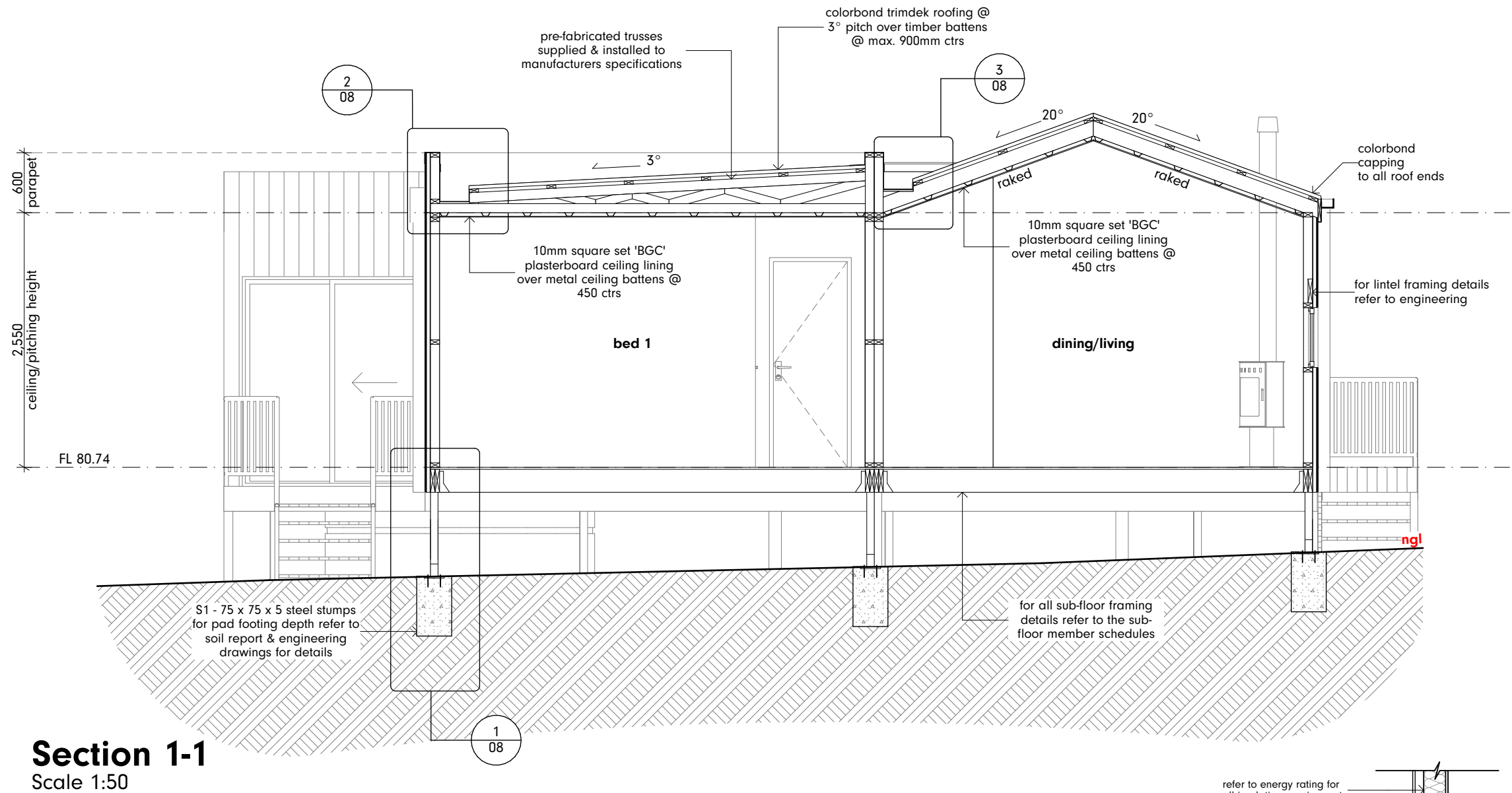


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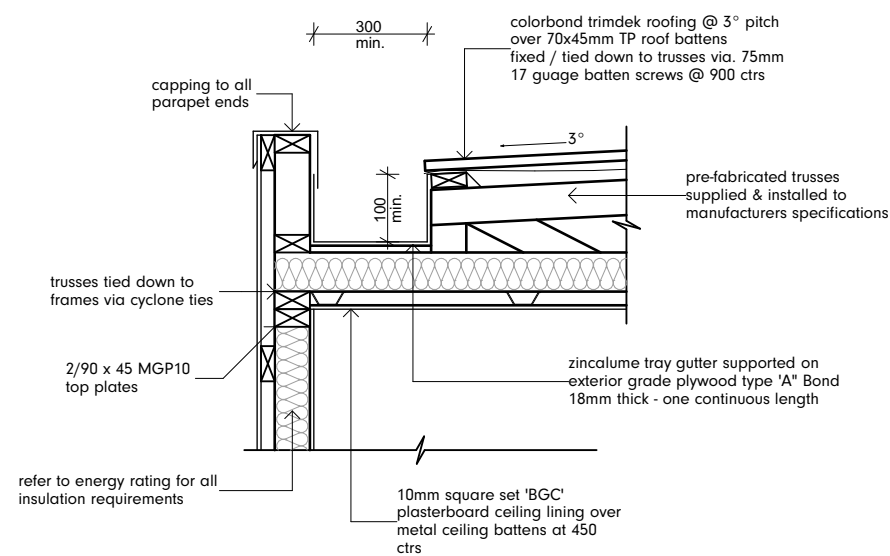
Development Approval  
Roof Plan

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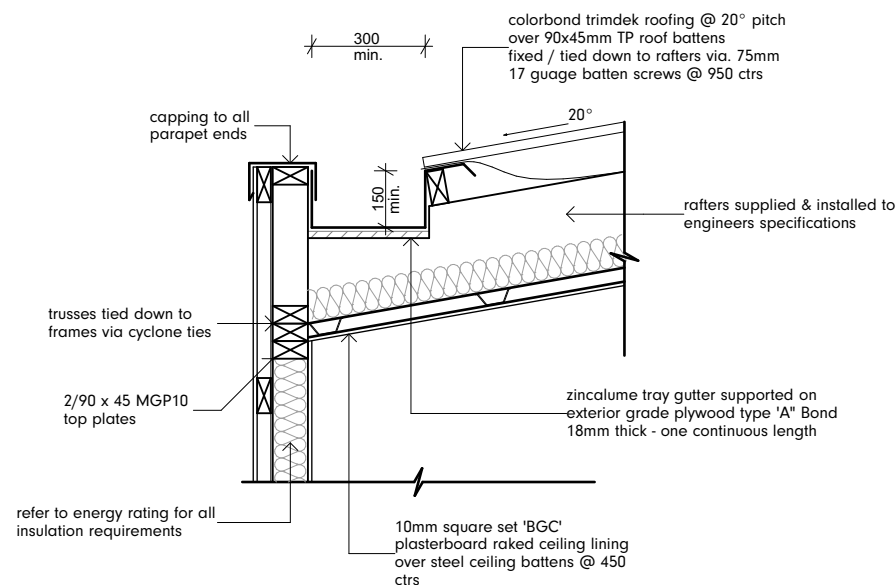
Issue:  
**DA1**  
Drawing No:  
**07**



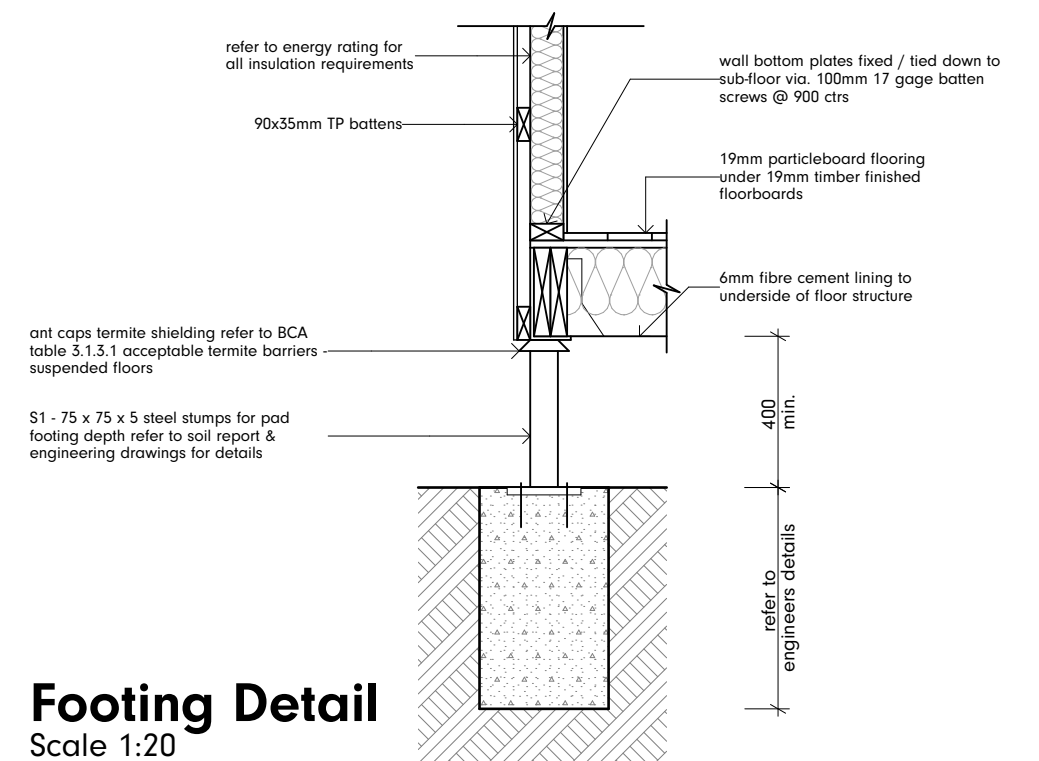
**Section 1-1**  
Scale 1:50



**Box Gutter Detail**  
Scale 1:20



**Box Gutter Detail - Raked Ceiling**  
Scale 1:20

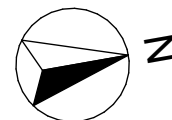


**Footing Detail**  
Scale 1:20

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Development Approval  
Sections 1-1

Drawn By: SW Scale: 1:50, 1:20 @ A3 Date: 12/08/2022

Job No: 22-02 Project Inclusions: EcoLiving

Issue:

**DA1**

Drawing No:

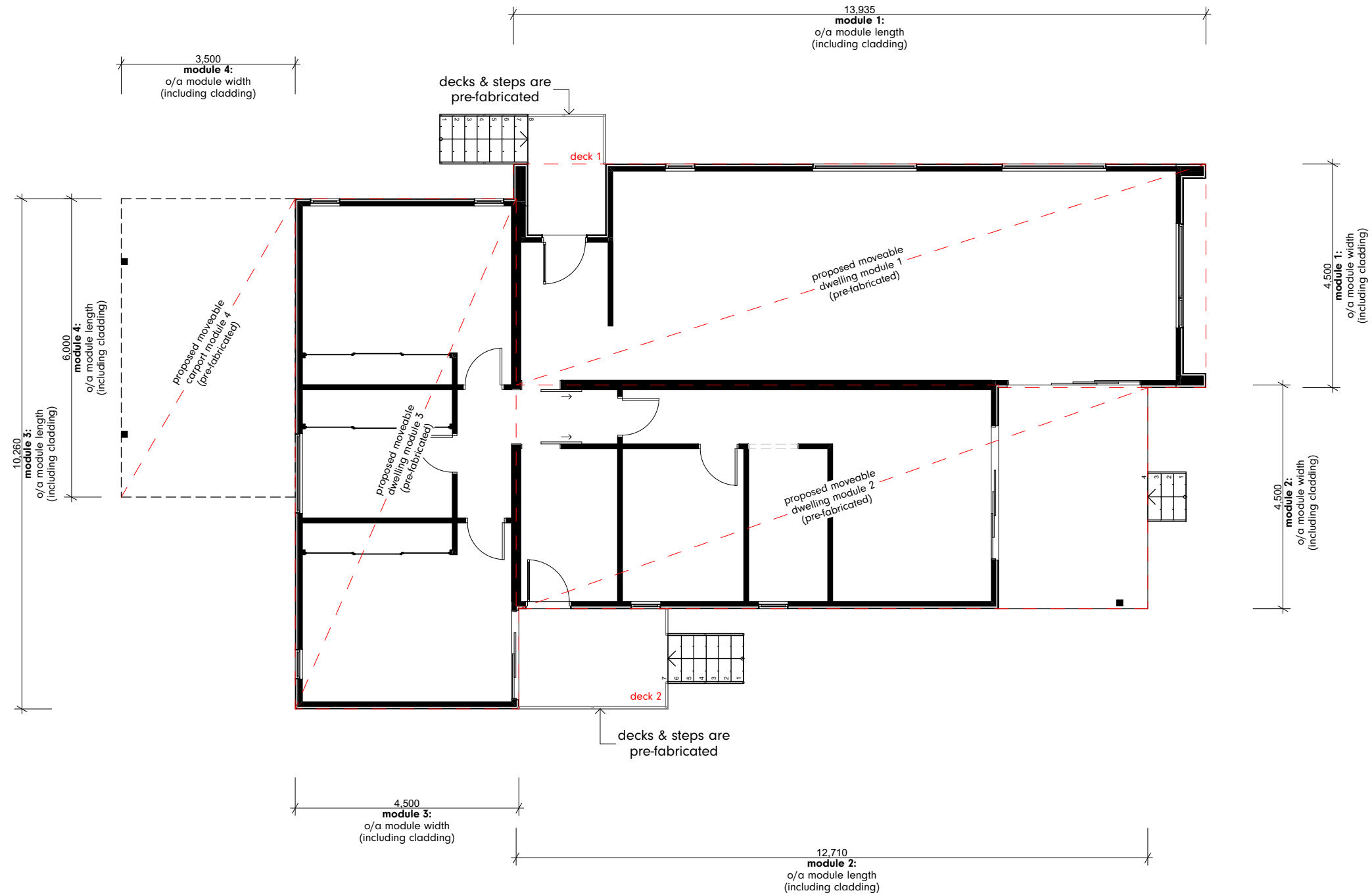
**08**

note

All external steps are pre-fabricated with galvanised steel stringers & hardiedeck treads.

legend

- - - = joins in decking for transportation

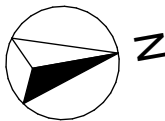


**Modular Construction Plan**  
Scale 1:100

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**Modular Construction Plan**

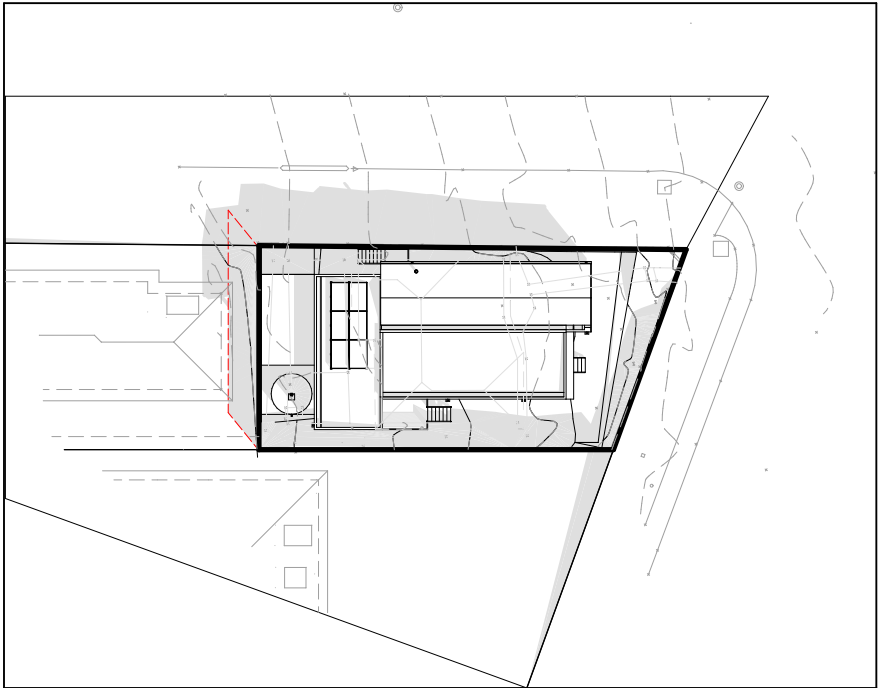
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Job No: 22-02 Project Inclusions: EcoLiving

Issue:  
**DA1**  
Drawing No:  
**09**

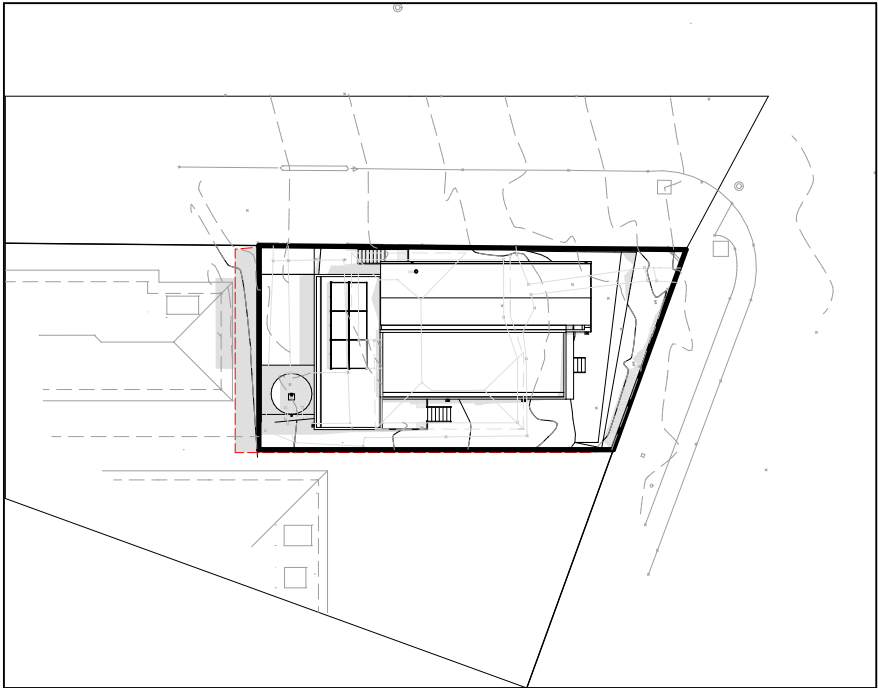


legend

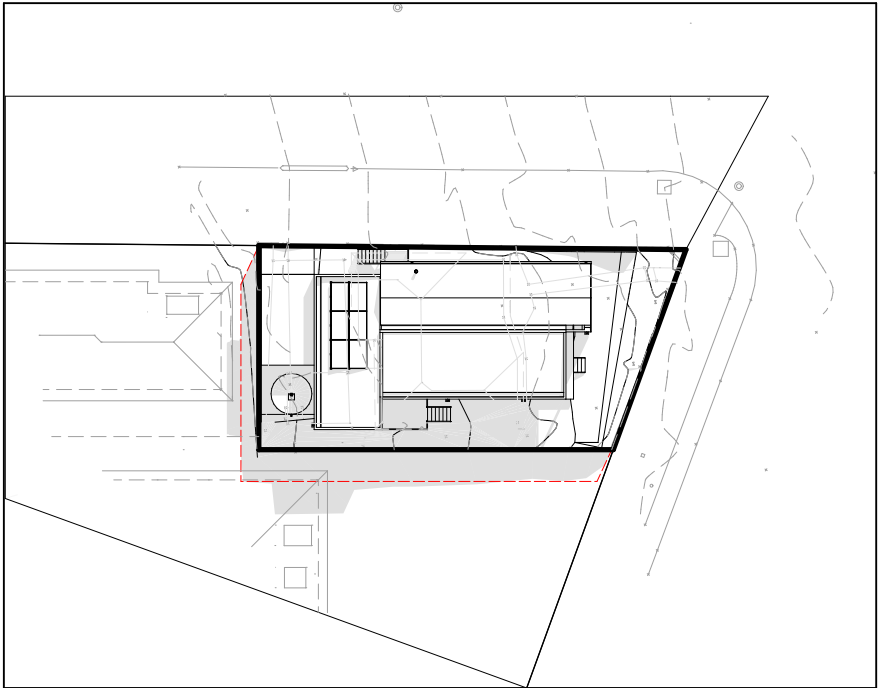
indicates approx existing fence shadow



9am Shadow Diagram  
Scale 1:500



12pm Shadow Diagram  
Scale 1:500

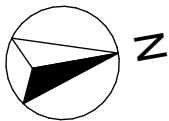


3pm Shadow Diagram  
Scale 1:500

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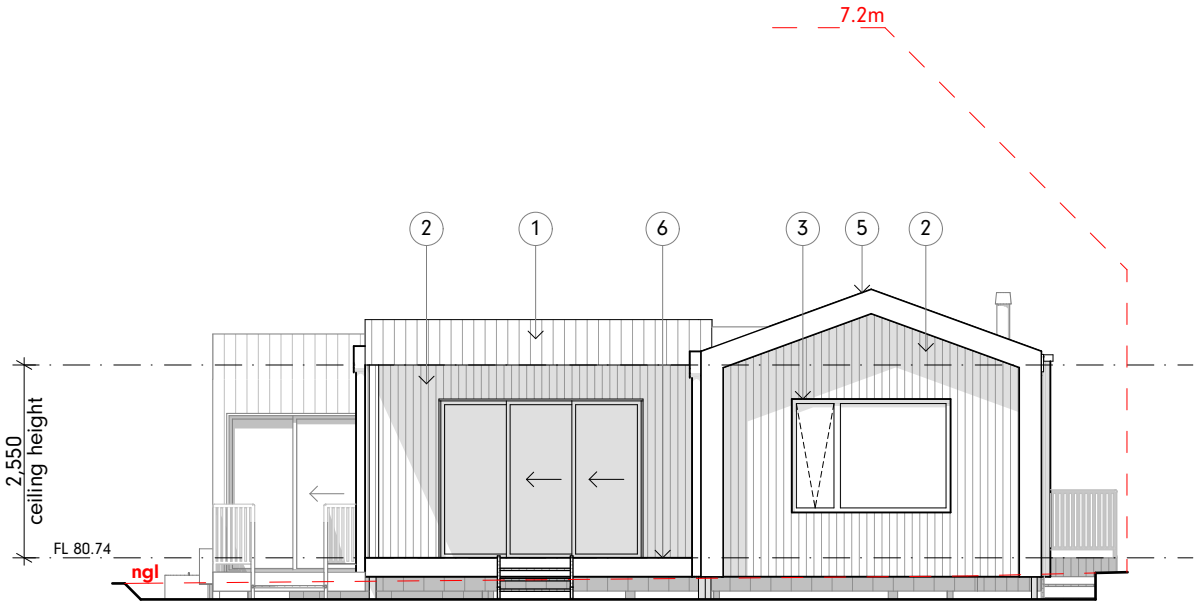
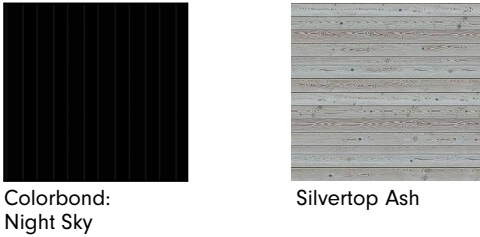
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Development Approval  
Shadows

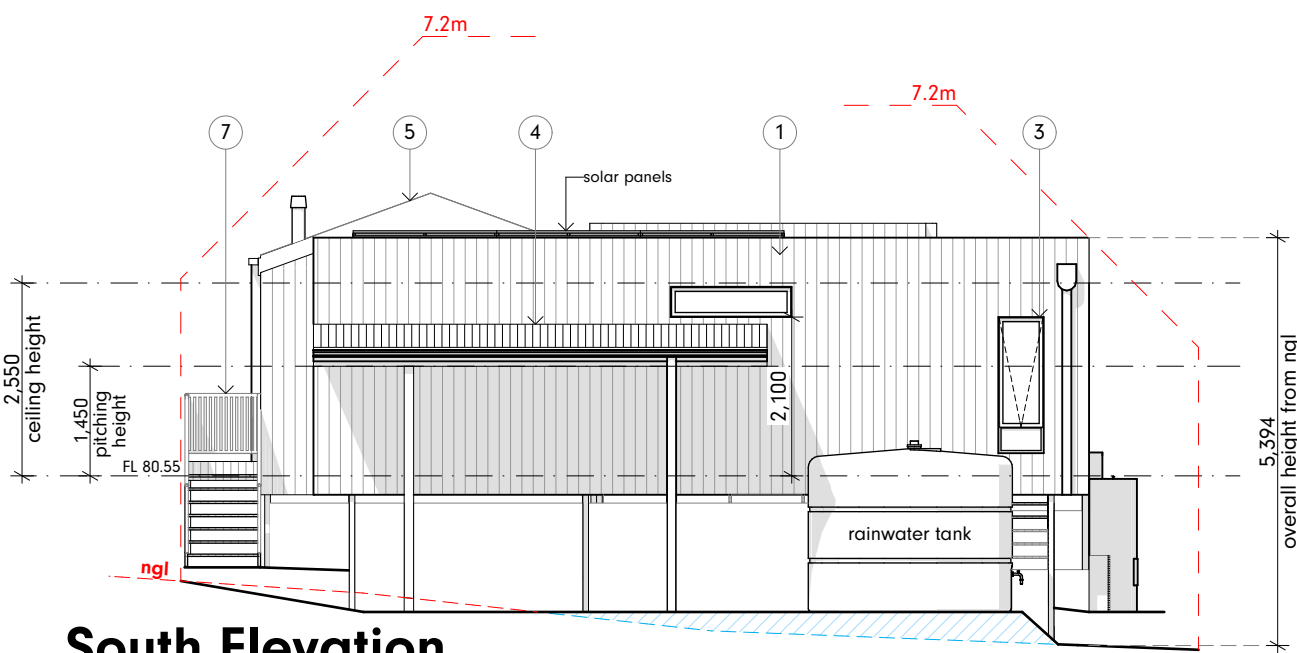
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Issue:  
**DA1**  
Drawing No:  
**10**

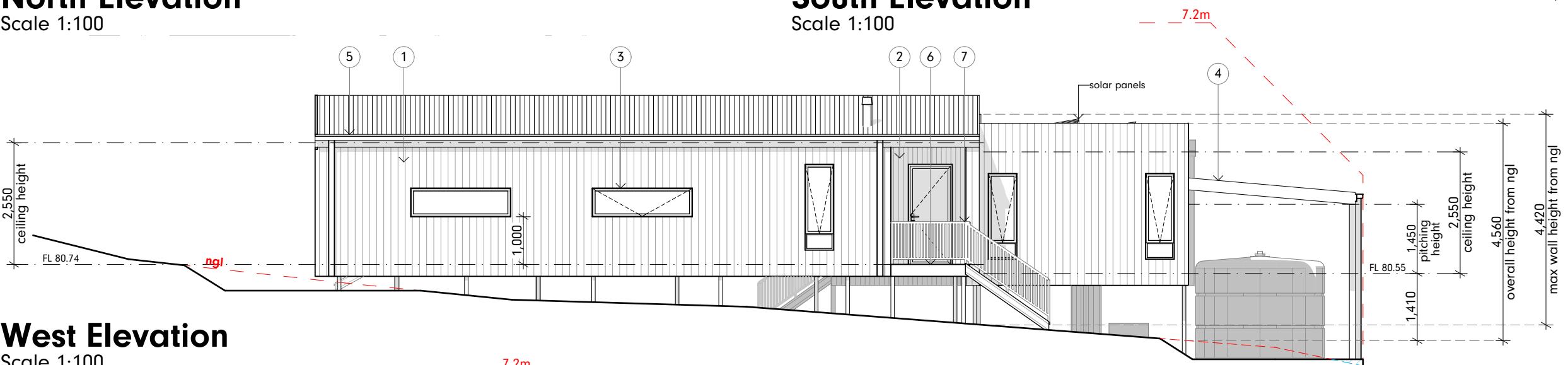
material schedule	
1. wall cladding:	Weathertex Smooth 150mm Colour: Night Sky
2. wall cladding:	Feature timber cladding Colour: Silvertop Ash
3. Windows:	Aluminium Colour: Black
4. Roofing:	Trimdek Colour: Night Sky
5. Capping, Flashings Downpipes & Rainwater Heads:	Colour: Night Sky
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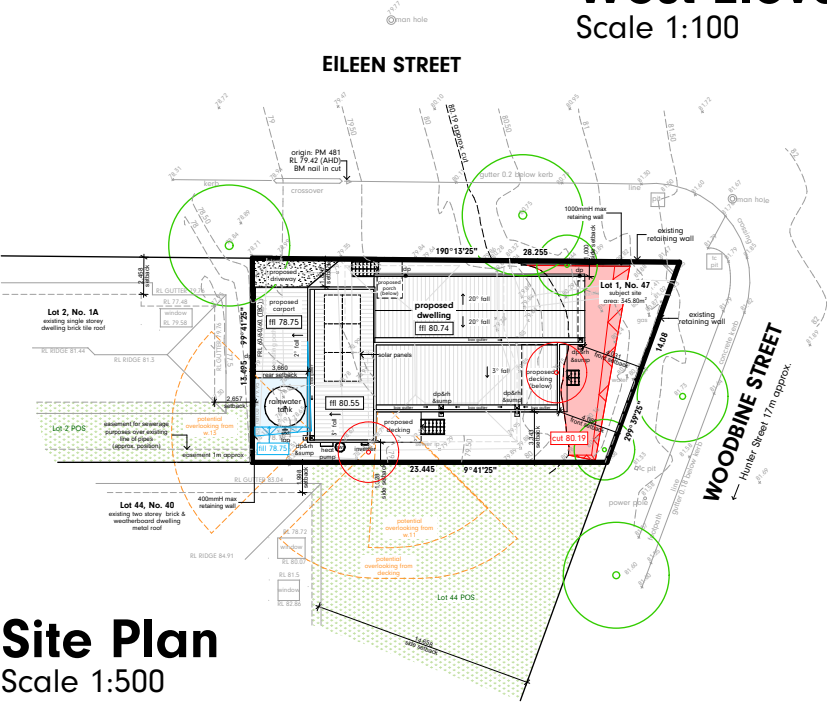
North Elevation  
Scale 1:100



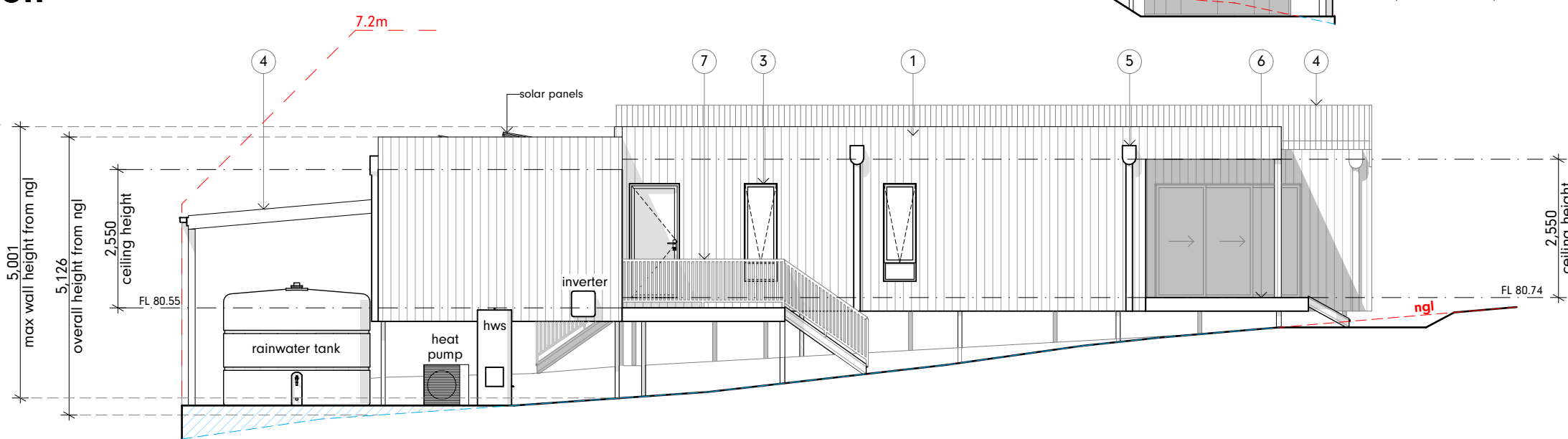
South Elevation  
Scale 1:100



West Elevation  
Scale 1:100



Site Plan  
Scale 1:500



East Elevation  
Scale 1:100

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Notification Plan

Drawn By: SW Scale: 1:100, 1:500 @ A3 Date: 12/08/2022

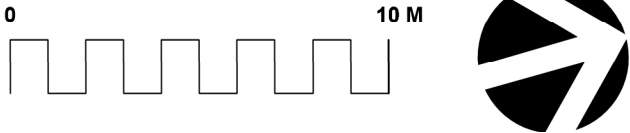
Job No: 22-02 Project Inclusions: EcoLiving

Issue:  
**DA1**

Drawing No:  
**11**

# LANDSCAPE DA

LOT 1, 47 WOODBINE STREET, NORTH BALGOWLAH, NSW, 2093



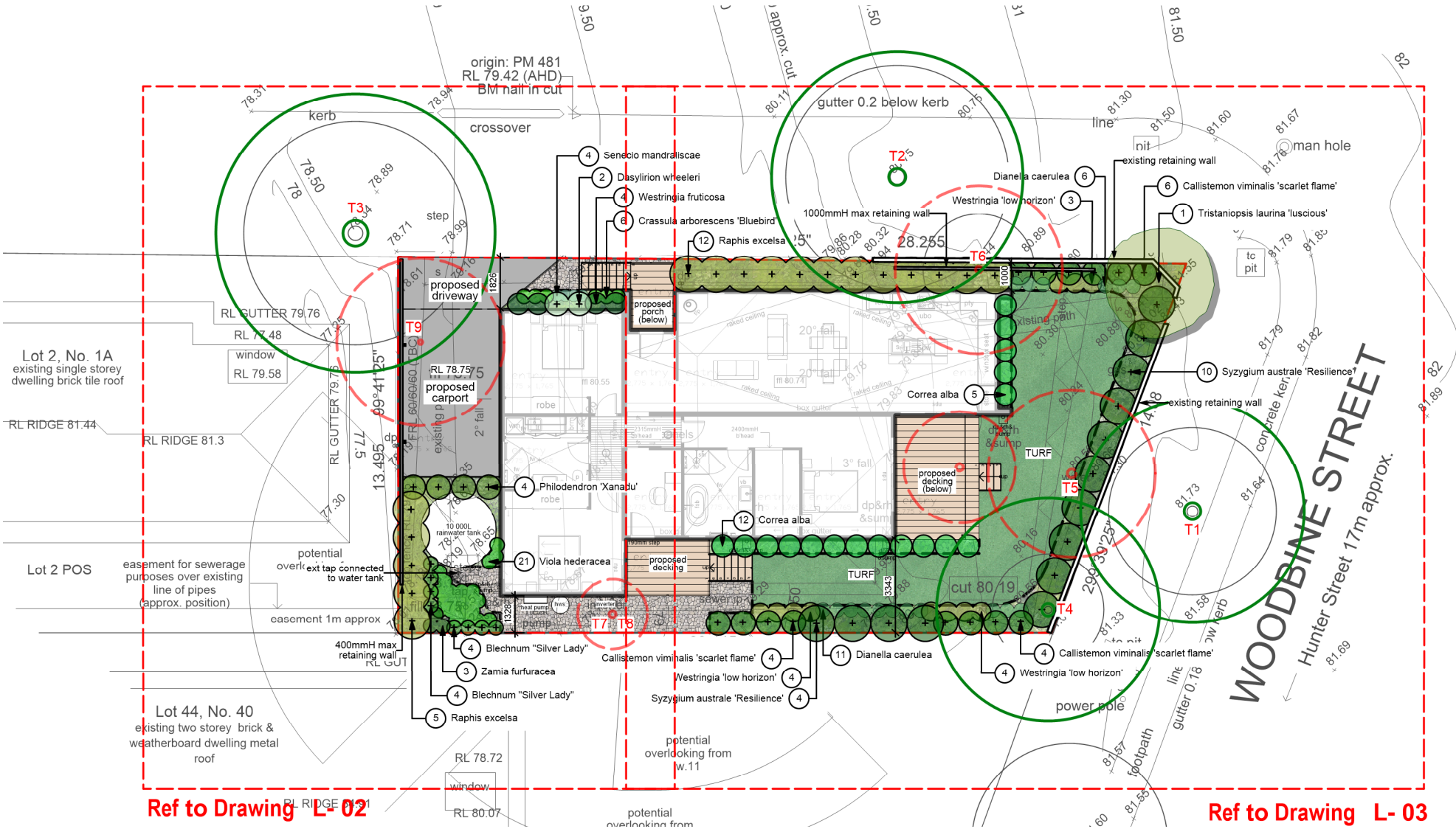
## Drawing List

Sheet No.	Sheet Name	Sheet Size	Rev. No.	Rev. Date	Project No.
L-01	SITE PLANS	A3	A	21/10/22	1451
L-02	DETAILED PLAN	A3	A	21/10/22	1451
L-03	PLANTING DETAILS	A3	A	21/10/22	1451
L-04	SPECIFICATION	A3	A	21/10/22	1451

## LANDSCAPE MAINTENANCE NOTES

MONTH	MOWING EDGING BLOWING	FERTILISING (SEASO.)	CHECK IRRIGATION	HAND WEED REMOVAL	PRUNING	WEED SPRAYING	WATERING/ IRRIGATION	PLANT REPLACEMENT IF REQUIRED
DEC	W	M	M	W	F	M	D	W
JAN	W	M	M	W	F	M	D	W
FEB	W	M	M	W	F	M	D	W
MAR	F	M	M	F	M	M	D	W
APR	F	N/A	M	F	M	M	D	W
MAY	F	N/A	M	M	M	M	D	W
JUNE	M	N/A	M	M	N/A	N/A	2ND D	W
JULY	M	N/A	M	M	N/A	N/A	2ND D	W
AUG	M	N/A	M	M	N/A	N/A	2ND D	W
SEP	M	M	M	M	N/A	N/A	2ND D	W
OCT	F	F	M	F	M	M	D	W
NOV	F	F	M	F	M	M	D	W

PLANTING ESTABLISHMENT PERIOD - 12 MONTHS  
LANDSCAPE MATERIAL ESTABLISHMENT - 12 MONTHS  
KEY D-DAILY, W-WEEKLY, F-FORTNIGHT, M-MONTHLY, 2ND DAY.



Lot 1, No. 47  
subject site  
area: 345.80m²

## LEGEND

DRIVEWAY
TURF AREAS
DEEP SOIL GARDENS
PROPOSED RESIDENCE
DECKED AREAS
PROPOSED RESIDENCE

## EXISTING TREE LEGEND

	EXISTING TREES TO BE RETAINED
	TREES TO BE REMOVED

A	21/10/22	ISSUE FOR REVIEW
ISSUE	DATE	COMMENT
AMENDMENTS		

**GENERAL NOTES**  
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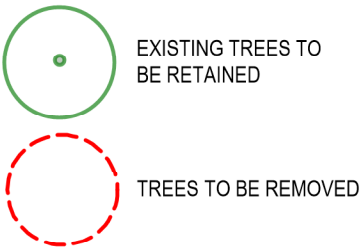
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Project	Mitch Hammonday Nt Balgowlah 1451
Address	Lot 1, 47 Woodbine Street, North Balgowlah, NSW, 2093
Drawing Title	SITE PLANS
Date	21.10.22
Scale	1:200@A3
Drawing No.	1451

Page  
**L-01**



EXISTING TREE LEGEND



LEGEND

- DRIVEWAY
- TURF AREAS
- DEEP SOIL GARDENS
- PROPOSED RESIDENCE
- DECKED AREAS
- PROPOSED RESIDENCE

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Address	Lot 1, 47 Woodbine Street, North Balgowlah, NSW, 2093	Date	21.10.22
Drawing Title	DETAILED PLAN	Scale	1:100@A3
		Drawing No.	1451



Plant List						
ID	Botanical Name	Common Name	Scheduled Size	Mature Height	Mature Spread	Qty
Trees						
TLaur-lus	Tristaniopsis laurina 'luscious'	Kanooka, Water Gum	45L	5 - 10m	3.5 - 6m	1
Shrubs						
cal vim 'sf'	Callistemon viminalis 'scarlet flame'	Callistemon	200mm	0.6m	1m	14
Cor-alb	Correa alba	White Correa	200mm	0.9 - 1.5m	0.9 - 1.2m	17
das-wh	Dasyilirion wheeleri	Desert Spoon	200mm	0.6 - 1m	1m	2
Phi-xan	Philodendron 'Xanadu'	Winterborn Philodendron	200mm	0.9 - 1.5m	0.9 - 1.2m	4
rap-exc	Raphis excelsa	Lady Palm	300mm	3 - 5m	1.0 - 3.5m	17
syz-au're'	Syzygium australe 'Resilience'	Lilly Pilly	200mm	1 - 2.5m	1.5m	14
Wes-fru	Westringia fruticosa	Coastal Rosemary	200mm	0.6m	0.9m	4
Ground Covers						
Ble-sl	Blechnum "Silver Lady"	Fishbone Water Fern	150mm	0.75 - 0.9m	0.3 - 0.6m	8
Cra-arb	Crassula arborescens 'Bluebird'	'Blue Bird'	150mm	0.0 - 0.3m	0.3 - 0.6m	6
sen-ma	Senecio mandraliscae	Blue Chalk Sticks	150mm	0.15m	0.5m	4
vio-he	Viola hederacea	Native Violet	150mm	0.2m	0.6-0.8m	21
wes-lh'	Westringia 'low horizon'	coastal rosmary	200mm	0.4m	0.8m	11
zam-fu	Zamia furfuracea	Cardboard Plant	150mm	0.5m	0.6 m	3
Dia-cae	Dianella caerulea	Blue Flax-lily	150mm	0.4m	0.6m	17



Tristaniopsis laurina luscious Watergum



Callistemon viminalis 'Scarlet Flame'



Correa alba White correa



Dasyilirion wheeleri Desert spoon



Philodendron xanadu Winterborn philodendron



Raphis excelsa Lady Palm



Syzygium Australe-resilience Lilly Pilly



Westringia fruticosa Westringia



Blechnum 'Silver Lady' Fishbone water fern



Crassula arborescens 'Blue Bird'



Senecio mandraliscae Blue Chalk Stick



Viola hederacea Native Violet



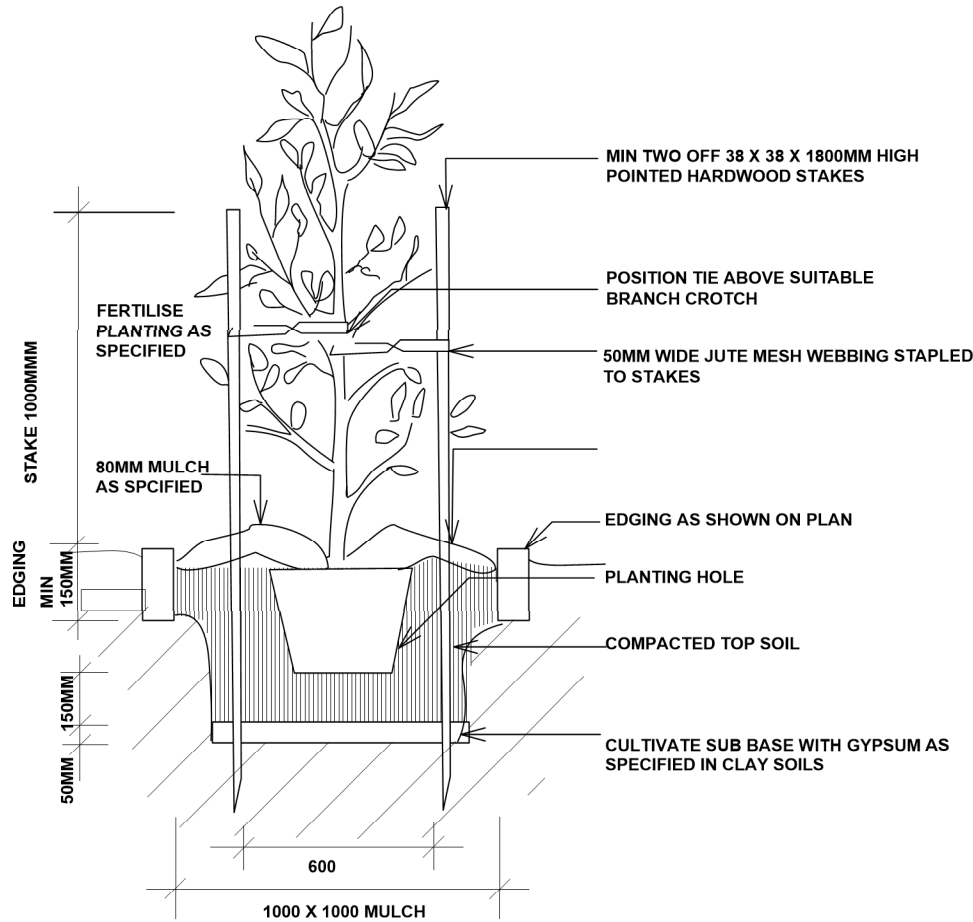
Westringia low horizon Coastal rosemary



Zamia furfuracea Cardboard Plant

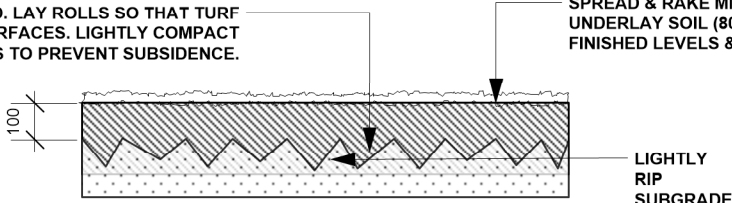


Dianella caerulea Flax Lilly

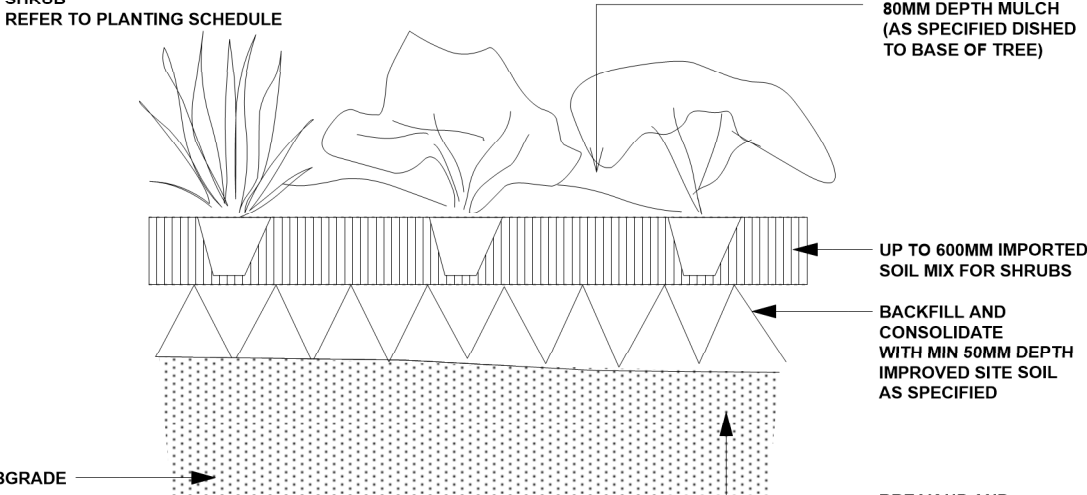


TYPICAL TREE PLANTING DETAIL NTS

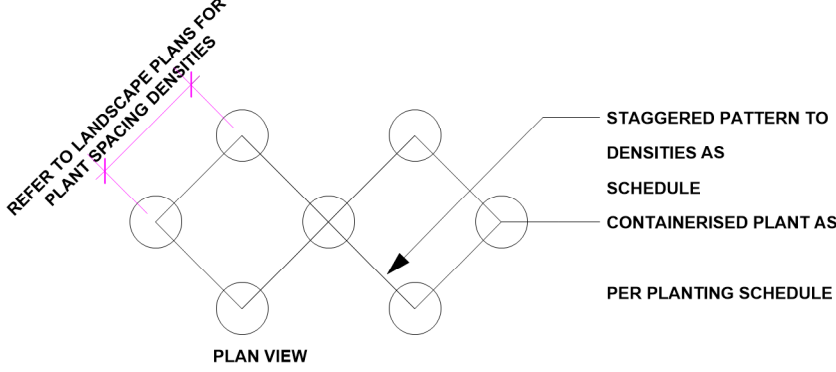
SIR WALTER TURF ROLLS AS SPECIFIED. LAY ROLLS SO THAT TURF FINISHES 300MM PROUD OF ADJACENT SURFACES. LIGHTLY COMPACT EDGES TO PREVENT SUBSIDENCE.



SHRUB REFER TO PLANTING SCHEDULE



TYPICAL SHRUB PLANTING DETAIL NTS



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Drawing Title	PLANTING DETAILS	Scale	N.T.S@A3
		Drawing No.	1451

A	21/10/22	ISSUE FOR REVIEW
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LANDSCAPE WORK SPECIFICATION

PRELIMINARIES

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works:

The landscape plans should be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the proposed development.

All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect.

Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscape works and hardstand pours.

All outdoor lighting specified by architect or client to be installed by qualified electrician

Anomalies that occur in these plans should be brought to our immediate attention.

Where an Australian Standard applies for any landscape material testing or installation technique, that

standard shall be followed.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done so in accordance with NATSPEC Guide 2 "A Guide to Assessing Tree Quality". Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree health.

Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw.

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

- Construction of a sediment trap at the vehicle access point to the subject site.

- Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on

site by the landscape architect.

- Earth banks to prevent scour of stockpiles

- Sandbag kerb sediment traps

- Straw bale & geotextile sediment filter.

- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to "Sitewise Reference Kit" as prepared by DLWC & WSROC (1997) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix, equal to "Botany Humus", as supplied by ANL. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported "Organic Garden Mix" as supplied by ANL or approved equal. All mixes are to comply with AS 4419 Soils for landscaping & garden use, & AS 4454 Composts, Soil conditioners & mulches.

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, cXXlay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

2.02 INSTALLATION

a) Establishing Subgrade Levels

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply:

Mass Planting Beds - 300mm below existing levels with specified imported soil mix.

Turf areas - 100mm below finished surface level.

Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

b) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil mix.

c) Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

d) Placement and Preparation of Specified Soil Conditioner & Mixes.

Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal.

Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm

Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth and good growing medium in preparation for planting.

Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm.

Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PLANTING

3.01 MATERIALS

a) Quality and Size of Plant Material

All trees supplied above a 25L container size must be grown and planted in accordance with *Clarke, R 1996 Purchasing Landscape Trees: A guide to assessing tree quality. Natspec Guide No. 2*. Certification that trees have been grown to Natspec guidelines is to be provided upon request of Council's Tree Management Officer.

Above - Ground Assessment:

The following plant quality assessment criteria should be followed:

*Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure*

Below - Ground Assessment:

*Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering* For further explanation and description of these assessment criteria, refer to Ross Clark's book.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above.

b) Stakes and Ties

Provide min. 2 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 2200mm x 50mm x 50mm Hardwood, or approved alternative. Ties shall be 50mm wide hessian webbing material.

c) Fertilisers

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

d) Mulch

Mulch shall be an approved equal to "Forest Blend" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris.

e) Turf

Turf shall be "Sir Walter" Buffalo or equivalent (unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition.

3.02 INSTALLATION

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

b) Planting

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

c) Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

d) Mulching

Mulch should be spread so that a compacted thickness of 75mm is achieved after settlement in all planting beds and around each individual plant. Apply immediately following planting and watering in, ensuring that a 50mm radius is maintained around the trunk of each plant. There shall be no mixing of soil and mulch material.

e) Turfing

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation.

f) Steel Garden Edging

The Contractor shall install stone edging as shown on the drawings, to all mass planting beds adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces.

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers specification.

Paving - refer to typical details provided, and applicable Australian Standards. *Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface.* In most instances, the client shall nominate the appropriate paving material to be used.

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be bought to the attention of the Landscape Architect.

Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands Division on (02) 8836 5332

IRRIGATION WORKS

5.01 GENERAL (PERFORMANCE SPECIFICATION)

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design.

This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage of water.

The Installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of Australia, Laws of the State of NSW, Council By-Laws and Ordinances.

Drawings:

- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

Design Requirements:

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas.

- It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.

- The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off.

- The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock where available.

- All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm centres with galv wire pins.

- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.

Services Co-ordination:

- Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions.

- The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred service and conduit locations.

- Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and water supply.

Testing & Defects:

Upon completion of installation, the system shall be tested, including:

- Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of time.

- Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa.

- All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

Warranty :

- A full 12 month warranty shall be included to cover labour and all parts.

Further Documentation:

- On request, a detailed irrigation performance specification report can be issued.

12 MONTH MAINTENANCE

6.01 GENERAL

The consolidation and maintenance period shall be 12 months beginning from the approved completion of the specified construction work (Practical Completion). A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works.

This shall include, but not be limited to, the following items where and as required: Watering all planting and lawn areas / irrigation maintenance.

Clearing litter and other debris from landscaped areas.

Removing weeds, pruning and general plant maintenance.

Replacement of damaged, stolen or unhealthy plants. Make good areas of soil subsidence or erosion.

Topping up of mulched areas.

Spray / treatment for Insect and disease control.

Fertilizing with approved fertilizers at correct rates.

Mowing lawns & trimming edges each 14 days in summer or 18 days in winter Adjusting ties to Stakes

Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the responsibility will be signed over to the client.xx

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