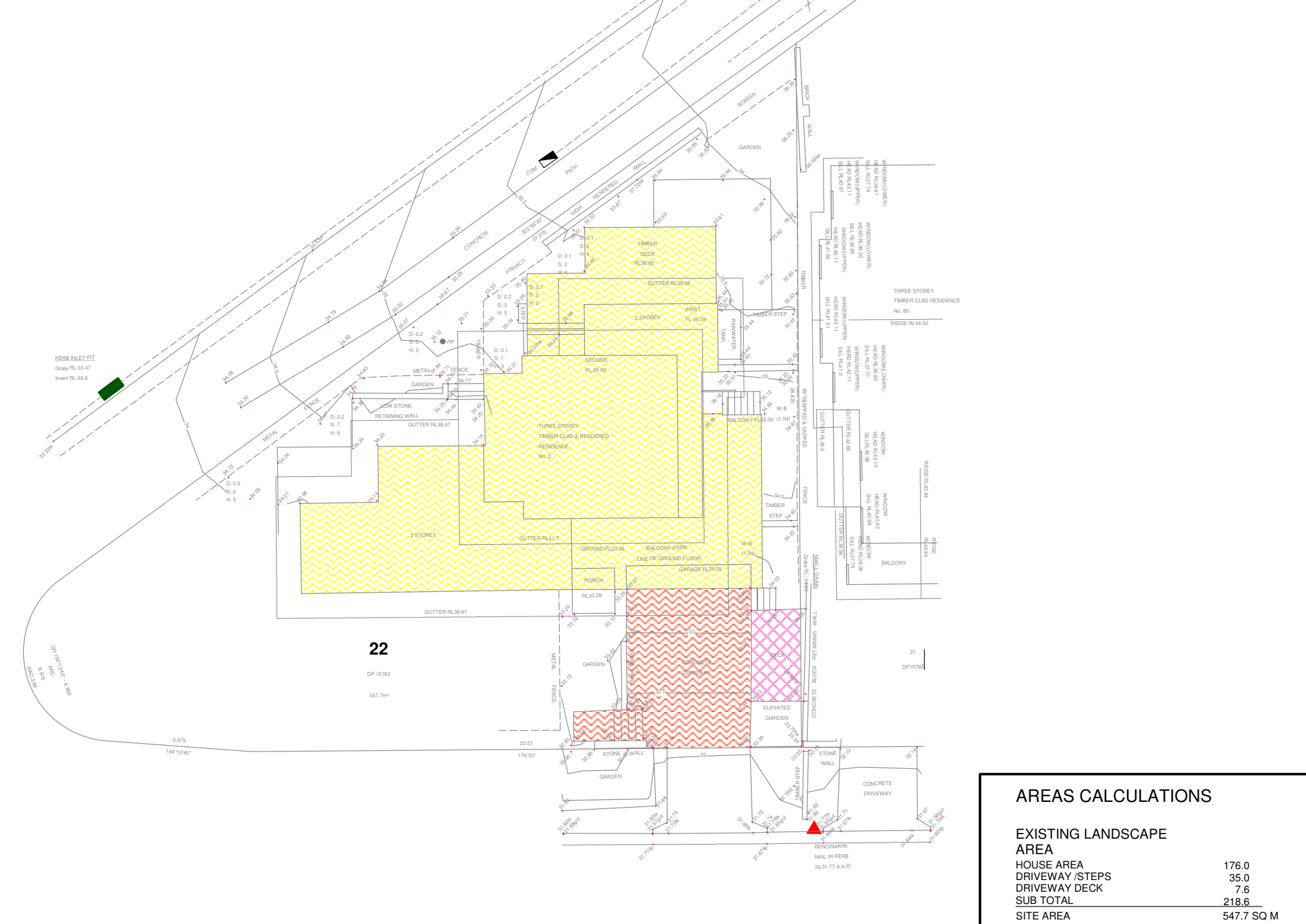
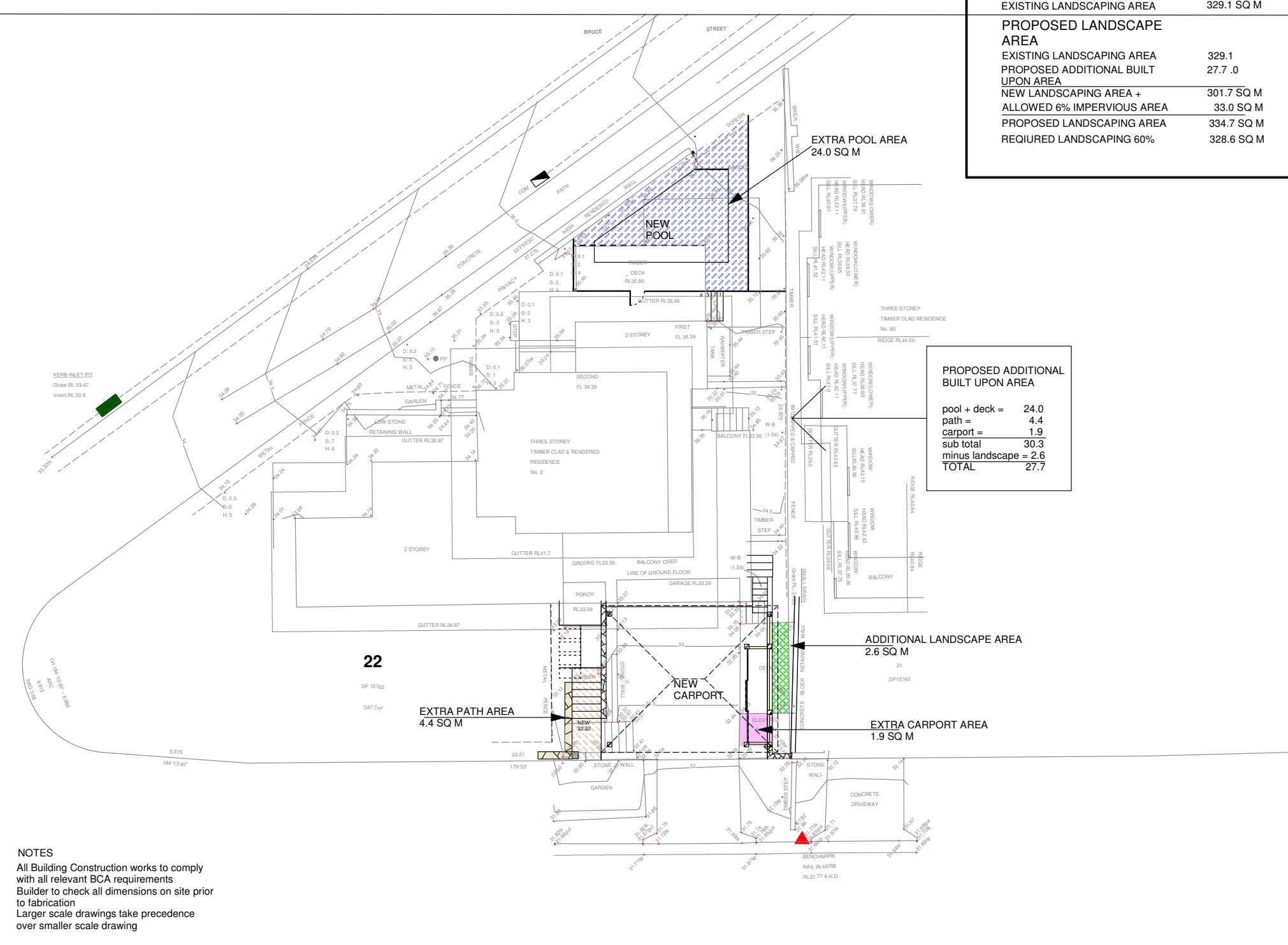
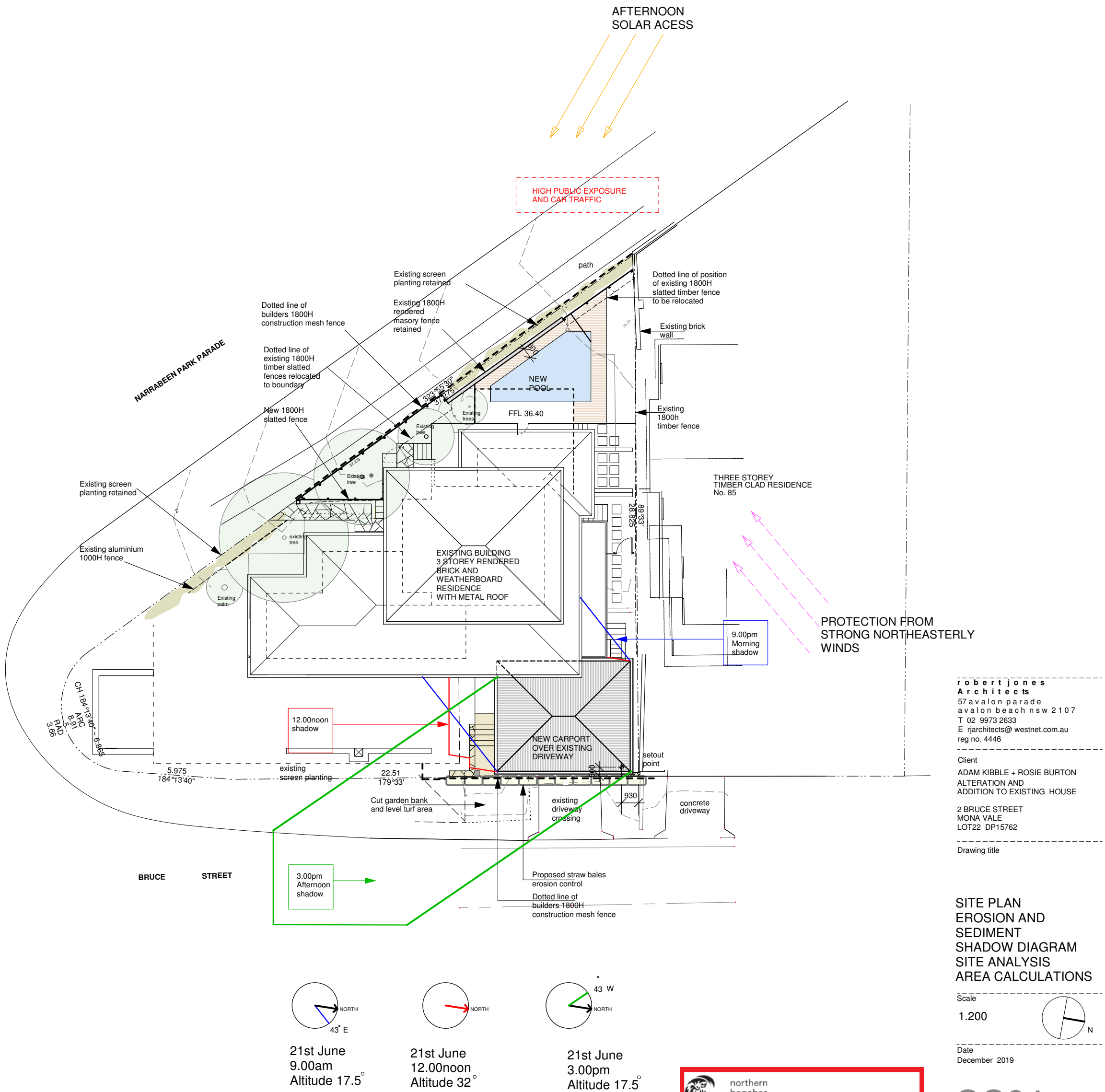




AREAS CALCULATIONS	
EXISTING LANDSCAPE AREA	
HOUSE AREA	176.0
DRIVEWAY /STEPS	35.0
DRIVEWAY DECK	7.6
SUB TOTAL	218.6
SITE AREA	547.7 SQ M
EXISTING LANDSCAPING AREA	329.1 SQ M
PROPOSED LANDSCAPE AREA	
EXISTING LANDSCAPING AREA	329.1
PROPOSED ADDITIONAL BUILT UPON AREA	27.7 .0
NEW LANDSCAPING AREA + ALLOWED 6% IMPERVIOUS AREA	301.7 SQ M
PROPOSED LANDSCAPING AREA	334.7 SQ M
REQUIRED LANDSCAPING 60%	328.6 SQ M



PROPOSED ADDITIONAL BUILT UPON AREA	
pool + deck =	24.0
path =	4.4
carport =	1.9
sub total	30.3
minus landscape =	2.6
TOTAL	27.7



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Client
ADAM KIBBLE + ROSIE BURTON
ALTERATION AND
ADDITION TO EXISTING HOUSE

2 BRUCE STREET
MONA VALE
LOT22 DP15762

Drawing title

SITE PLAN
EROSION AND
SEDIMENT
SHADOW DIAGRAM
SITE ANALYSIS
AREA CALCULATIONS

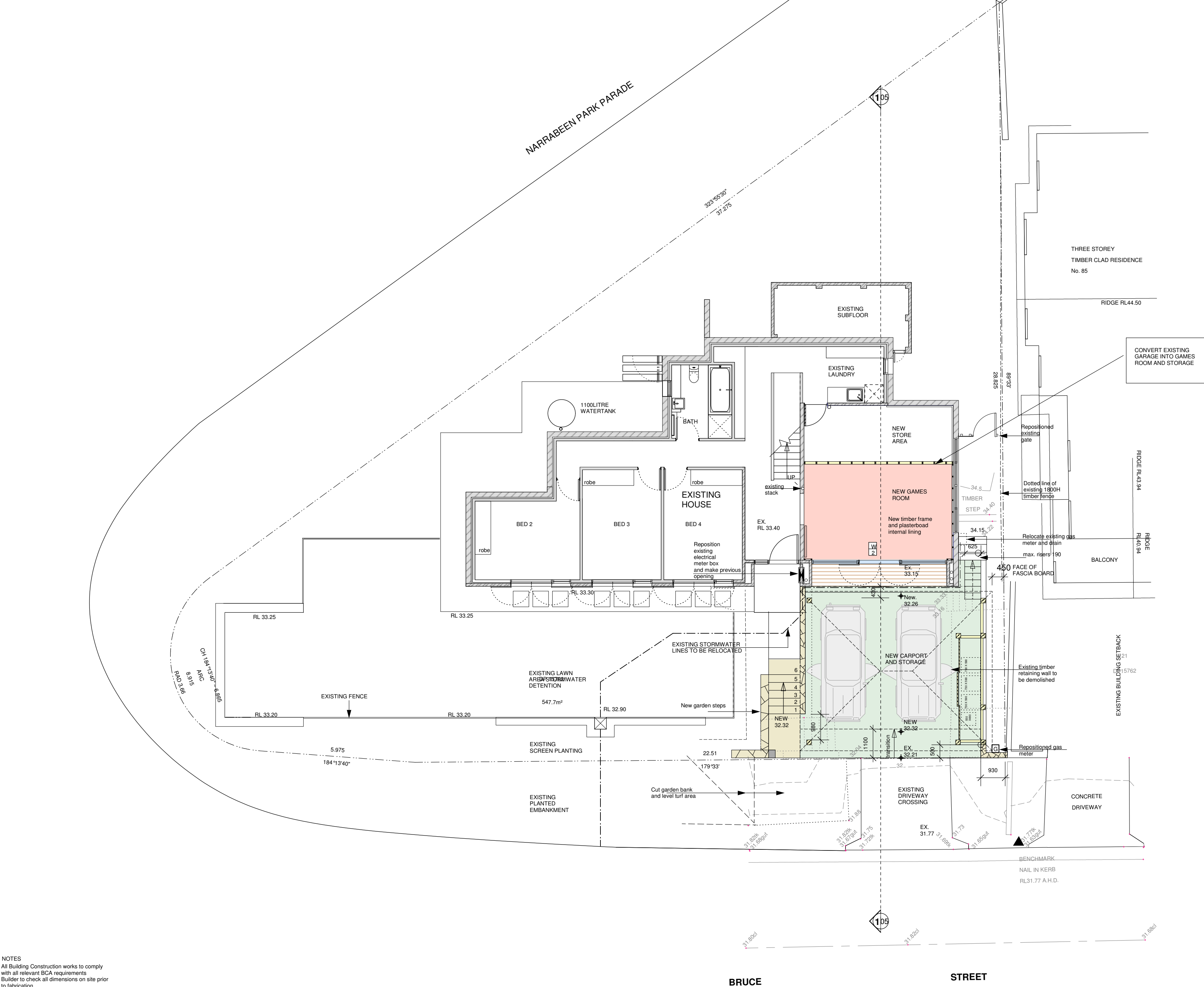
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Date
December 2019

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT

DA2020/0602

NOTES
All Building Construction works to comply with all relevant BCA requirements
Builder to check all dimensions on site prior to fabrication
Larger scale drawings take precedence over smaller scale drawing



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2 BRUCE STREET
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Drawing title

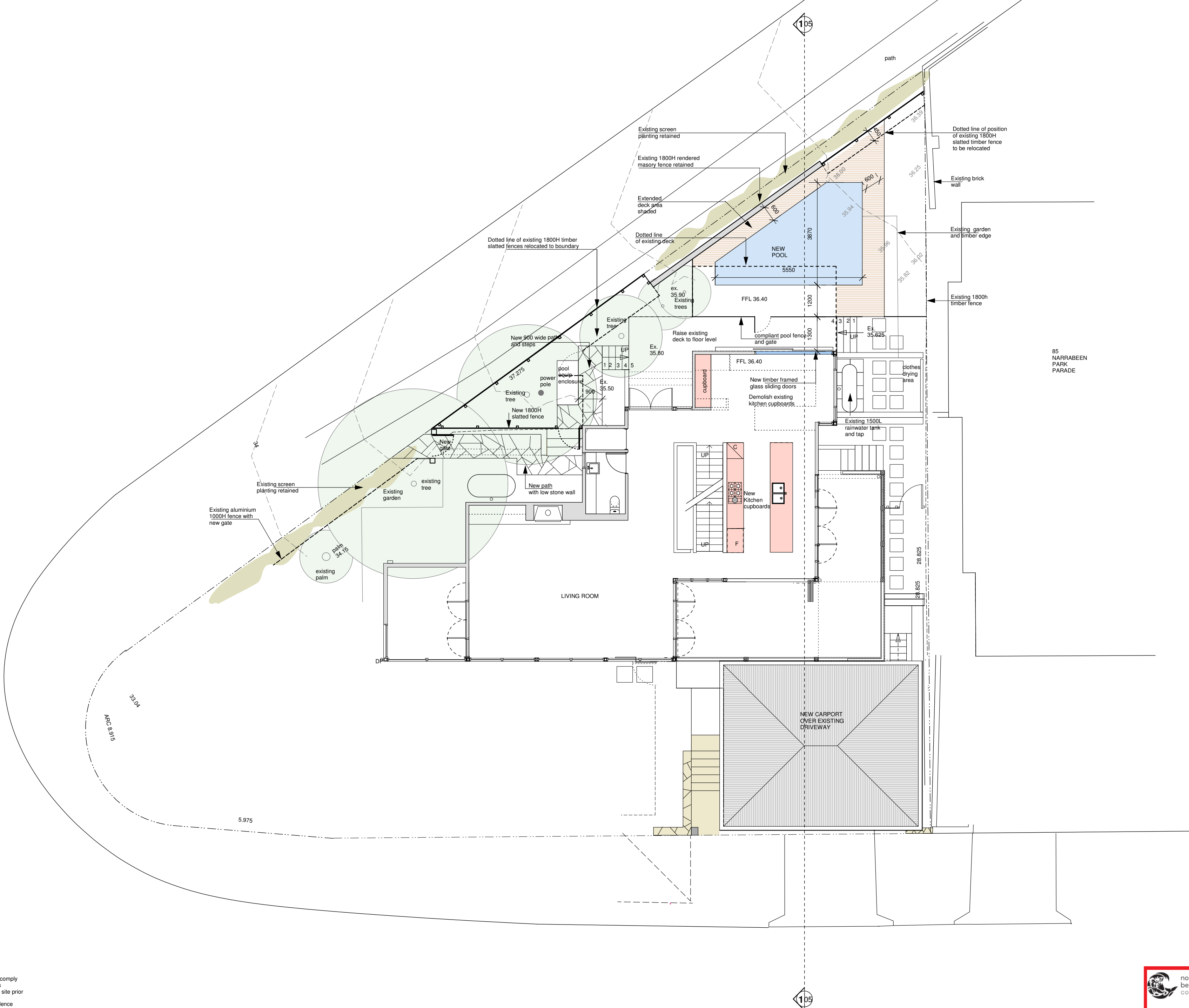
GROUND LEVEL
PLAN
Scale
1:100
Date
December 2019



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DA2020/0602

CC02



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ADDITION TO EXISTING HOUSE

2 BRUCE STREET
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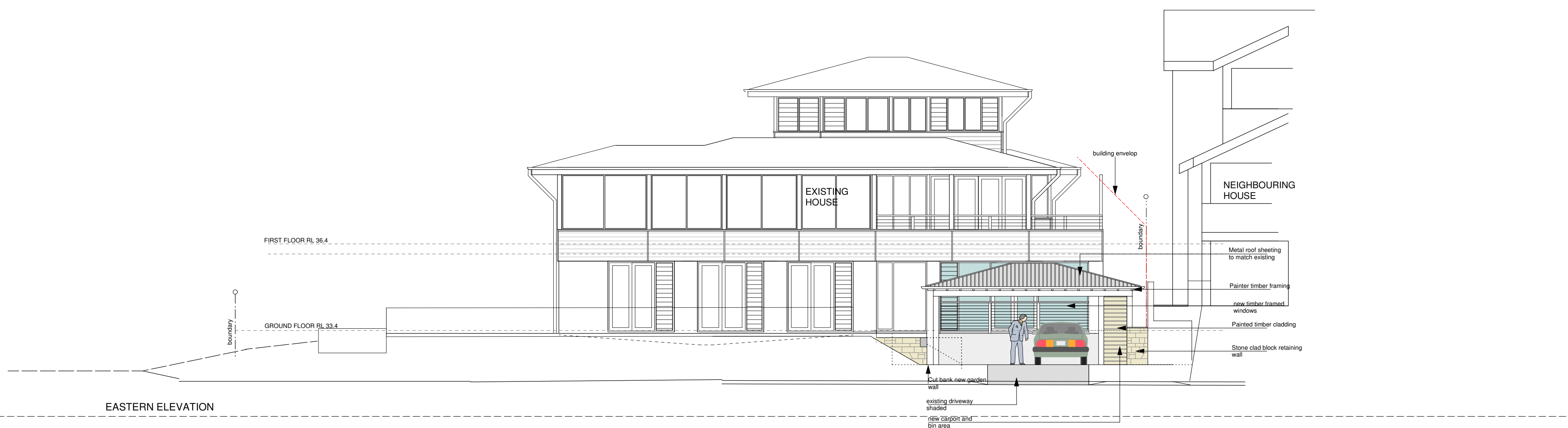
Drawing title

FIRST FLOOR
PLAN

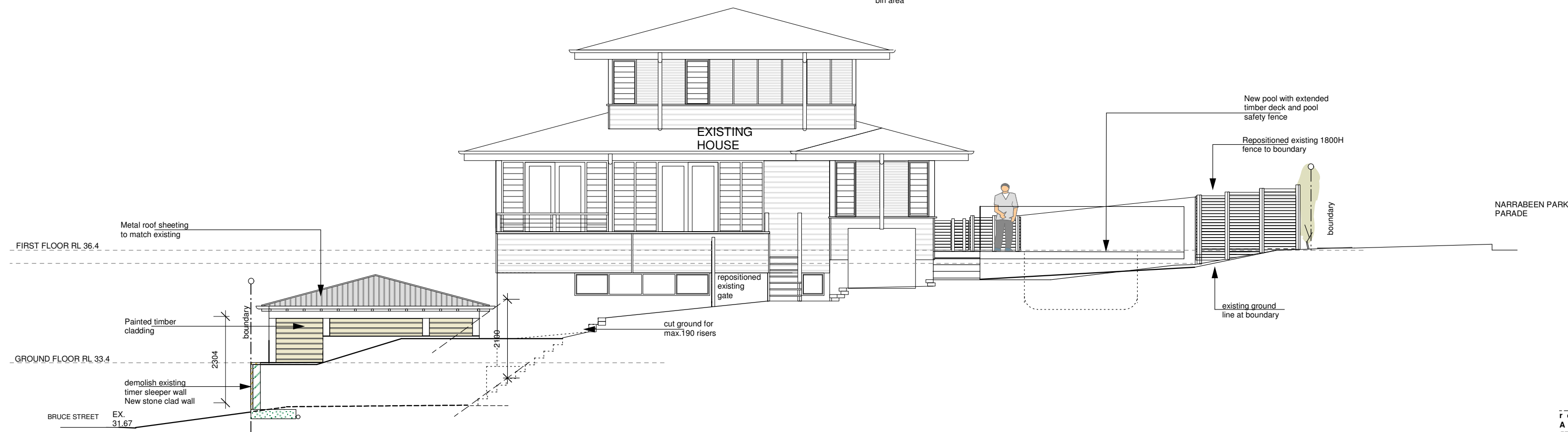
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Date
December 2019

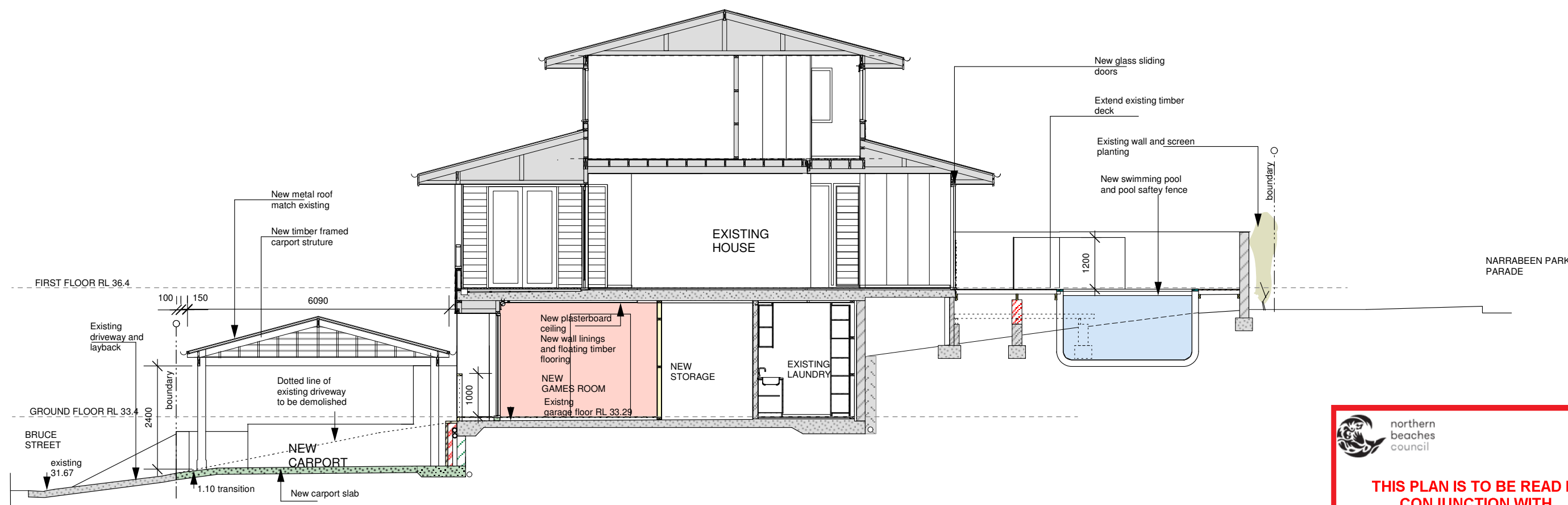
CC03



EASTERN ELEVATION



NORTHERN ELEVATION



SECTION 1

NOTES
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Client
Adam Kibble + Rosie Burton
Alteration and Addition to Existing House
2 Bruce Street
Mona Vale
Lot22 DP15762

Drawing title

Elevations
Section

Scale
1:100

Date
December 2019

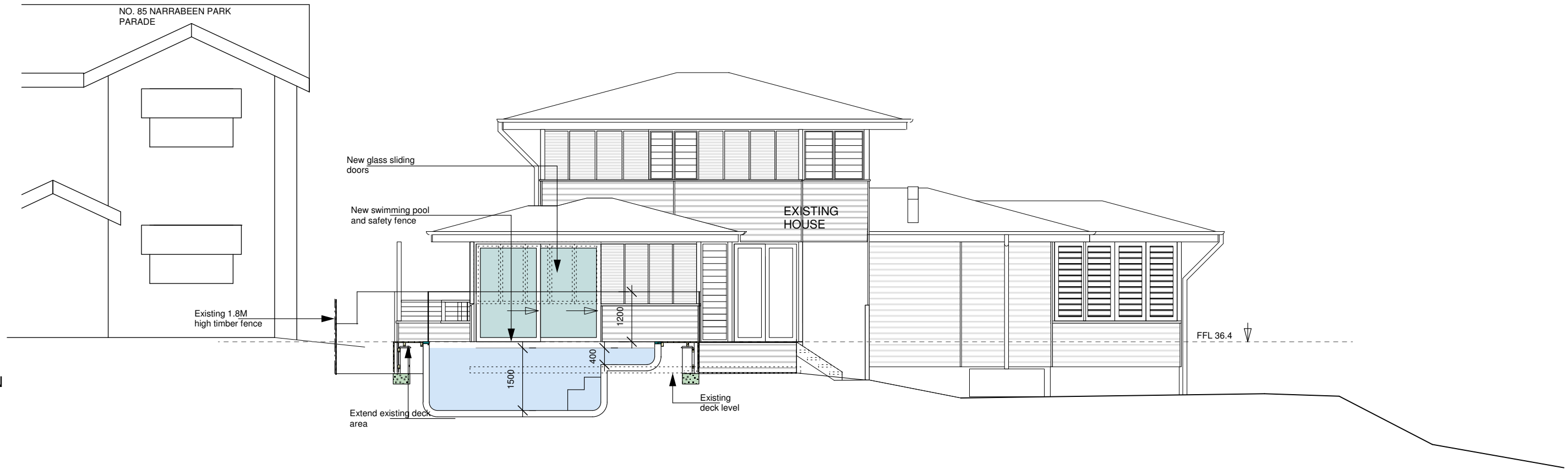
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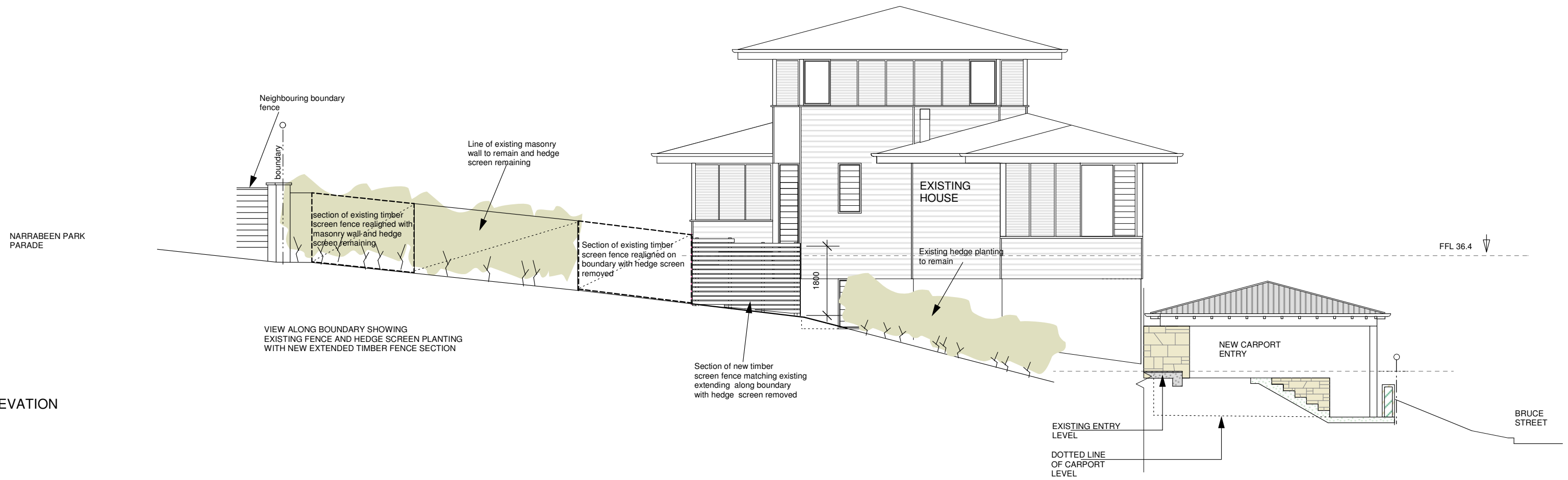
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WESTERN ELEVATION



SOUTHERN ELEVATION



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ALTERATION AND
ADDITION TO EXISTING HOUSE

2 BRUCE STREET
MONA VALE
LOT22 DP15762

Drawing title

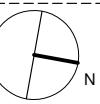
ELEVATIONS 2

Scale

1:100

Date

December 2019



CC05



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beaches
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