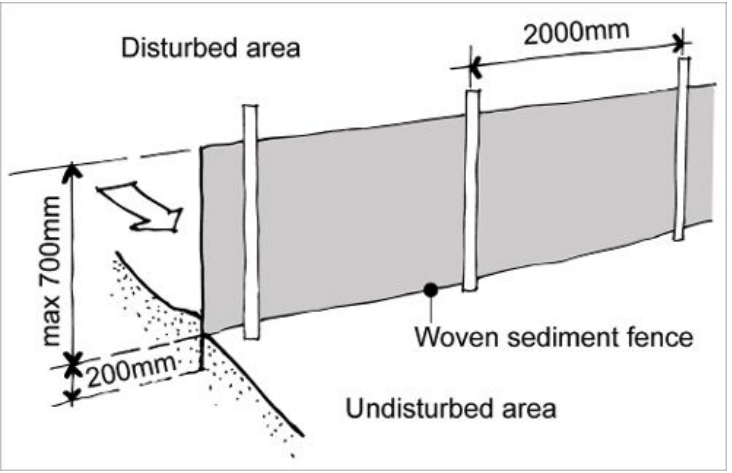


AREA CALCULATION		
	AREA (m2)	PERCENTAGE
Site	549,37	
Existing Landscape total	222,44	40,49%
Proposed Landscape total	213,12	38,79%

Existing Tree Table			
Number	Name	Size (H X W)	Action
1	Cocus Palm	10 X 4	Remove
2	Cocus Palm	10 X 4	Remove
3	Cocus Palm	10 X 4	Remove
4	Cocus Palm	10 X 4	Remove
5	Cocus Palm	10 X 4	Remove
6	Cocus Palm	10 X 4	Remove
7	Cocus Palm	10 X 4	Remove
8	Cocus Palm	10 X 4	Remove
9	Cocus Palm	10 X 4	Remove
10	Cocus Palm	10 X 4	Remove
11	Cocus Palm	10 X 4	Remove
12	Cocus Palm	10 X 4	Remove

- Legend
- MULCH AREA
 - TURF AREA
 - TIMBER DECKING
 - CONCRETE PAVING
 - UNIT PAVING
 - STAIRS
 - PEBBLE
 - GRAVEL
 - COBBLESTONE
 - TIMBER
 - WATER
 - MASONRY RETAINING WALL
 - STONE RETAINING WALL
 - TIMBER RETAINING WALL
 - BOULDER RETAINING WALL
 - SITE OR WORKS BOUNDARY
 - PROPOSED LEVEL
 - TOP OF WALL LEVEL
 - MATERIAL NAME
 - SURFACE FALL DIRECTION
 - SURFACE DRAINS
 - SURVEY (50% GREY LINES)
 - EXISTING TREE TO RETAIN
 - EXISTING TREE TO REMOVE
 - EXISTING ROCK OUTCROP



Sedimentation Control Fence
Not to scale.
Source: www.yourhome.gov.au



ACER



ALPINIA



CLIVIA



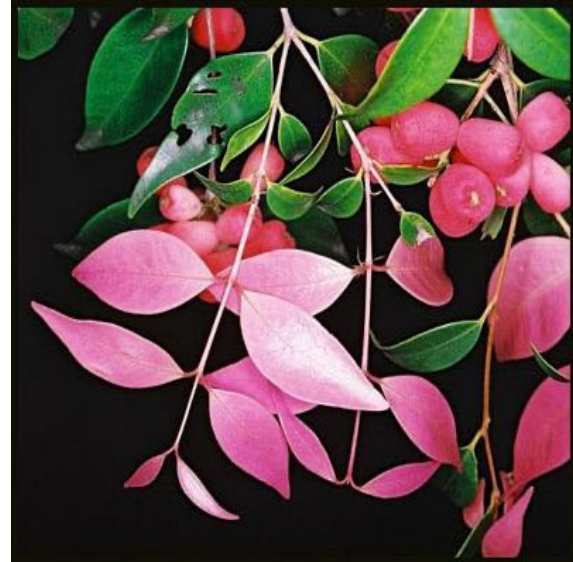
ISOLEPIS



LOMANDRA LONGIFOLIA



SANSEVIERIA



SYZYGIUM



TRACHELOSPERMUM



WESTRINGIA

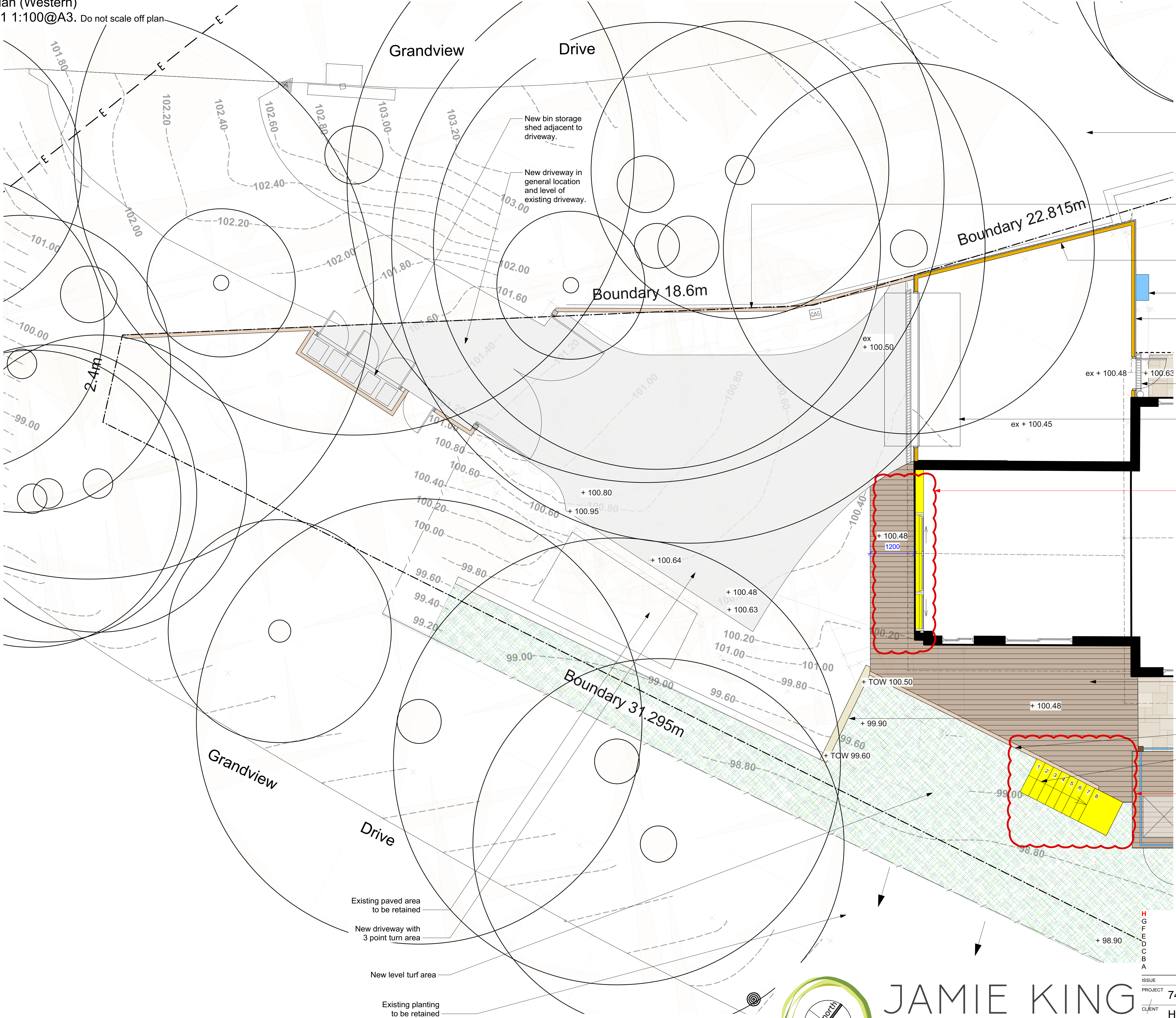
Note : 4.55 items in yellow highlight



JAMIE KING
LANDSCAPE ARCHITECT
DESIGN • APPROVE • MANAGE

ISSUE	DATE	REVISION	PROJECT #
PROJECT	74 Grandview Drive, Newport		21060
CLIENT	HSU	DATE # See above	DWG #
DWG	Master Landscape Plan	SCALE @ A1 See Plan	Sht-101
CHKD	JK	WPS	REVISION
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Detail Plan (Western)
1:50@A1 1:100@A3. Do not scale off plan



- Legend**
- MULCH AREA
 - TURF AREA
 - TIMBER DECKING
 - CONCRETE PAVING
 - UNIT PAVING
 - STAIRS
 - PEBBLE
 - GRAVEL
 - COBBLESTONE
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 - WATER
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 - SURVEY (50% GREY LINES)
 - EXISTING TREE TO RETAIN
 - EXISTING TREE TO REMOVE
 - EXISTING ROCK OUTCROP

Existing planting to be retained

Timber picket fence on top of existing sandstone wall.

Clad timber stud wall from top of retaining wall to under side of existing carport roof.

Approximate location of gas HWU

New wall and door

Strip drain

Garage door to front of carport to create enclosed garage.

Revision 1. Replace existing door with smaller window. Infil stud wall around.

New timber deck to replace existing at same level as tile and pool. New deck defined with brown colour on plan.

Retaining wall to allow for small area of excavation to allow for level lawn area.

New selected Balustrade

New timber stairs to access level grass area. New deck defined with brown colour on plan.

Revision 02. Rotate stair

Note : 4.55 items in yellow highlight

H	30/5/22	Issue H for 4.55
G	06/04/22	Issue G for CC
F	12/11/21	Issue F for CC
E	12/10/21	Issue E
D	14/07/21	Issue D
C	12/03/21	Issue C for DA
B	28/02/21	DRAFT issue for review
A	05/02/21	DRAFT issue for review

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PROJECT	74 Grandview Drive, Newport	PROJECT #	21060
CLIENT	HSU	DATE #	See above
DWG	Detail Plan (Western)	SCALE @ A1	See Plan
CHKD	JK	DRAWN	WPS
		CHKD	JK

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1:50@A1 1:100@A3. Do not scale off plan

1:50@A1 1:100@A3. Do not scale off plan

Existing planting to be retained

— New hot water system location.
Pending plumbing compliance

Existing landscape
— area to be retained

— Glass sliding door with aluminium frame

— Strip drain

Existing roofed pergola to be partially enclosed with opening shutters to sides and sliding doors to north elevation. This is designed to be partially weatherproof however not an enclosed habitable space.

Revision 03 Replace proposed opening louvre walls with solid walls. Replace sliding door with bifold. This is now an enclosed habitable space. Tiled floor.

New louver opening
shutters

Existing deck to be removed and replaced with tile on concrete slab.

— Semi enclosed pergola

Revision 04. Replace existing awning with new at same level as new roof over outdoor room.

New deck to replace existing
(brown coloured areas)

— New tiles on existing slab

Pool fencing and gate to 1200mm to comply with AS 1926.1-2012

Existing deck
— altered to fit pool

— Proposed deck colored brown on plan

— Blue dashed line indicates
Approximate location of sewer line

existing fence to be
retained

Existing fence
to be retained

Turf area

New timber stairs to
access level grass area

Pool filter in sound proof enclosure under deck

Land drain
away steep

Boundary 10.12m

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H	30/5/22	Issue H for 4.55
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D	14/07/21	Issue D
C	12/03/21	Issue C for DA
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ISSUE	DATE	REVISION		
PROJECT	74 Grandview Drive, Newport		PROJECT #	21060
CLIENT	HSU		DATE #	See above
DWG	Detail Plan (Eastern)		SCALE @ A1	See Plan
			DRAWN	SA
			CHKD	JK
		REVISION	Sht-103	

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Legend

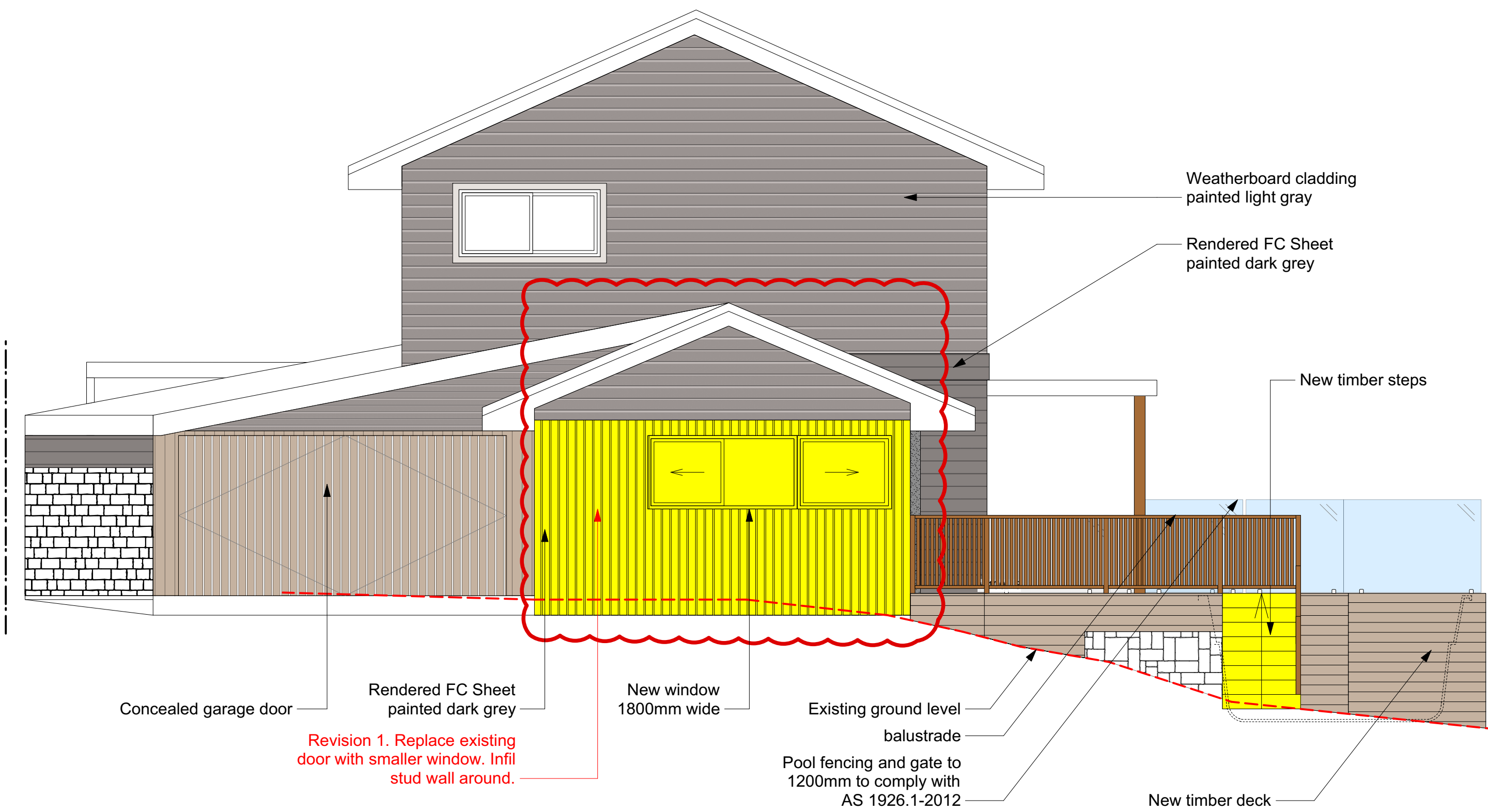
	MULCH AREA
	TURF AREA
	TIMBER DECKING
	CONCRETE PAVING
	UNIT PAVING
	STAIRS
	PEBBLE
	GRAVEL
	COBBLESTONE
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	MASONRY RETAINING WALL
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	SITE OR WORKS BOUNDARY
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	MATERIAL NAME
	SURFACE FALL DIRECTION
	SURFACE DRAINS
	SURVEY (50% GREY LINES)
	EXISTING TREE TO RETAIN
	EXISTING TREE TO REMOVE
	EXISTING ROCK OUTCROP

Note : 4.55 items in yellow highlight

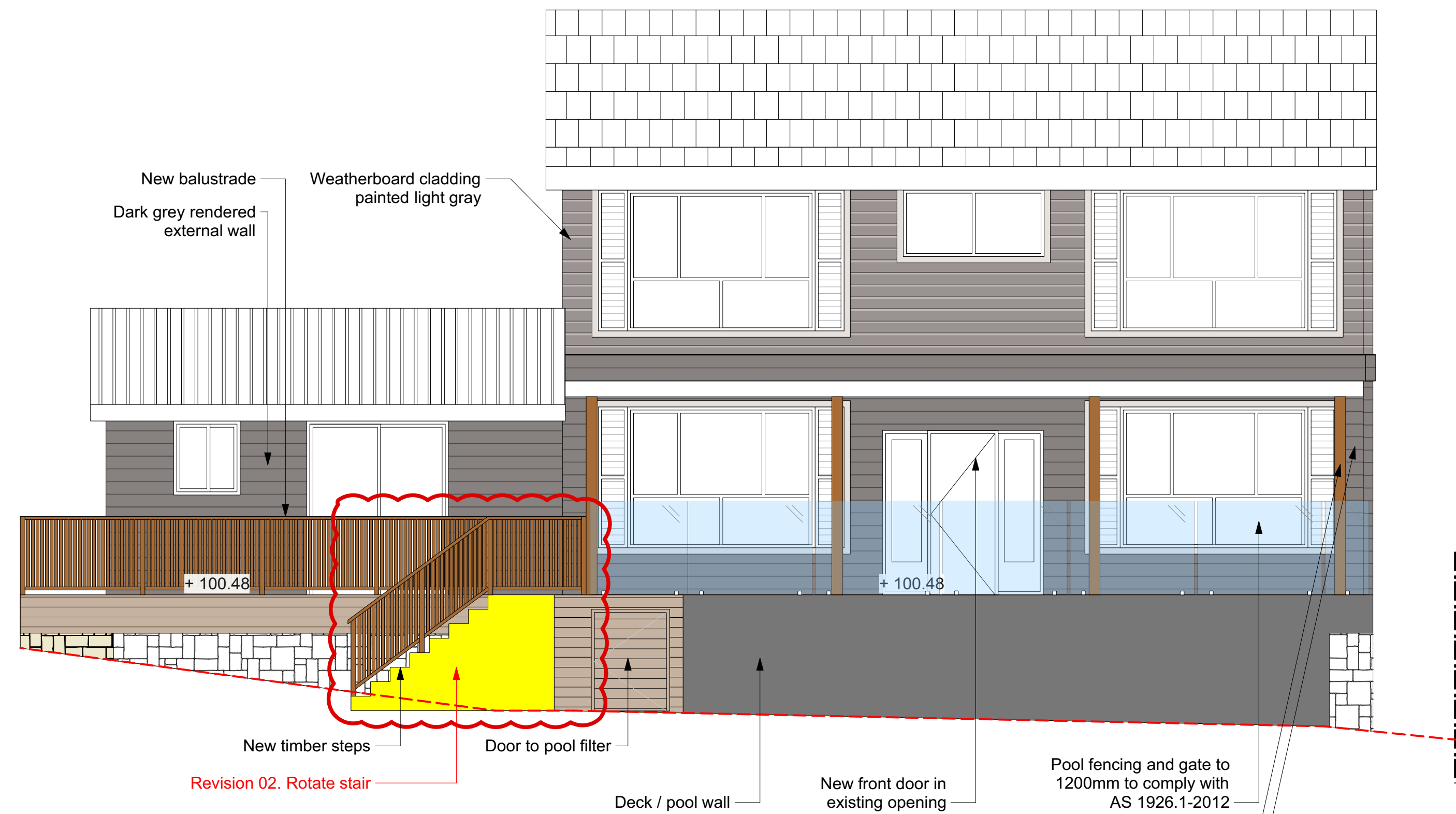
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Elevation West
1:50@A1 1:100@A3. Do not scale off plan



Elevation South
1:50@A1 1:100@A3. Do not scale off plan



CLADDING COLOUR



CONCRETE DRIVEWAY



DECK POOL SURROUND



GLASS POOL FENCE



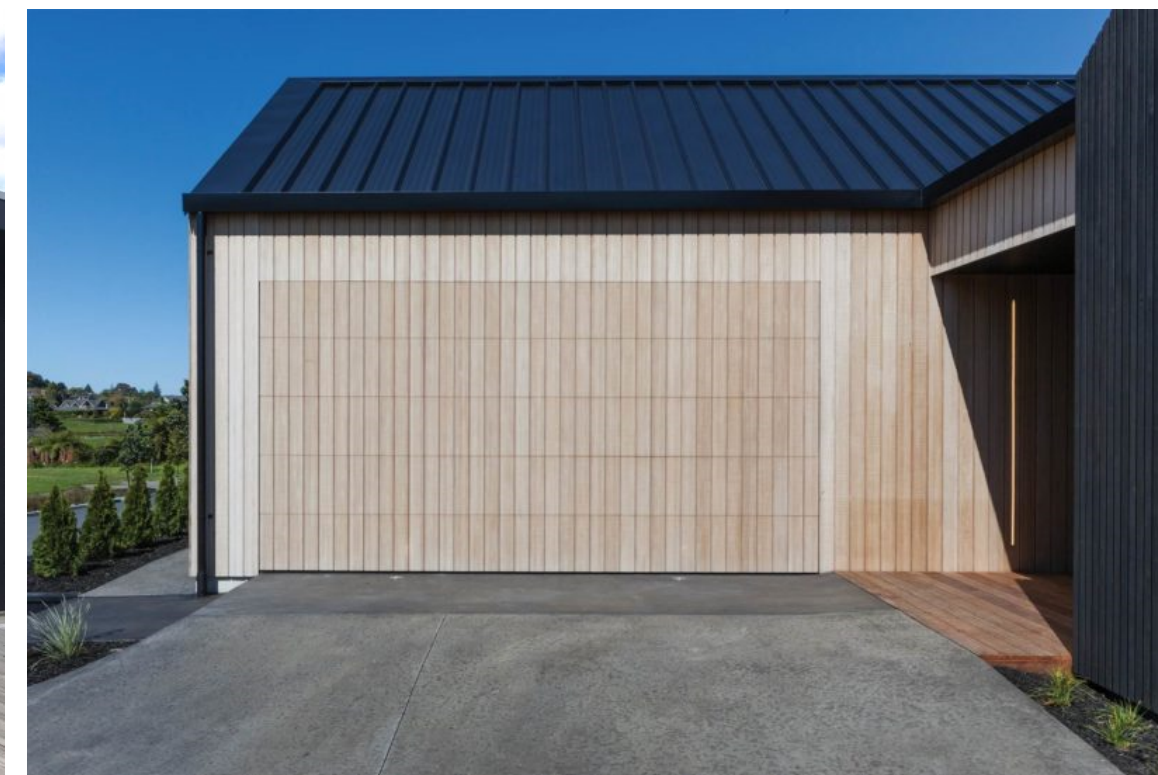
HOUSE RENDER AND CLADDING 1



HOUSE RENDER AND CLADDING 2



RENDER COLOUR



TIMBER GARAGE DOOR AND GARAGE CLADDING



TIMBER SLIDING SCREENS

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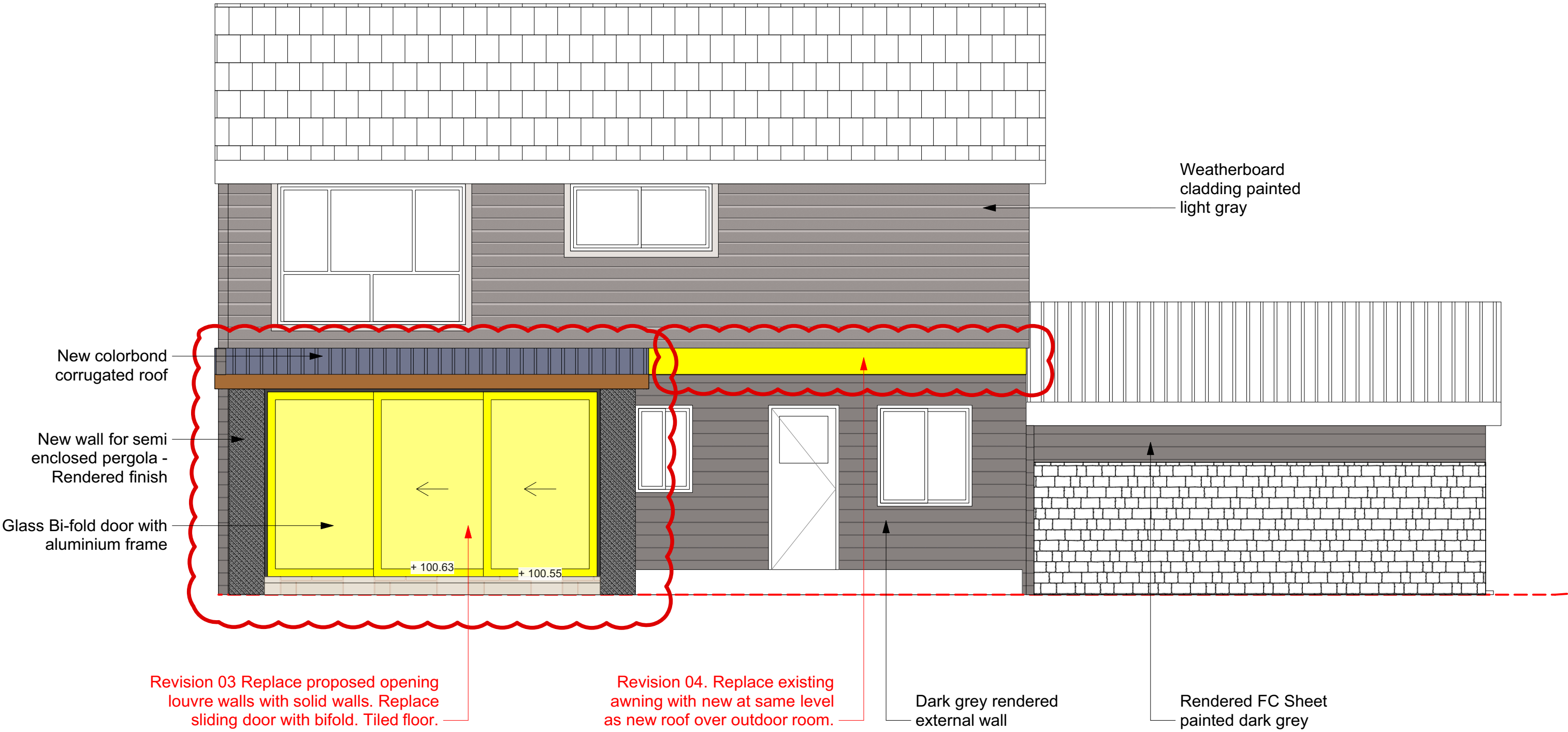
ISSUE	DATE	REVISION
H	30/5/22	Issue H for 4.55
G	06/04/22	Issue G for CC
F	12/11/21	Issue F for CC
E	12/10/21	Issue E
D	14/07/21	Issue D
C	12/03/21	Issue C for DA
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A	05/02/21	DRAFT issue for review

ISSUE		DATE		REVISION			
PROJECT		74 Grandview Drive, Newport				PROJECT # 21060	
CLIENT		HSU		DATE # See above		DWG # Sht-104	
DWG		Elevation		SCALE @ A1 See Plan			
				DRAWN WPS			
				CHKD JK		REVISION	

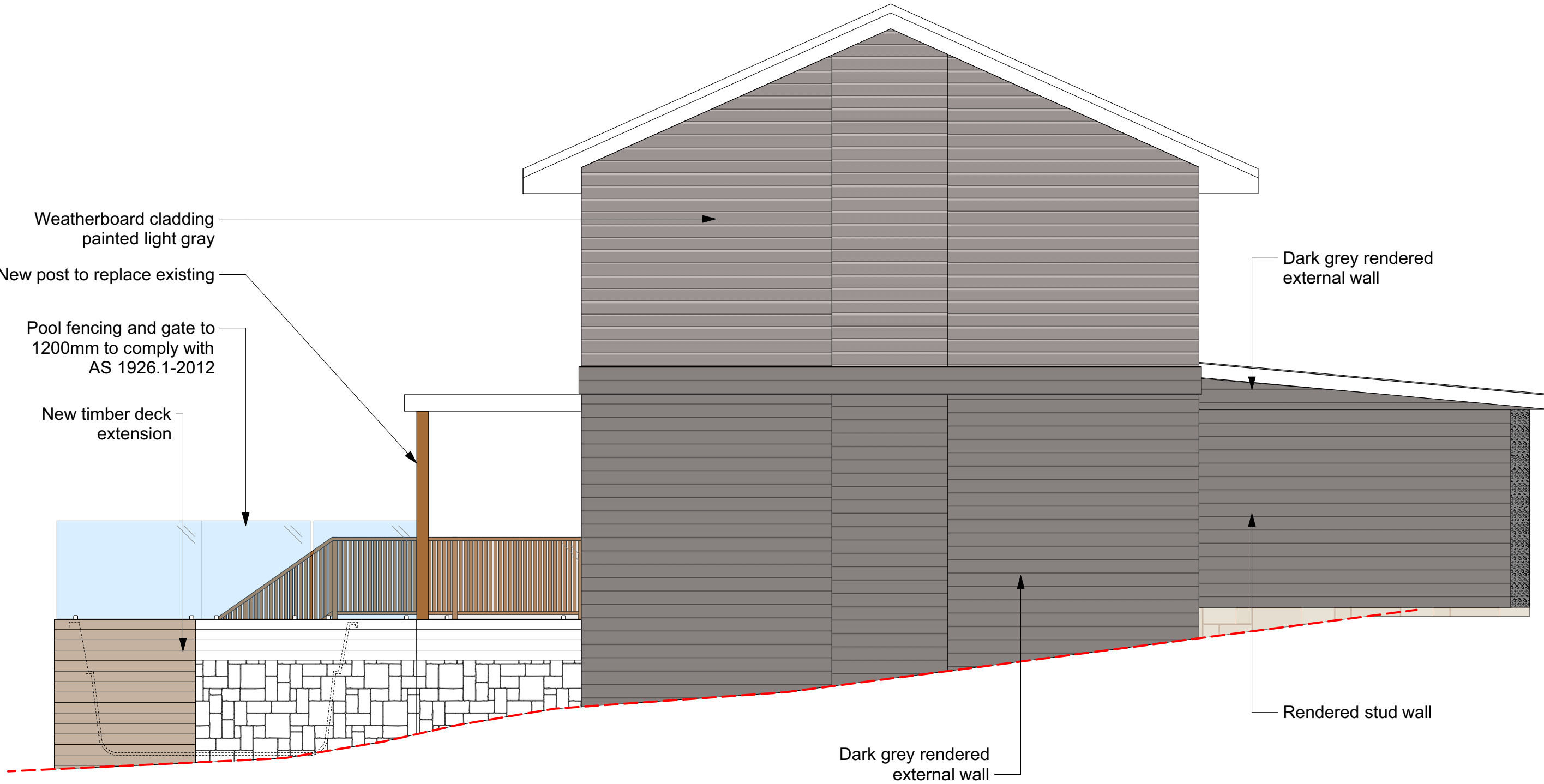
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Elevation North
1:50@A1 1:100@A3. Do not scale off plan



Elevation East
1:50@A1 1:100@A3. Do not scale off plan

Note : 4.55 items in yellow highlight

H	30/5/22	Issue H for 4.55
G	06/04/22	Issue G for CC
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B	28/02/21	DRAFT issue for review
A	05/02/21	DRAFT issue for review

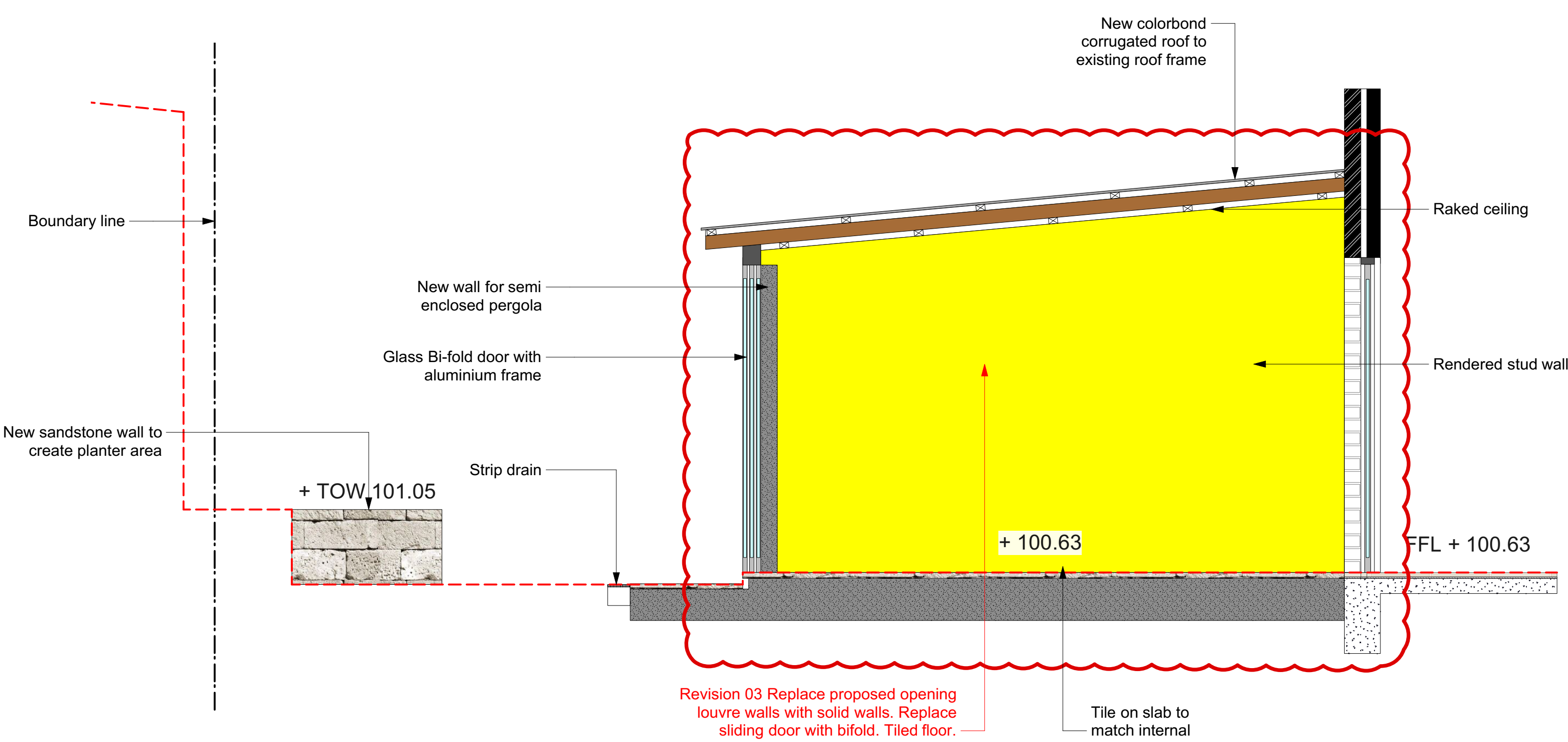
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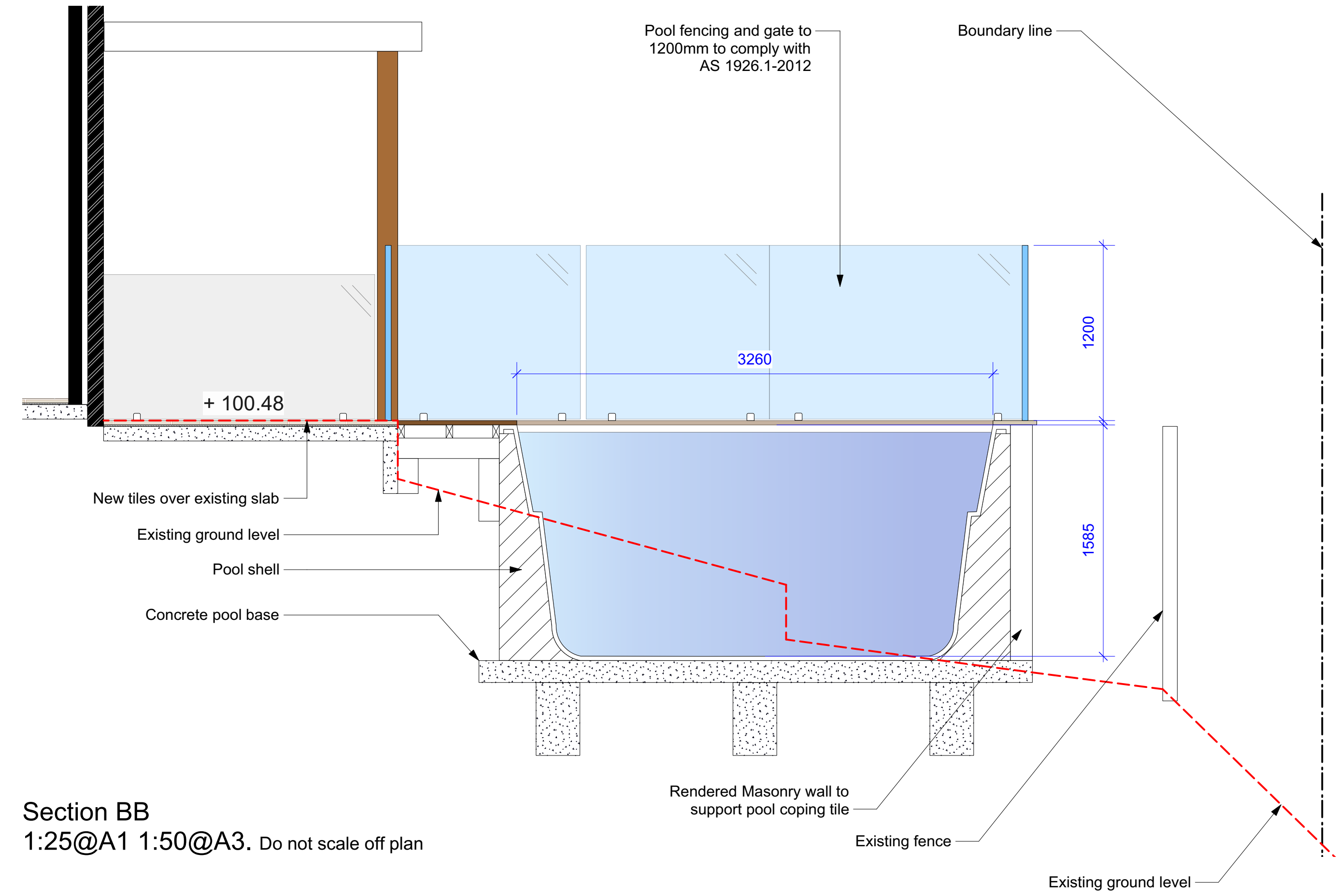
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PROJECT	74 Grandview Drive, Newport	PROJECT #	21060
CLIENT	HSU	DATE #	See above
DWG	Elevation	SCALE @ A1	See Plan
CHKD	JK	DRAWN	WPS
REVISION		CHKD	JK

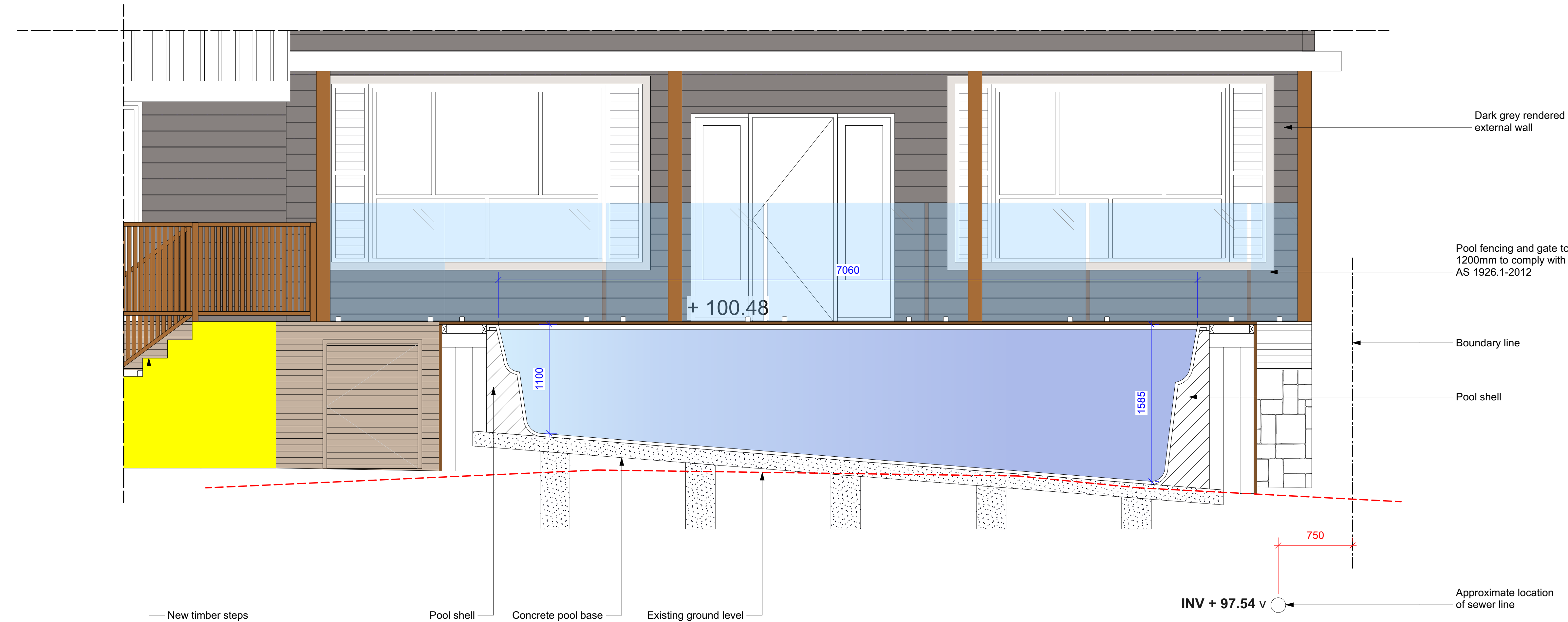
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Section AA
1:25@A1 1:50@A3. Do not scale off plan



Section BB
1:25@A1 1:50@A3. Do not scale off plan



Section CC
1:25@A1 1:50@A3. Do not scale off plan

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ISSUE	DATE	REVISION	PROJECT #
PROJECT	74 Grandview Drive, Newport		21060
CLIENT	HSU	DATE # See above	DWG #
DWG	Section	SCALE @ A1 See Plan	Sht-106
CHKD	JK	REVISION	

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