

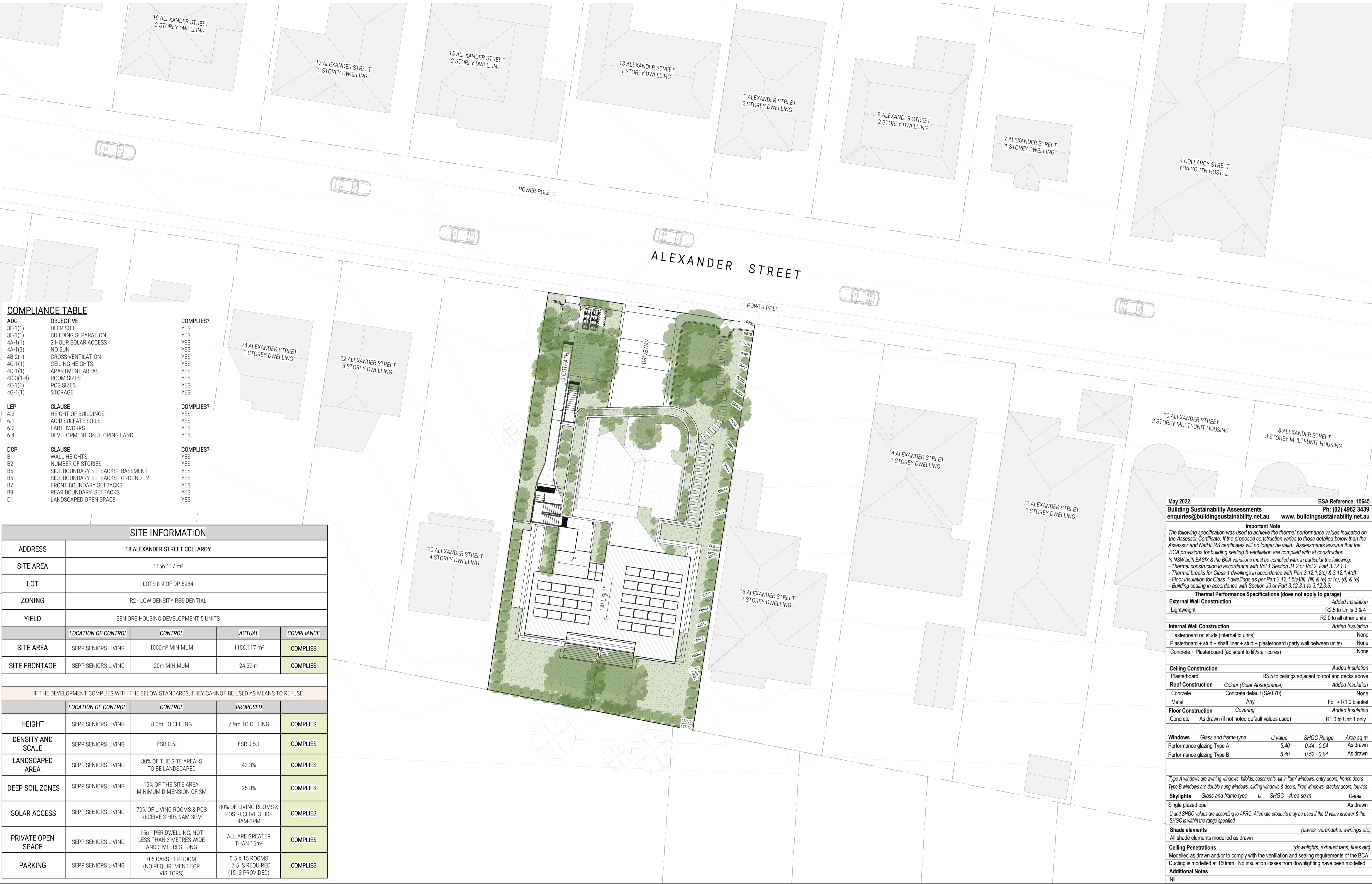
COMPLIANCE TABLE

ADG	OBJECTIVE	COMPLIES?
3E-1(1)	DEEP SOIL	YES
3F-1(1)	BUILDING SEPARATION	YES
4A-1(1)	2 HOUR SOLAR ACCESS	YES
4A-1(3)	NO SUN	YES
4B-2(1)	CROSS VENTILATION	YES
4C-1(1)	CEILING HEIGHTS	YES
4D-1(1)	APARTMENT AREAS	YES
4D-3(1-4)	ROOM SIZES	YES
4E-1(1)	POS SIZES	YES
4G-1(1)	STORAGE	YES
LEP	CLAUSE	COMPLIES?
4.3	HEIGHT OF BUILDINGS	YES
6.1	ACID SULFATE SOILS	YES
6.2	EARTHWORKS	YES
6.4	DEVELOPMENT ON SLOPING LAND	YES
DCP	CLAUSE	COMPLIES?
B1	WALL HEIGHTS	YES
B2	NUMBER OF STORIES	YES
B5	SIDE BOUNDARY SETBACKS - BASEMENT	YES
B5	SIDE BOUNDARY SETBACKS - GROUND - 2	YES
B7	FRONT BOUNDARY SETBACKS	YES
B9	REAR BOUNDARY SETBACKS	YES
D1	LANDSCAPED OPEN SPACE	YES

SITE INFORMATION				
ADDRESS	18 ALEXANDER STREET COLLAROY			
SITE AREA	1156.117 m²			
LOT	LOTS 8-9 OF DP 6984			
ZONING	R2 - LOW DENSITY RESIDENTIAL			
YIELD	SENIORS HOUSING DEVELOPMENT 5 UNITS			
	LOCATION OF CONTROL	CONTROL	ACTUAL	COMPLIANCE
SITE AREA	SEPP SENIORS LIVING	1000m² MINIMUM	1156.117 m²	COMPLIES
SITE FRONTAGE	SEPP SENIORS LIVING	20m MINIMUM	24.39 m	COMPLIES
IF THE DEVELOPMENT COMPLIES WITH THE BELOW STANDARDS, THEY CANNOT BE USED AS MEANS TO REFUSE				
	LOCATION OF CONTROL	CONTROL	PROPOSED	
HEIGHT	SEPP SENIORS LIVING	8.0m TO CEILING	7.9m TO CEILING	COMPLIES
DENSITY AND SCALE	SEPP SENIORS LIVING	FSR 0.5:1	FSR 0.5:1	COMPLIES
LANDSCAPED AREA	SEPP SENIORS LIVING	30% OF THE SITE AREA IS TO BE LANDSCAPED	43.3%	COMPLIES
DEEP SOIL ZONES	SEPP SENIORS LIVING	15% OF THE SITE AREA, MINIMUM DIMENSION OF 3M	25.8%	COMPLIES
SOLAR ACCESS	SEPP SENIORS LIVING	70% OF LIVING ROOMS & POS RECEIVE 3 HRS 9AM-3PM	80% OF LIVING ROOMS & POS RECEIVE 3 HRS 9AM-3PM	COMPLIES
PRIVATE OPEN SPACE	SEPP SENIORS LIVING	15m² PER DWELLING, NOT LESS THAN 3 METRES WIDE AND 3 METRES LONG	ALL ARE GREATER THAN 15m²	COMPLIES
PARKING	SEPP SENIORS LIVING	0.5 CARS PER ROOM (NO REQUIREMENT FOR VISITORS)	0.5 X 15 ROOMS = 7.5 IS REQUIRED (15 IS PROVIDED)	COMPLIES



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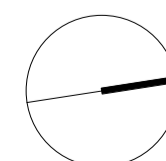


May 2022		BSA Reference: 15645	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.			
In NSW both BASIX & the BCA variations must be complied with, in particular the following:			
- Thermal construction in accordance with Vol 1 Section 4.1.2 or Vol 2 Part 3.12.1.1			
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)			
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(i), (iii) & (e) or (c), (d) & (e)			
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Lightweight		R2.5 to Units 3 & 4	
		R2.0 to all other units	
Internal Wall Construction		Added Insulation	
Plasterboard on studs (internal to units)		None	
Plasterboard + stud + shaft liner + stud + plasterboard (party wall between units)		None	
Concrete + Plasterboard (adjacent to lift/stair cores)		None	
Ceiling Construction		Added Insulation	
Plasterboard		R3.5 to ceilings adjacent to roof and decks above	
Roof Construction		Colour (Solar Absorbance)	
Concrete		Concrete default (SA0.70)	
Metal		Any	
Floor Construction		Covering	
Concrete		As drawn (if not noted default values used)	
		R1.0 to Unit 1 only	
Windows		Glass and frame type	
Performance glazing Type A		U value	SHGC Range
		5.40	0.44 - 0.54
Performance glazing Type B		5.40	0.52 - 0.64
			As drawn
Type A windows are awning windows, bifolds, casements, tilt 'n turn' windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
Skylights		Glass and frame type	U SHGC Area sq m Detail
Single glazed opal			As drawn
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified			
Shade elements		(eaves, verandahs, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA			
Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.			
Additional Notes			
Nil			

REV NO.	DESCRIPTION
A	ISSUE FOR DA APPROVAL
B	AMENDMENTS FOR DA

REV DATE
03.09.21
31.01.22

PROPOSED SITE PLAN	
SHEET NUMBER	DA101
REVISION	B
SCALE @ A1	1 : 200
18 ALEXANDER ST COLLAROY NSW	

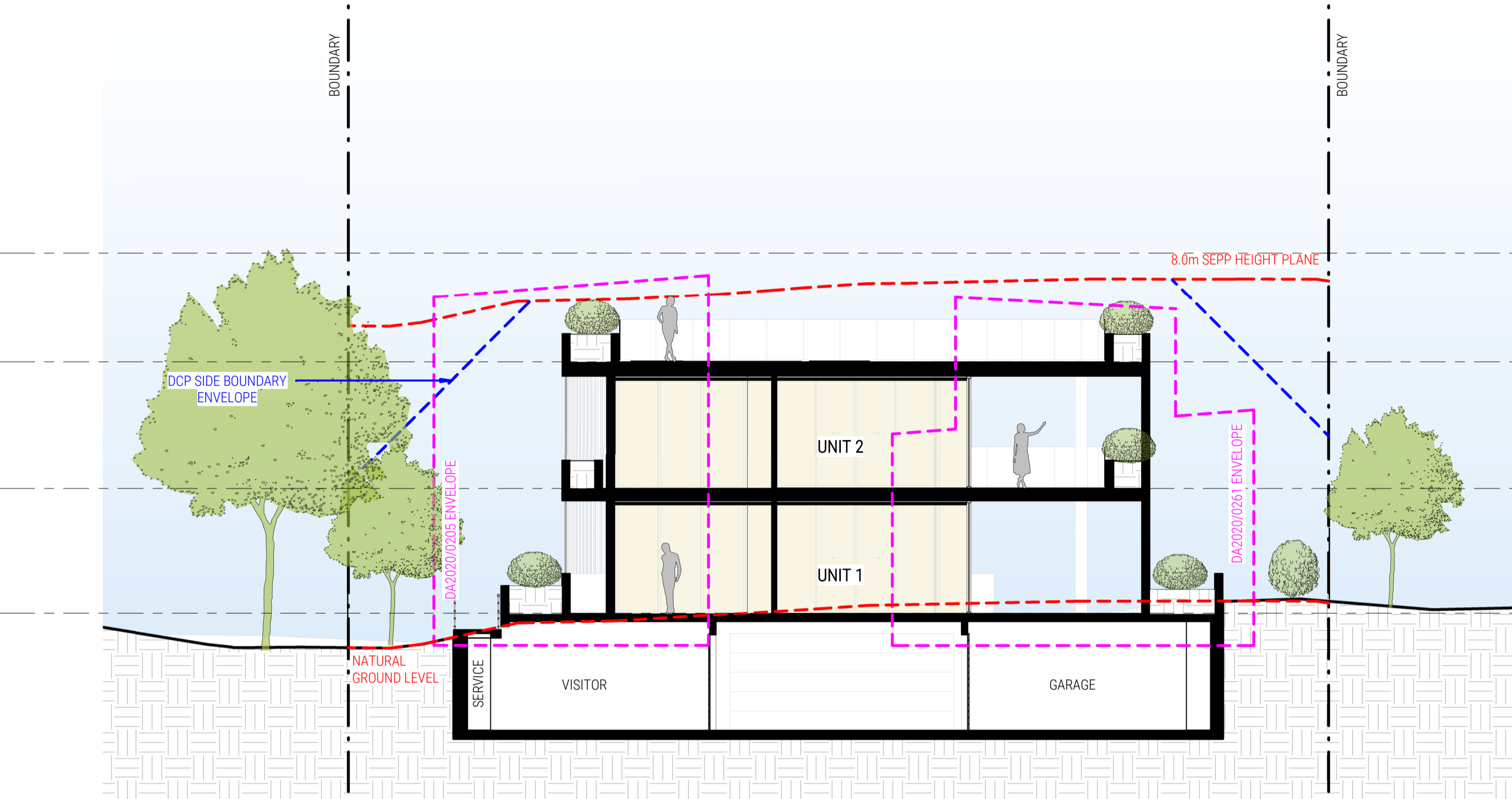




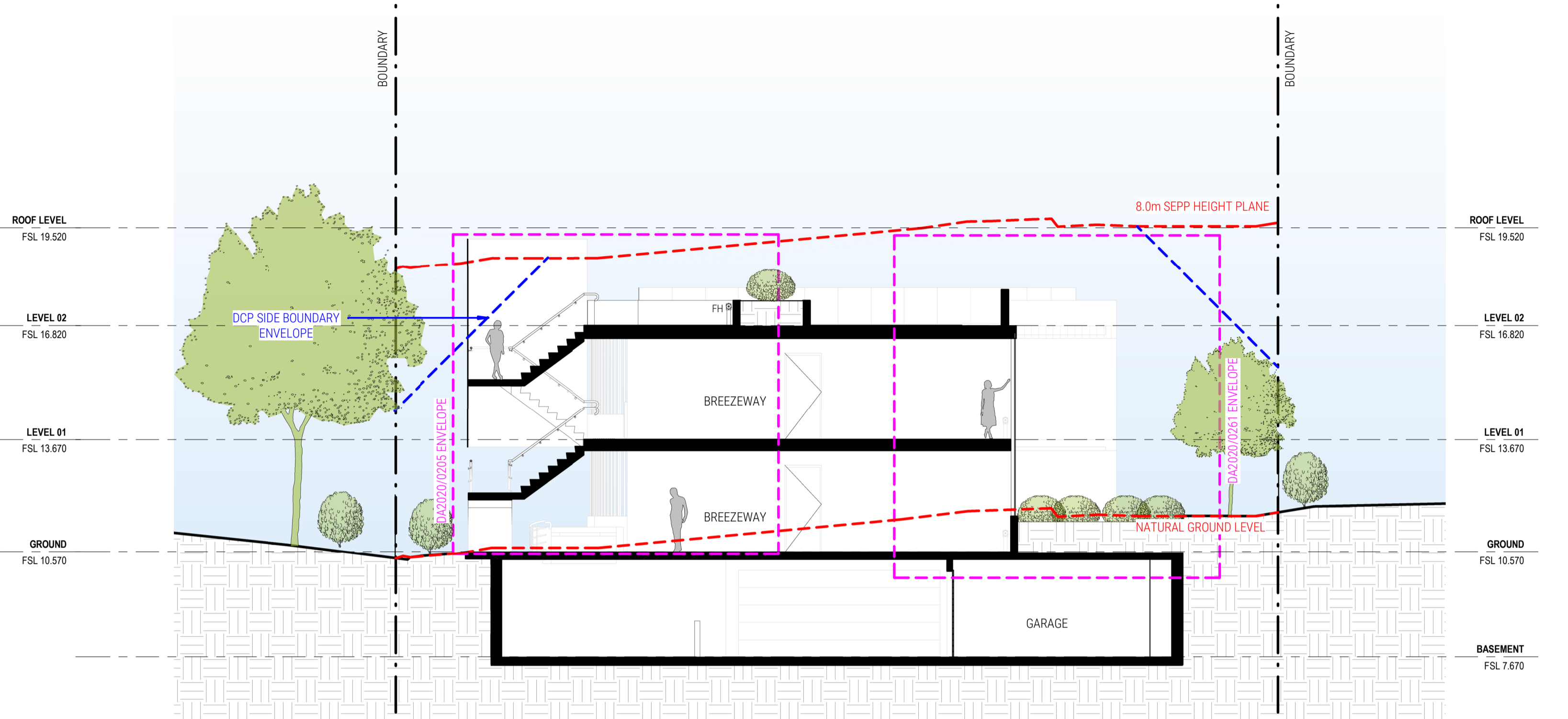
1 LONG SECTION 1
DA200 1:100 @ A1



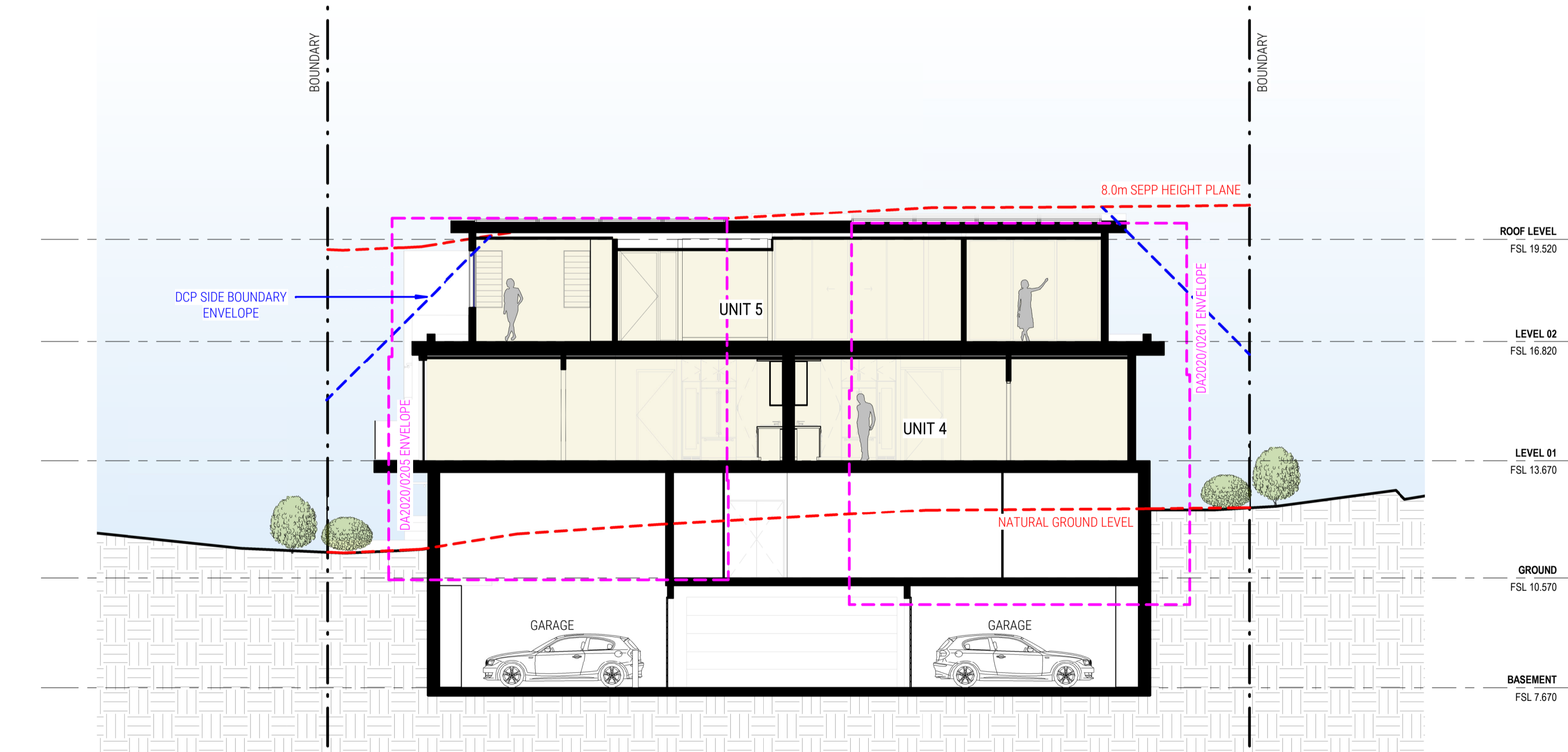
2 LONG SECTION - DRIVEWAY
DA200 1:100 @ A1



1 CROSS SECTION 1
DA201 1:100 @ A1



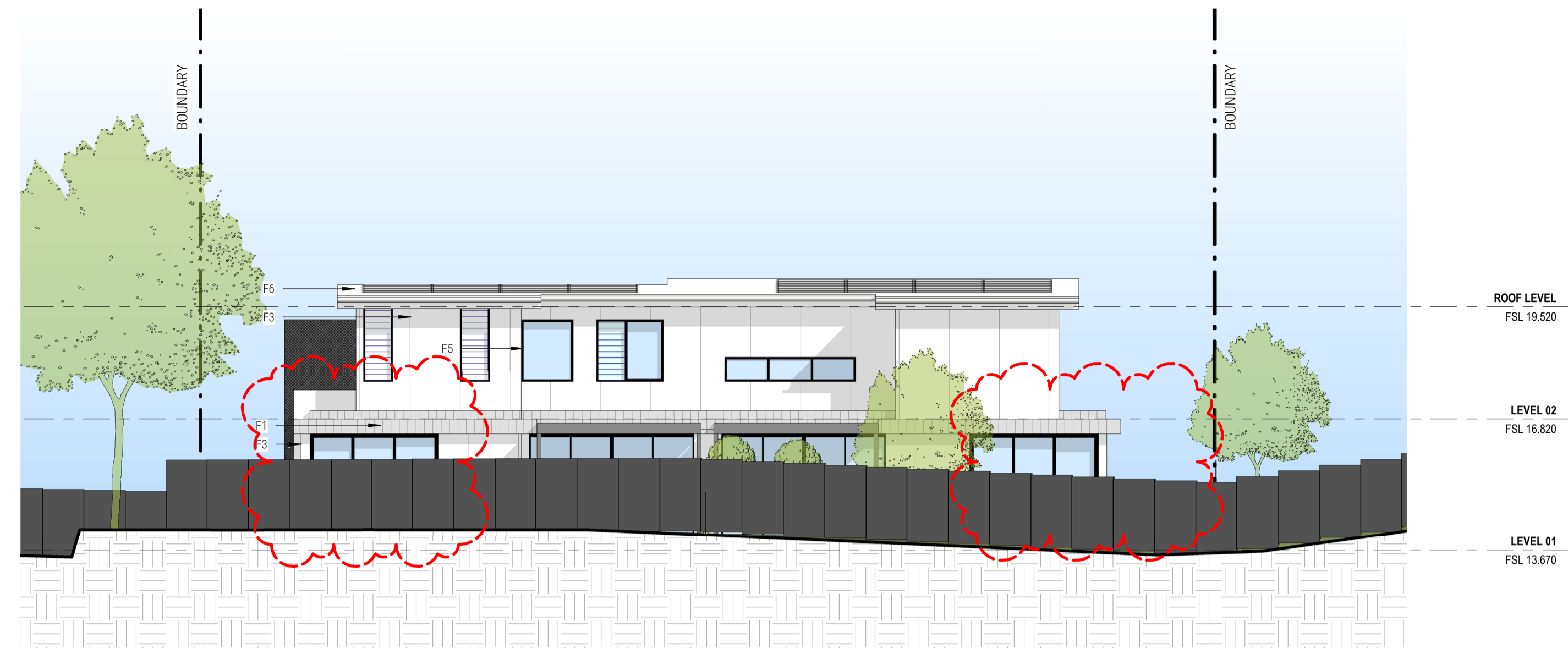
2 CROSS SECTION 2
DA201 1:100 @ A1



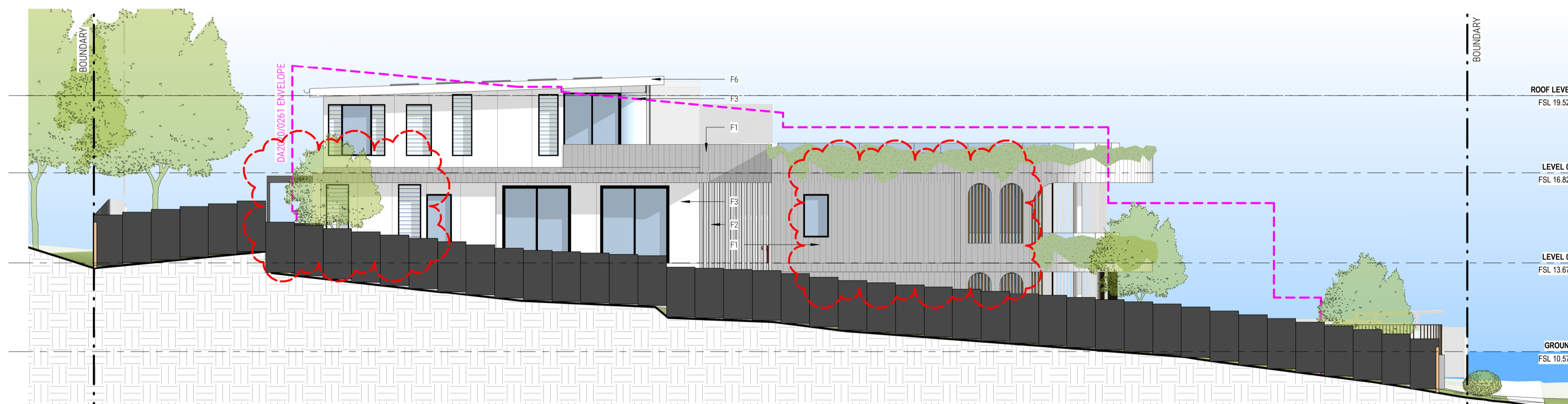
3 CROSS SECTION 3
DA201 1:100 @ A1



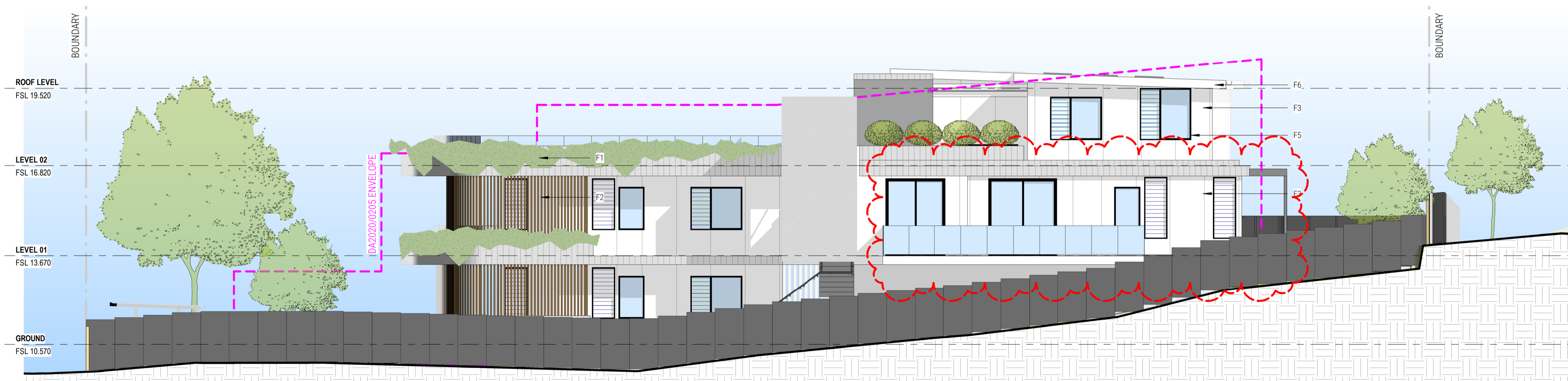
1 PROPOSED NORTH ELEVATION
DA300/ 1:100 @ A1



2 PROPOSED SOUTH ELEVATION
DA300/ 1:100 @ A1



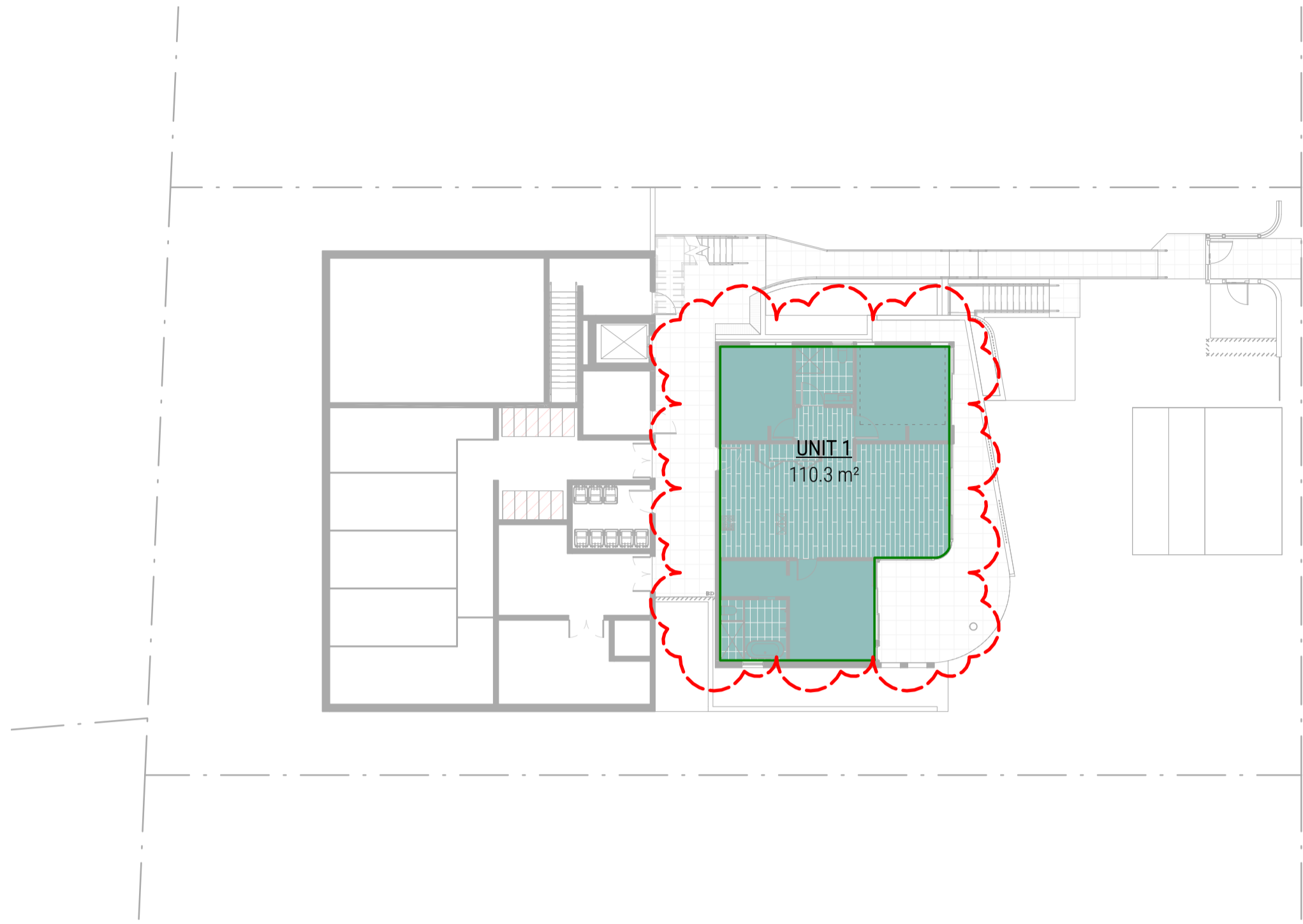
3 PROPOSED EAST ELEVATION
DA300/ 1:100 @ A1



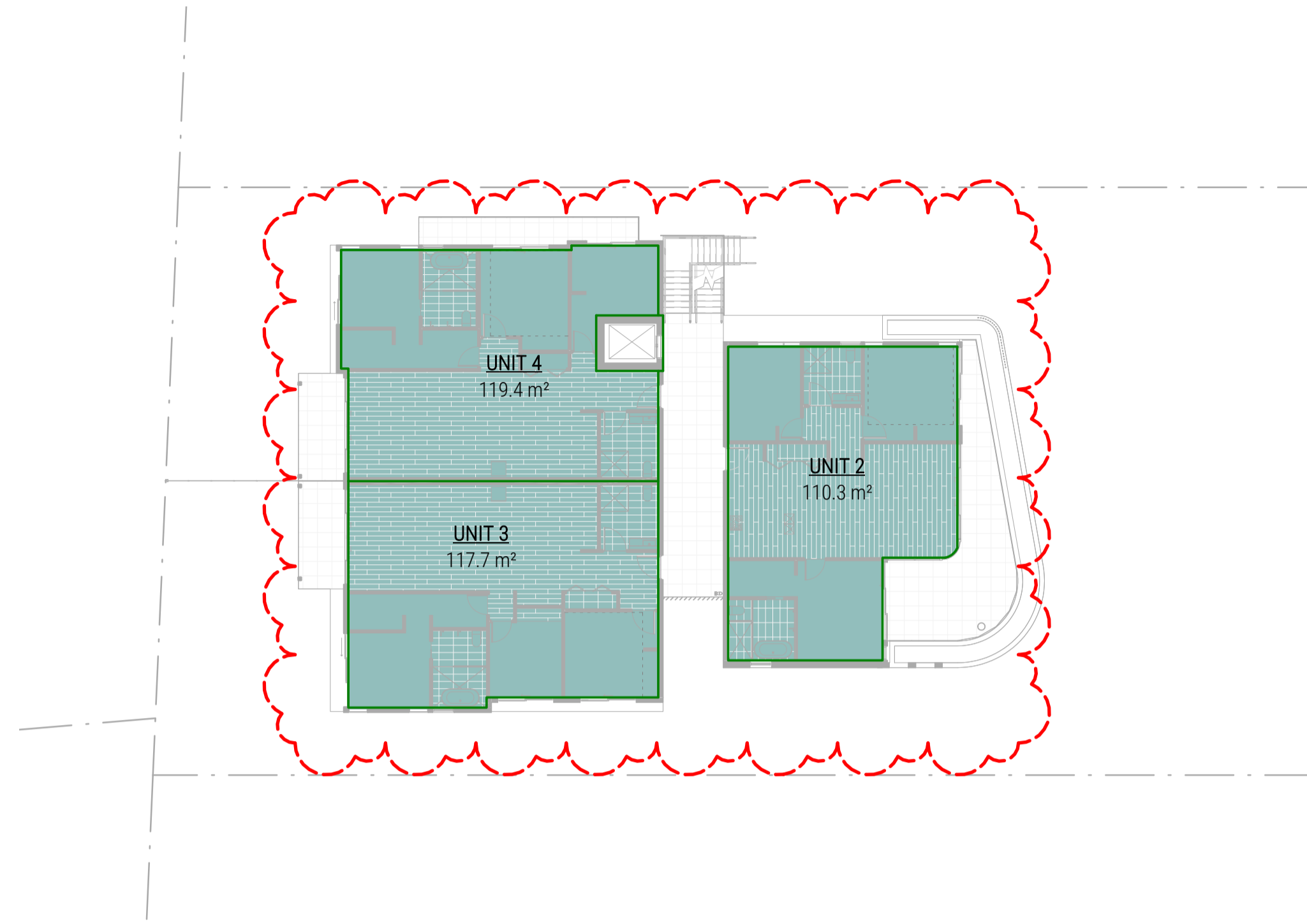
4 PROPOSED WEST ELEVATION
DA300/ 1:100 @ A1

EXTERNAL FINISHES SCHEDULE

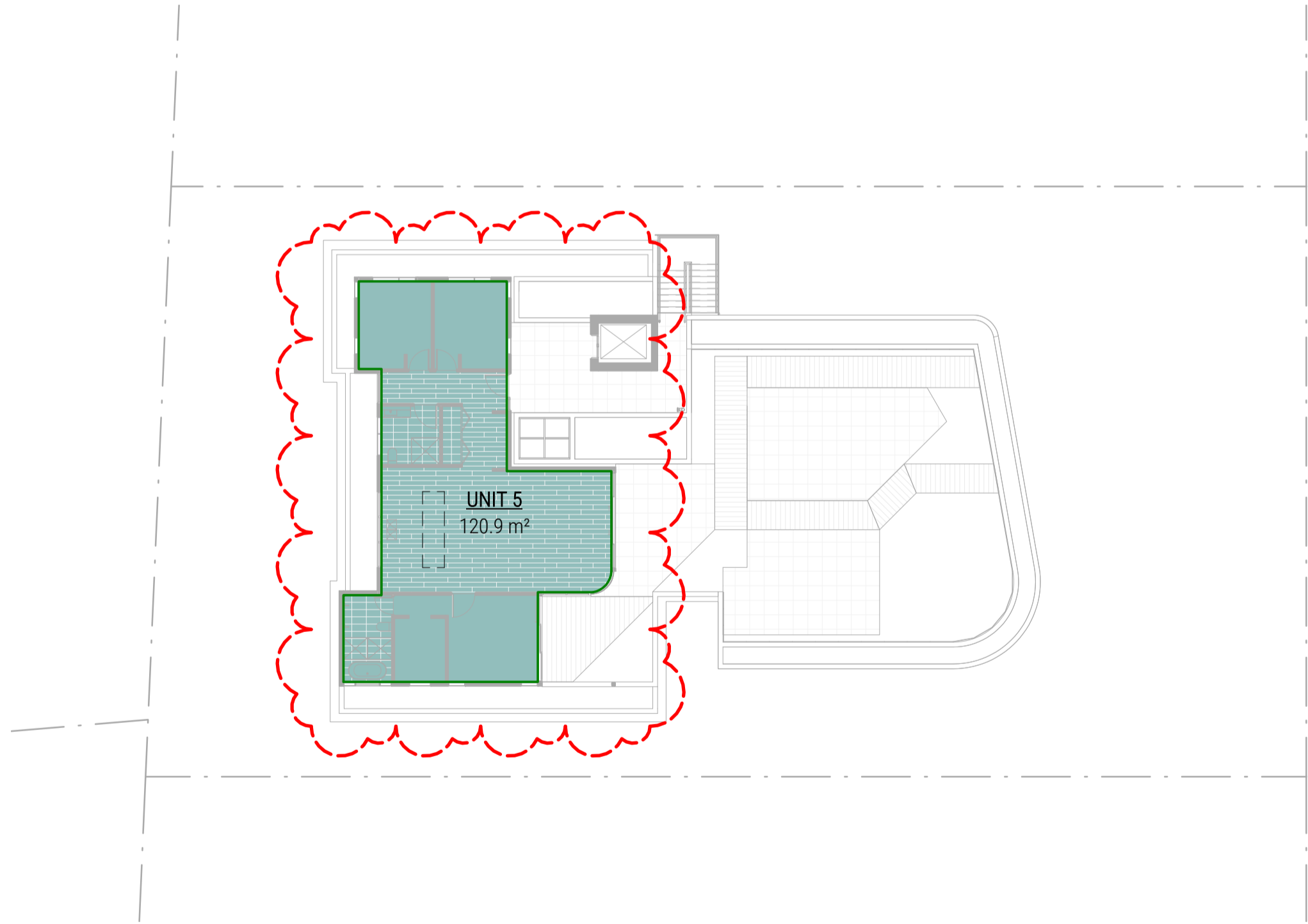
CODES	EXTERIOR
F1	- BOARD-FORMED INSITU CONCRETE
F2	- POWDER COATED ALUMINIUM BATTENS
F3	- WHITE- PAINTED EASYLAP F.C
F4	- SANDSTONE - EXTERIOR BASEMENT WALL & RETAINING WALLS
F5	- ALUMINIUM WINDOW FRAME - NIGHT SKY
F6	- LYSAGHT METAL ROOF - SURFMIST



1 GFA - GROUND
DA400/ 1:200 @ A1



2 GFA - LEVEL 01
DA400/ 1:200 @ A1



3 GFA - LEVEL 02
DA400/ 1:200 @ A1

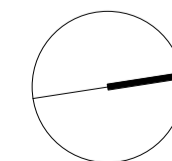
SEPP SENIORS 2004
50 STANDARDS THAT CANNOT BE USED TO REFUSE DEVELOPMENT CONSENT FOR SELF-CONTAINED DWELLINGS

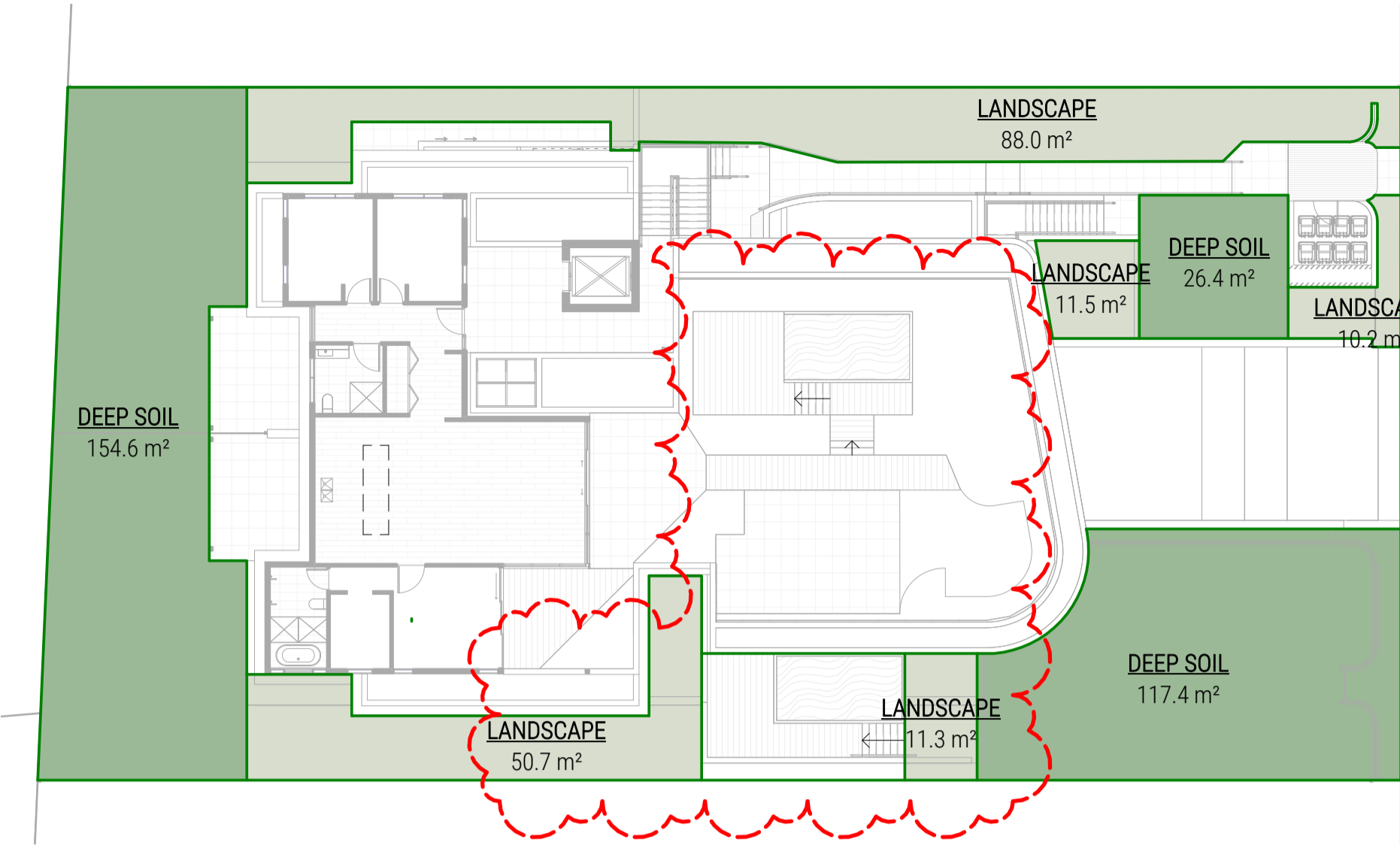
A CONSENT AUTHORITY MUST NOT REFUSE CONSENT TO A DEVELOPMENT APPLICATION MADE PURSUANT TO THIS CHAPTER FOR THE CARRYING OUT OF DEVELOPMENT FOR THE PURPOSE OF A SELF-CONTAINED DWELLING (INCLUDING IN-FILL SELF-CARE HOUSING AND SERVICED SELF-CARE HOUSING) ON ANY OF THE FOLLOWING GROUNDS—

(B) DENSITY AND SCALE: IF THE DENSITY AND SCALE OF THE BUILDINGS WHEN EXPRESSED AS A FLOOR SPACE RATIO IS 0.5:1 OR LESS,

AREA SCHEDULE - GFA		
Level	Area	FSR
GROUND	110.3 m²	0.10
LEVEL 01	347.4 m²	0.30
LEVEL 02	120.9 m²	0.10
	578.6 m²	0.50

THE DEVELOPMENT HAS A FLOOR TO SPACE RATIO OF 0.5:1 AND THUS COMPLIES WITH SEPP SENIORS 50(B)





50 STANDARDS THAT CANNOT BE USED TO REFUSE DEVELOPMENT CONSENT FOR SELF-CONTAINED DWELLINGS
A CONSENT AUTHORITY MUST NOT REFUSE CONSENT TO A DEVELOPMENT APPLICATION MADE PURSUANT TO THIS CHAPTER FOR THE CARRYING OUT OF DEVELOPMENT FOR THE PURPOSE OF A SELF-CONTAINED DWELLING (INCLUDING IN-FILL SELF-CARE HOUSING AND SERVICED SELF-CARE HOUSING) ON ANY OF THE FOLLOWING GROUNDS—

- (C) LANDSCAPED AREA: IF—
(II) IN ANY OTHER CASE—A MINIMUM OF 30% OF THE AREA OF THE SITE IS TO BE LANDSCAPED,
(D) DEEP SOIL ZONES: IF, IN RELATION TO THAT PART OF THE SITE (BEING THE SITE, NOT ONLY OF THAT PARTICULAR DEVELOPMENT, BUT ALSO OF ANY OTHER ASSOCIATED DEVELOPMENT TO WHICH THIS POLICY APPLIES) THAT IS NOT BUILT ON, PAVED OR OTHERWISE SEALED, THERE IS SOIL OF A SUFFICIENT DEPTH TO SUPPORT THE GROWTH OF TREES AND SHRUBS ON AN AREA OF NOT LESS THAN 15% OF THE AREA OF THE SITE (THE DEEP SOIL ZONE). TWO-THIRDS OF THE DEEP SOIL ZONE SHOULD PREFERABLY BE LOCATED AT THE REAR OF THE SITE AND EACH AREA FORMING PART OF THE ZONE SHOULD HAVE A MINIMUM DIMENSION OF 3 METRES,

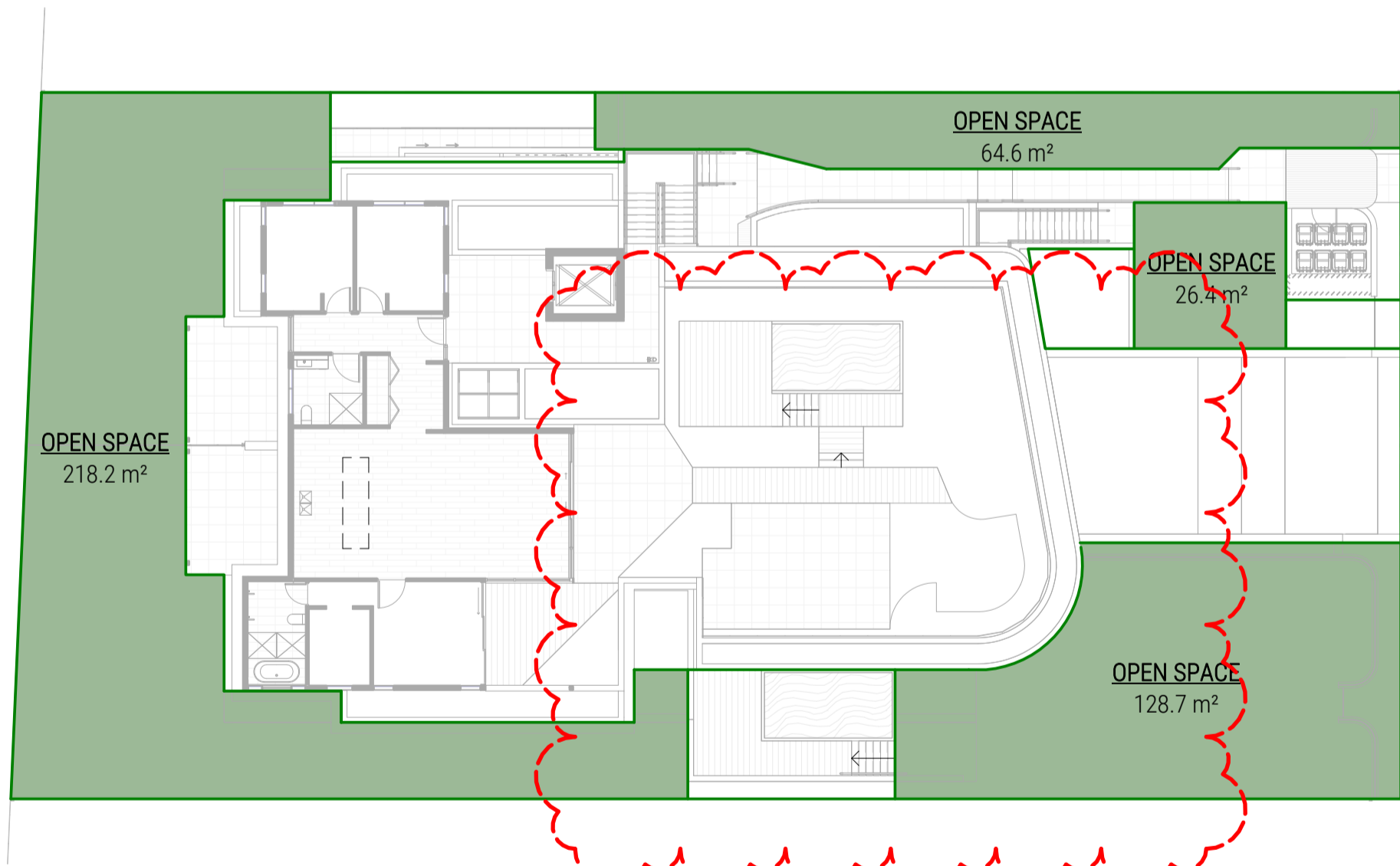
LANDSCAPE AREA DEFINITION UNDER THE SEPP

LANDSCAPED AREA MEANS A PART OF A SITE USED FOR GROWING PLANTS, GRASSES AND TREES, BUT DOES NOT INCLUDE ANY BUILDING, STRUCTURE OR HARD PAVED AREA’.

LANDSCAPED AREA		
Name	LANDSCAPE AREA	PERCENTAGE OF SITE AREA
DEEP SOIL	298.3 m²	25.8%
LANDSCAPE	171.8 m²	14.9%
	470.1 m²	40.7%

THE DEVELOPMENT HAS A LANDSCAPE AREA >30% ANDD THUS COMPLIES WITH SEPP SENIORS 50(C)

THE DEVELOPMENT HAS A DEEP SOIL ZONE >15% ANDD THUS COMPLIES WITH SEPP SENIORS 50(D)



TO MEASURE THE AREA OF LANDSCAPED OPEN SPACE:

- A. DRIVEWAYS, PAVED AREAS, ROOFED AREAS, TENNIS COURTS, CAR PARKING AND STORMWATER STRUCTURES, DECKS, ETC, AND ANY OPEN SPACE AREAS WITH A DIMENSION OF LESS THAN 2 METRES ARE EXCLUDED FROM THE CALCULATION;
B. THE WATER SURFACE OF SWIMMING POOLS AND IMPERVIOUS SURFACES WHICH OCCUR NATURALLY SUCH AS ROCK OUTCROPS ARE INCLUDED IN THE CALCULATION;
C. LANDSCAPED OPEN SPACE MUST BE AT GROUND LEVEL (FINISHED); AND
D. THE MINIMUM SOIL DEPTH OF LAND THAT CAN BE INCLUDED AS LANDSCAPED OPEN SPACE IS 1 METRE’.

LANDSCAPED OPEN SPACE	
AREA	PERCENTAGE OF SITE AREA
437.9 m²	37.9%

