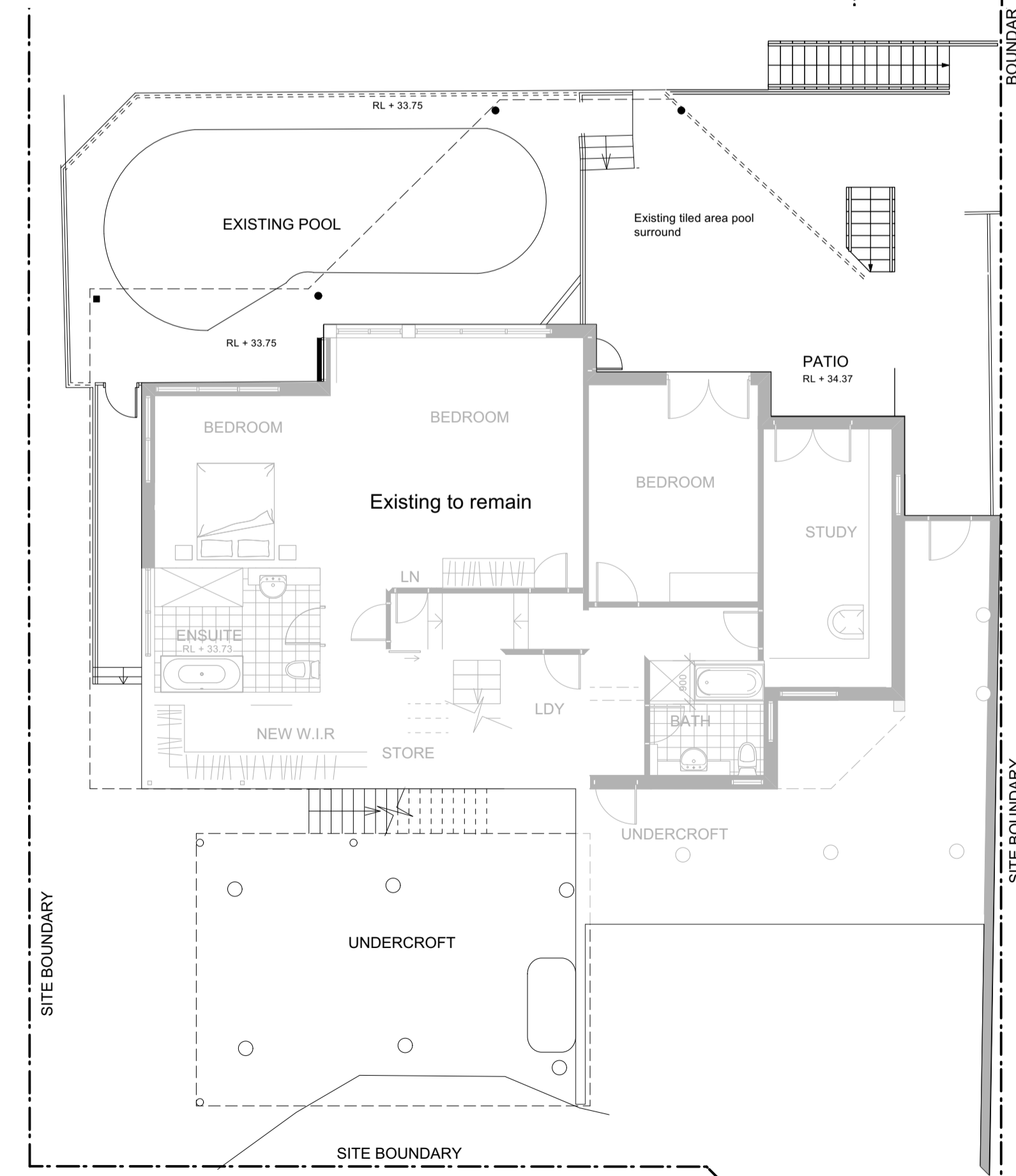


2 Upper Floor Plan  
Scale: 1:100



2 Lower Floor Plan  
Scale: 1:100

NEW WORKS TO COMPLY WITH AS 3959-2018 Section 3.2  
the garage structure shall be separated from the existing building by the western side of the garage wall extends to the underside of a non-combustible roof covering, and that conforms with the following:  
The wall shall have an FRL of not less than 60/60/60 for load bearing walls, and -/60/60 for non-load bearing walls when tested from the attached structure side.  
No openings are allowed in this wall.

ALL NEW STORMWATER WORKS  
To be connect to the existing stormwater system.  
All proposed drainage works to be in accordance with AS3500.3

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2024/1654**

A	14/11/24	For DA	JM
rev	date	revision notes	by
Figured dimensions to be taken in preference to scaling. Contractor to verify all dimensions on job before commencing any work or making shop drawings			
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project	project #		

Alteration to Carport  
7a Linkmead Avenue, Clontarf

client  
Mr. Fenna - Roberts

dwg  
Site Plan, Existing and Proposed Plans

printed	drawn	cid	scale@A1
20/11/24	PCA	BC	1:100

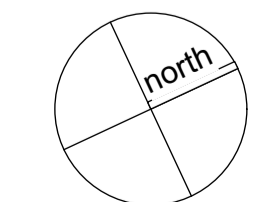
Development Application

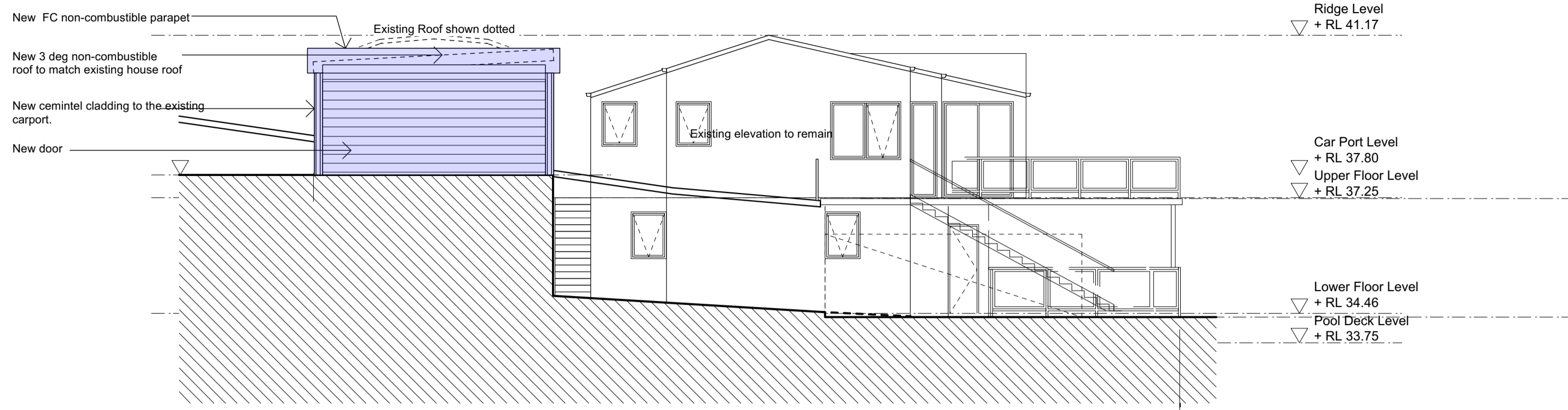
stage drawing # revision  
DA A101 A

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John J Playoust & Co Pty Limited ACN 008 503 188 & Brett Churcher Architects Pty Ltd A C N 033 751 611 trading as Playoust Churcher Architects

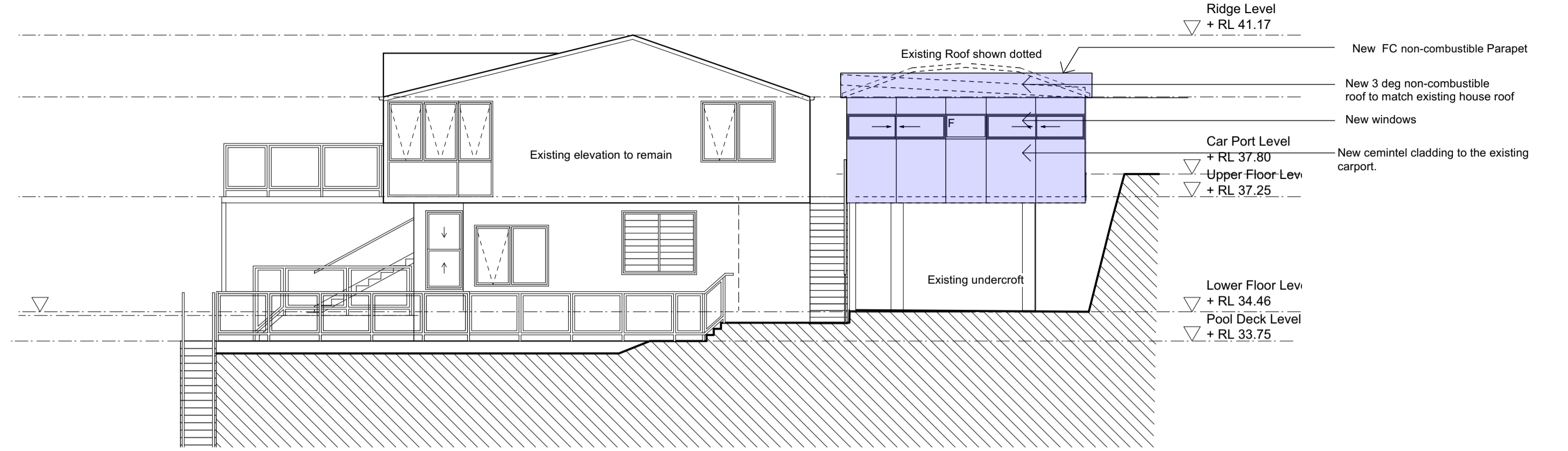
Proposed works





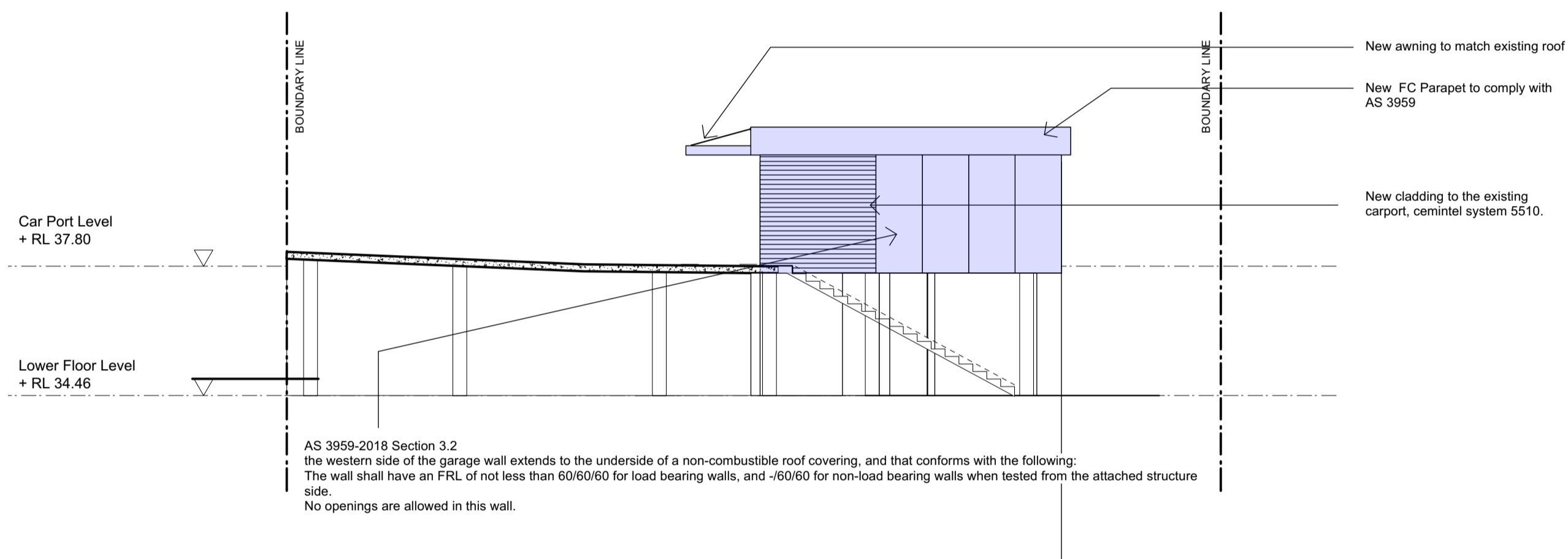
1 North Elevation

Scale: 1:100



2 South Elevation

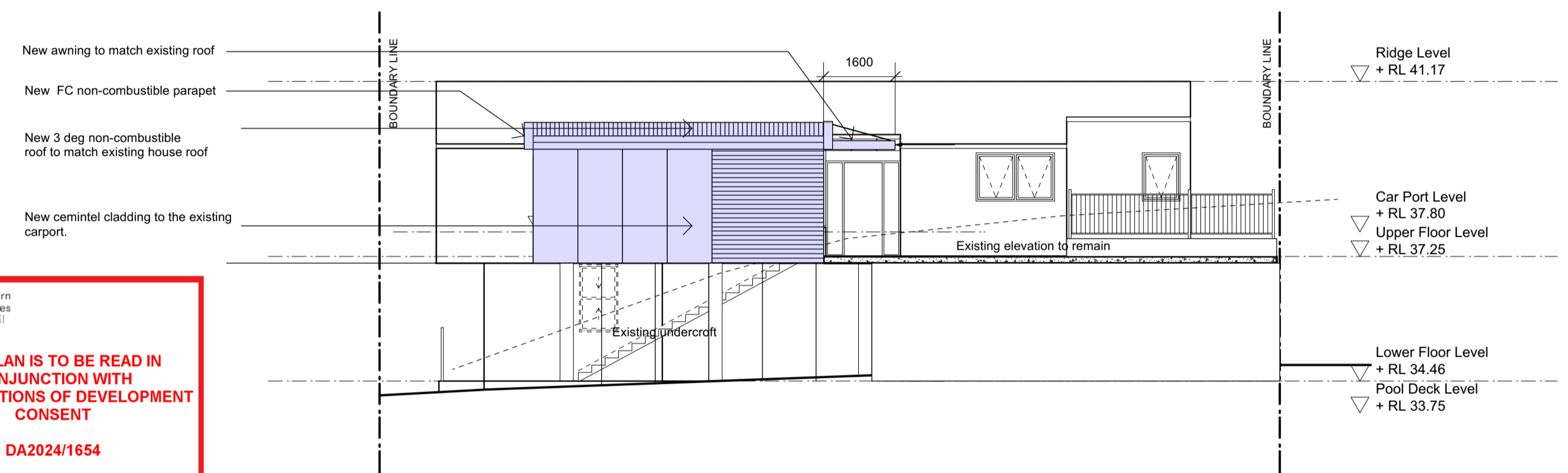
Scale: 1:100



3 West Elevation

Scale: 1:100

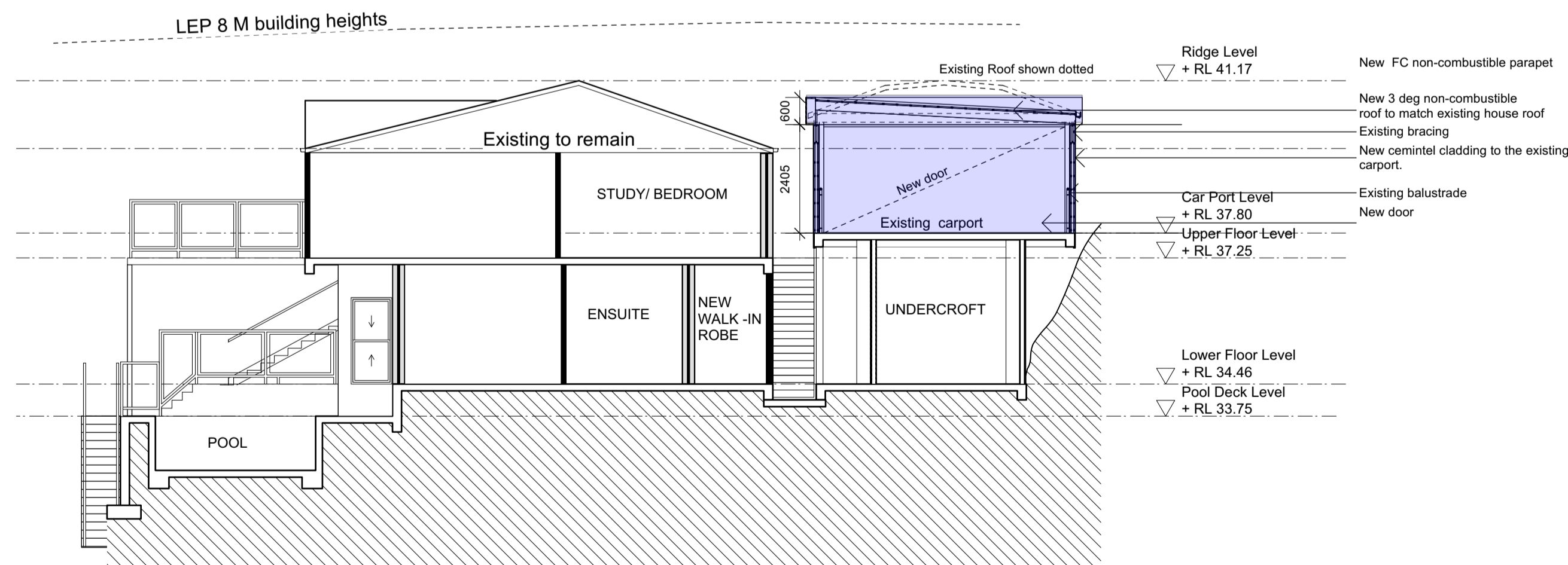

  
 THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT  
 DA2024/1654



4 East Elevation

Scale: 1:100

**NEW WORKS TO COMPLY WITH AS 3959-2018 Section 3.2**  
 the garage structure shall be separated from the existing building by the western side of the garage wall extends to the underside of a non-combustible roof covering, and that conforms with the following:  
 The wall shall have an FRL of not less than 60/60/60 for load bearing walls, and -/60/60 for non-load bearing walls when tested from the attached structure side.  
 No openings are allowed in this wall.



5 Section A

Scale: 1:100

**MATERIALS and FINISHES**



Proposed works

A 14/11/24 For DA JM  
 rev date revision notes by  
 Figured dimensions to be taken in preference to scaling. Contractor to verify all dimensions on job before commencing any work or making shop drawings  
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 project #  
**Alteration to Carport**  
 7a Linkmead Avenue, Clontarf  
 client  
**Mr. Fenna - Roberts**  
 dwg  
 Elevations and Sections  
 printed 20/11/24 drawn PCA dcd scale@A1  
 20/11/24 BC 1:100  
**Development Application**  
 stage DA drawing # A200 revision A  
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