

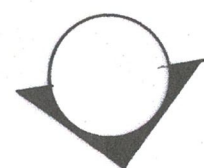
NOTES

ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB
ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT BUILDING CODES AND LOCAL COUNCIL REQUIREMENTS
ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY
ROOF WATER AND SUBSOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED
DOWN PIPE LOCATION TO BE DETERMINED BY THE ROOF PLUMBER
ELECTRICAL, POWER AND LIGHT OUTLETS TO BE DETERMINED BY THE OWNER
STRUCTURAL DETAIL AND DESIGN TO BE APPROVED BY A STRUCTURAL ENGINEER
ANY ADDITIONAL DETAILING SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER
ALL LEVELS TO AUSTRALIAN HEIGHT DATUM



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2019/0655



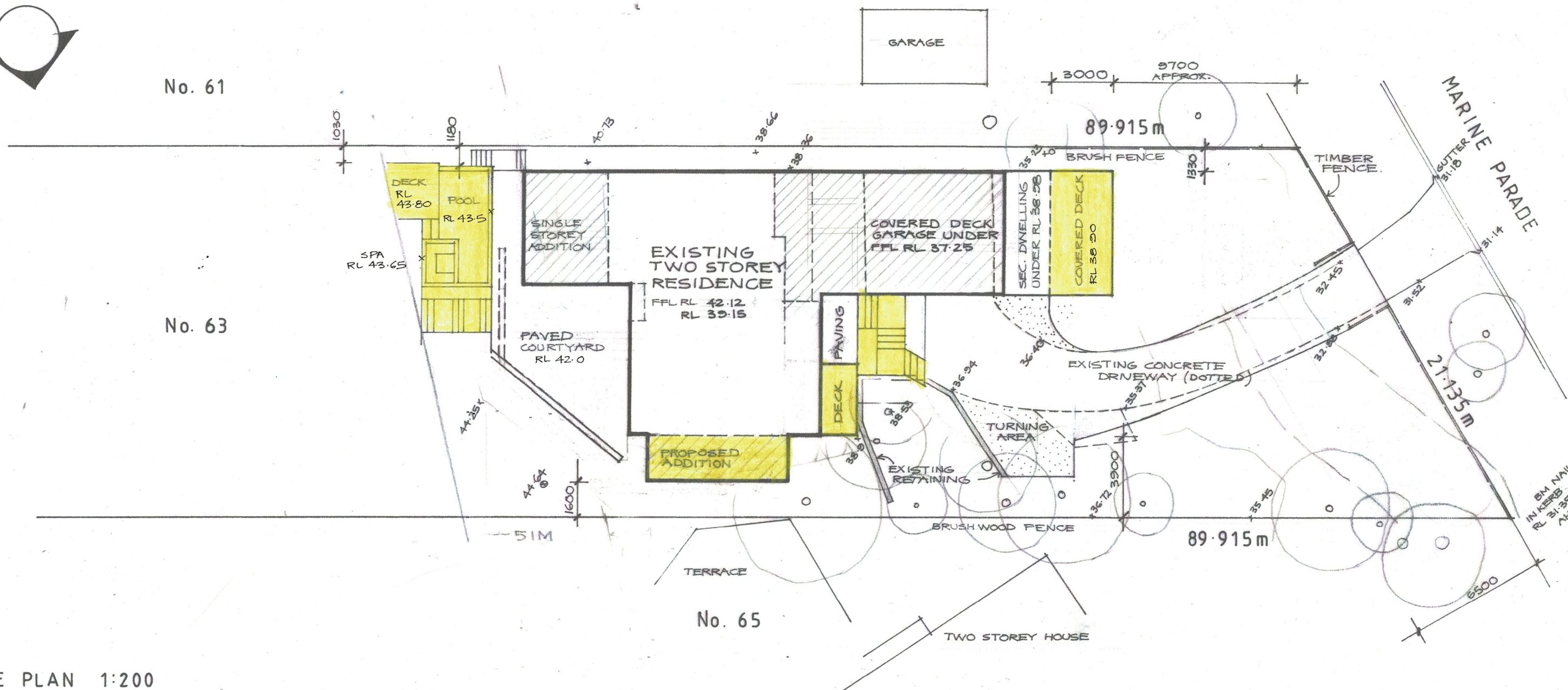
No. 61

No. 63

No. 65

SITE PLAN 1:200

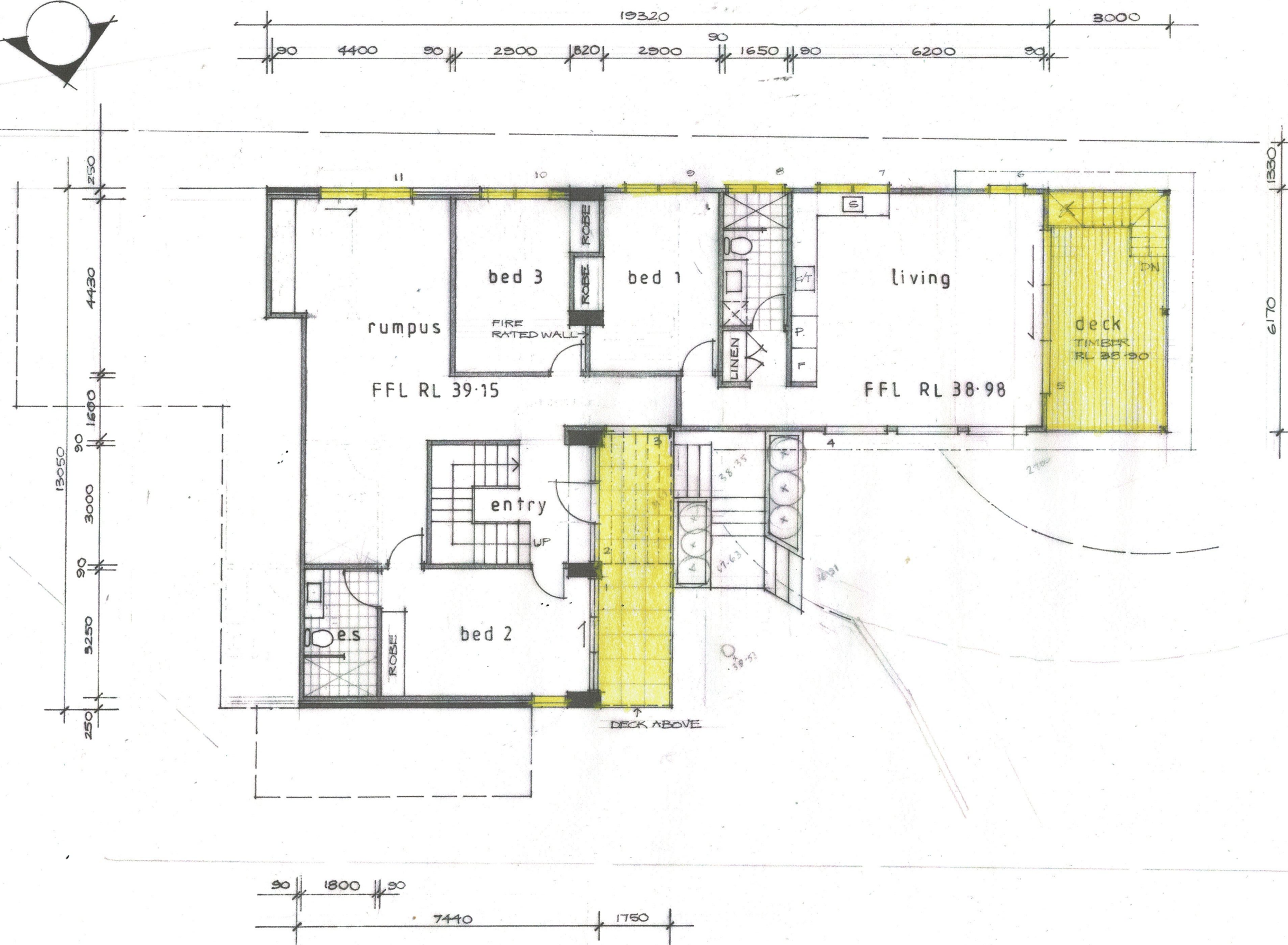
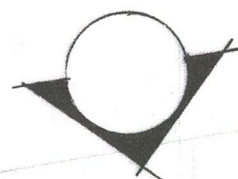
LOT 109 DP 8394 AREA 1644m²



10.12.14 MODIFICATION TO DA NO 263/14

24.11.14 REDUCE ROOF TO DECK / DELETE CABANA ROOF
PERGOLA IN LIEU

PROPOSED ALTERATIONS AND ADDITIONS
WISEMAN RESIDENCE 63 MARINE PARADE AVALON
MAY 2014 DWG 0514 - 1/5 SHIMDESIGN design and drafting 0400 898 744



 northern
beaches
council

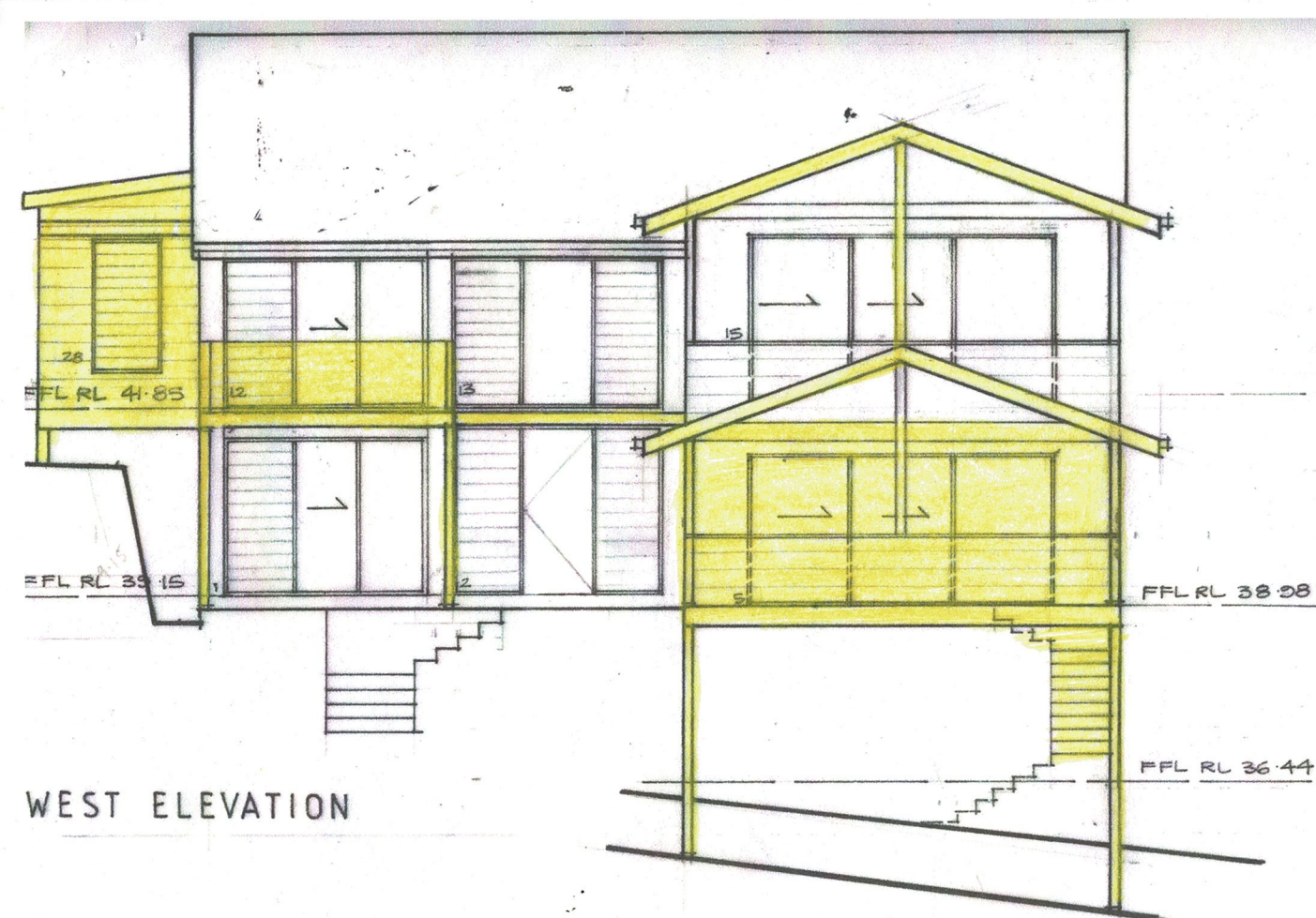
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2019/0655

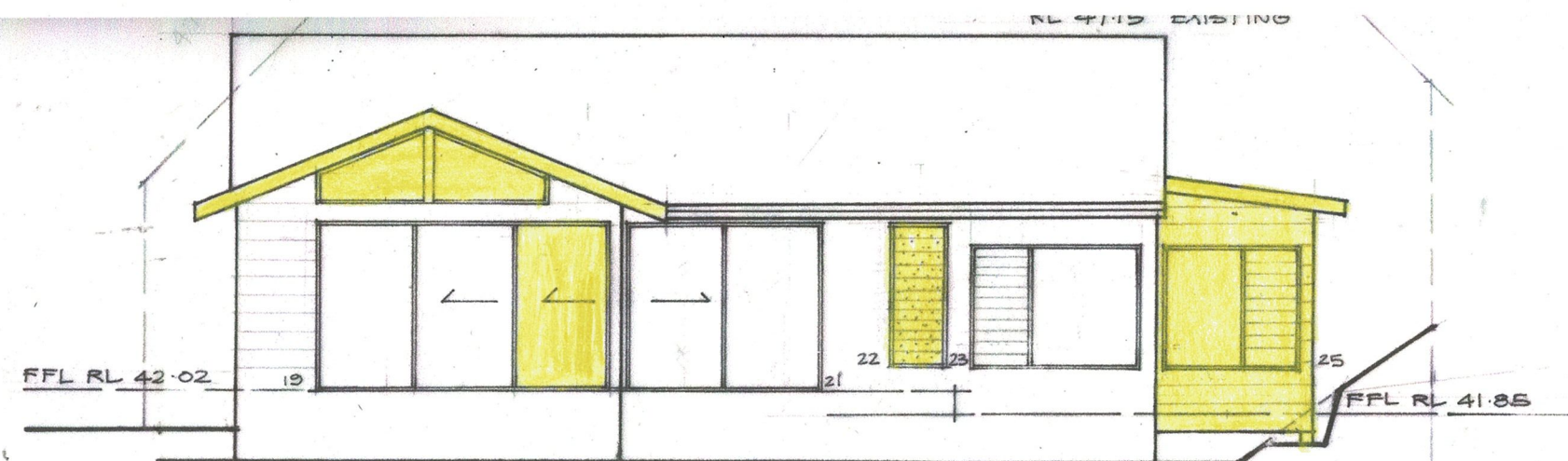
LOWER FLOOR PLAN 1:100

10.12.19 MODIFICATION TO DA NO263/14 (DWG 0514 MAY '14)

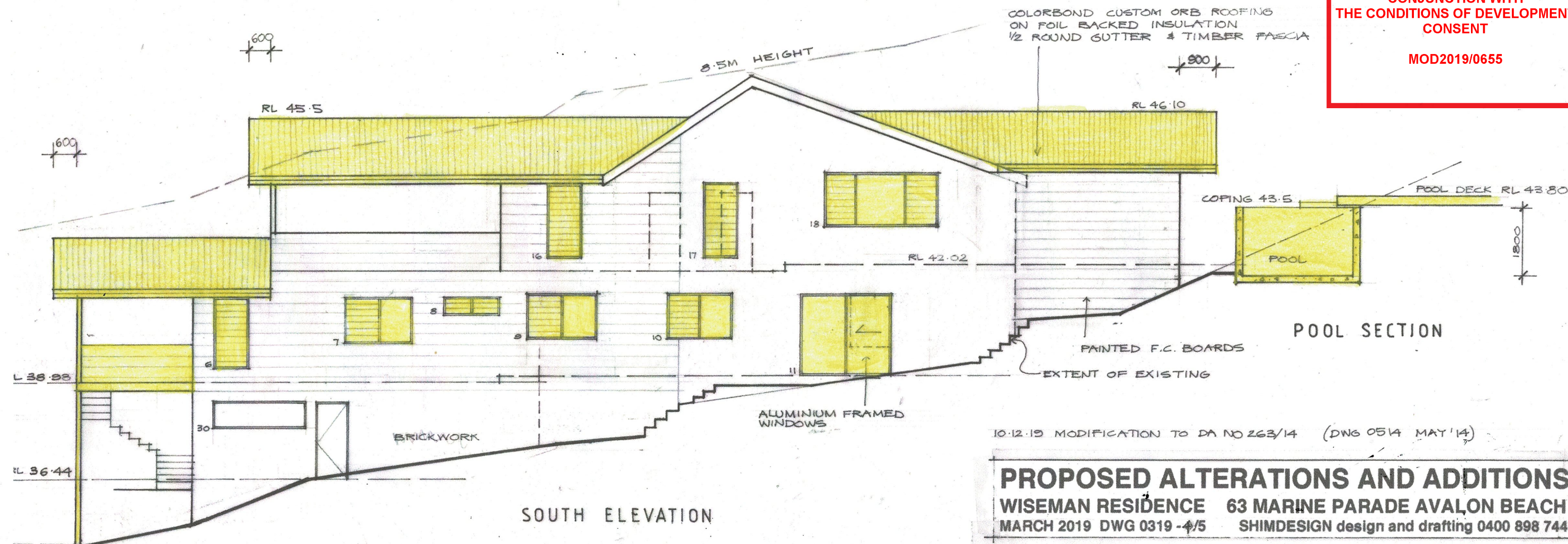
PROPOSED ALTERATIONS AND ADDITIONS
WISEMAN RESIDENCE 63 MARINE PARADE AVALON BEACH
MARCH 2019 DWG 0319 - 2/5 SHIMDESIGN design and drafting 0400 898 744



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



northern
beaches
council

THIS PLAN IS TO BE READ IN
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CONSENT

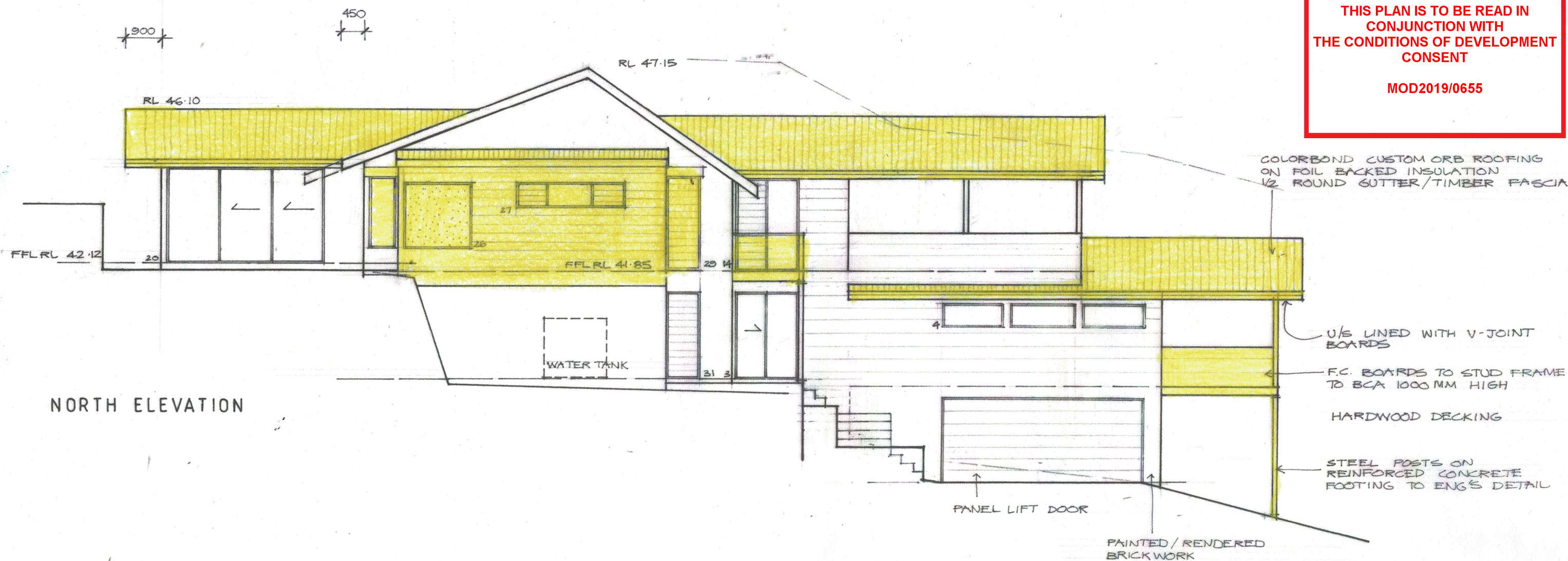
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10.12.19 MODIFICATION TO DA NO 263/14 (DWG 0514 MAY '14)

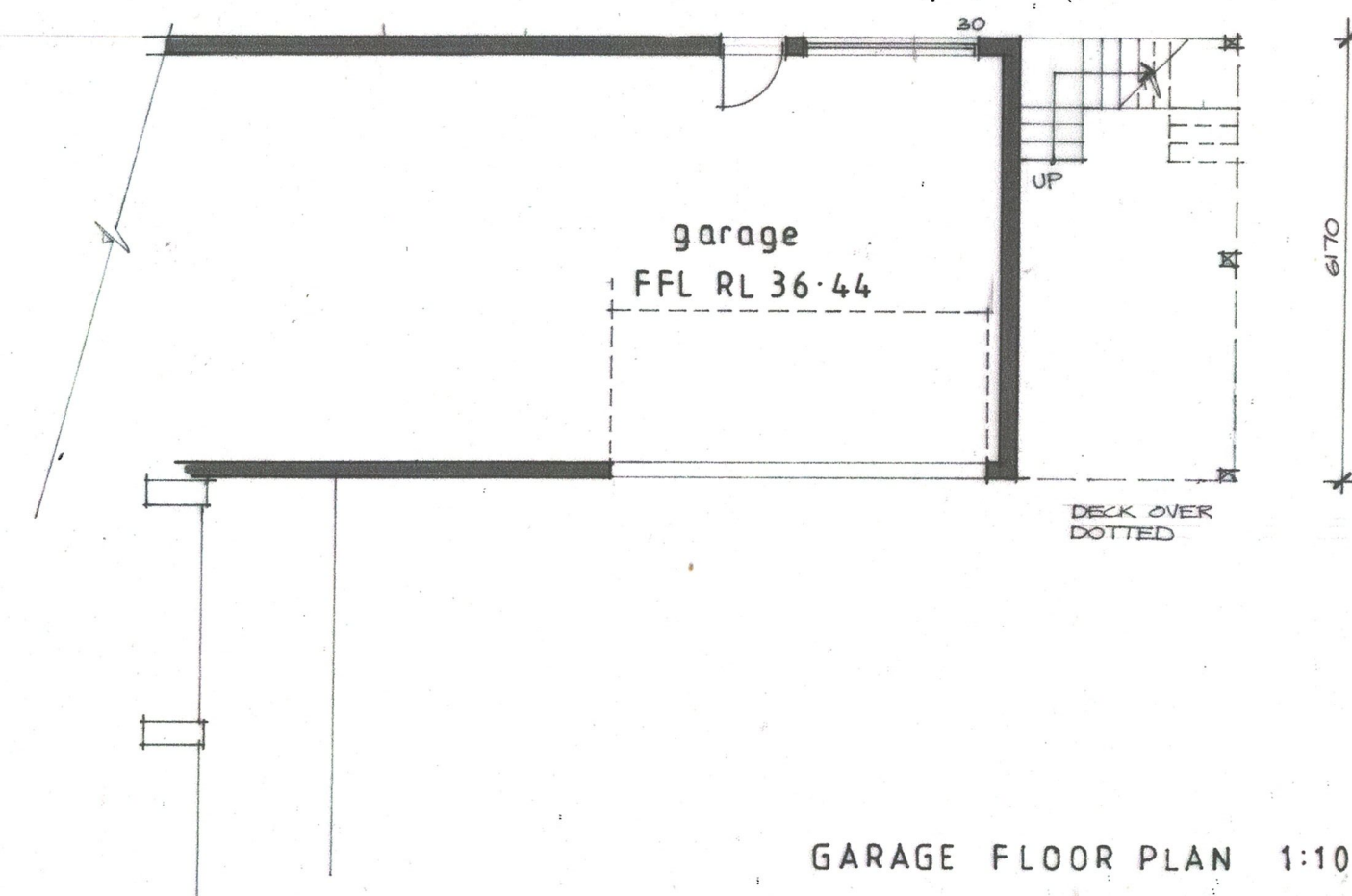
PROPOSED ALTERATIONS AND ADDITIONS

WISEMAN RESIDENCE 63 MARINE PARADE AVALON BEACH

MARCH 2019 DWG 0319 -4/5 SHIMDESIGN design and drafting 0400 898 744



NORTH ELEVATION



GARAGE FLOOR PLAN 1:100

BASIX NOTES

SWIMMING POOL TO BE OUTDOORS, CAPACITY NOT GREATER THAN 16 KILOLITRES
TO HAVE A POOL COVER AND POOL PUMP TIMER AND SOLAR HEATING WITH GAS BOOSTER
SPA CAPACITY NOT GREATER THAN 2.7 KILOLITRES, MUST HAVE A SPA COVER AND SPA PUMP TIMER
SPA HEATER TO BE GAS
A RAINWATER TANK WITH MINIMUM 1175L CAPACITY COLLECTING AT LEAST 321M2 OF ROOF AREA OF
RAINWATER RUNOFF TO BE INSTALLED AND CONNECTED TO AT LEAST ONE TAP LOCATED WITHIN 10M OF THE
EDGE OF THE POOL/SPA

EXTERNAL FRAMED WALLS TO HAVE MIN. R1.3 INSULATION (R1.7 INCLUDING CONSTRUCTION)
SUSPENDED FLOOR WITH ENCLOSED SUB FLOOR TO HAVE R0.6 INSULATION (R1.3 INCLUDING CONSTRUCTION)
ROOF WITH DARK SOLAR ABSORPTANCE TO HAVE FOIL SARKING AND CEILINGS WITH R3.0 INSULATION

BATHROOM AND KITCHEN TAPS TO HAVE MINIMUM 3 STAR RATING. SHOWER MAXIMUM FLOW 9LTRS PER MINUTE.
TOILETS TO HAVE MINIMUM 3 STAR RATING, MAXIMUM 4 LTR FLUSH

MINIMUM 40% NEW OR ALTERED LIGHT FITTINGS TO BE FLUORESCENT, COMPACT FLURO OR LED LAMPS.

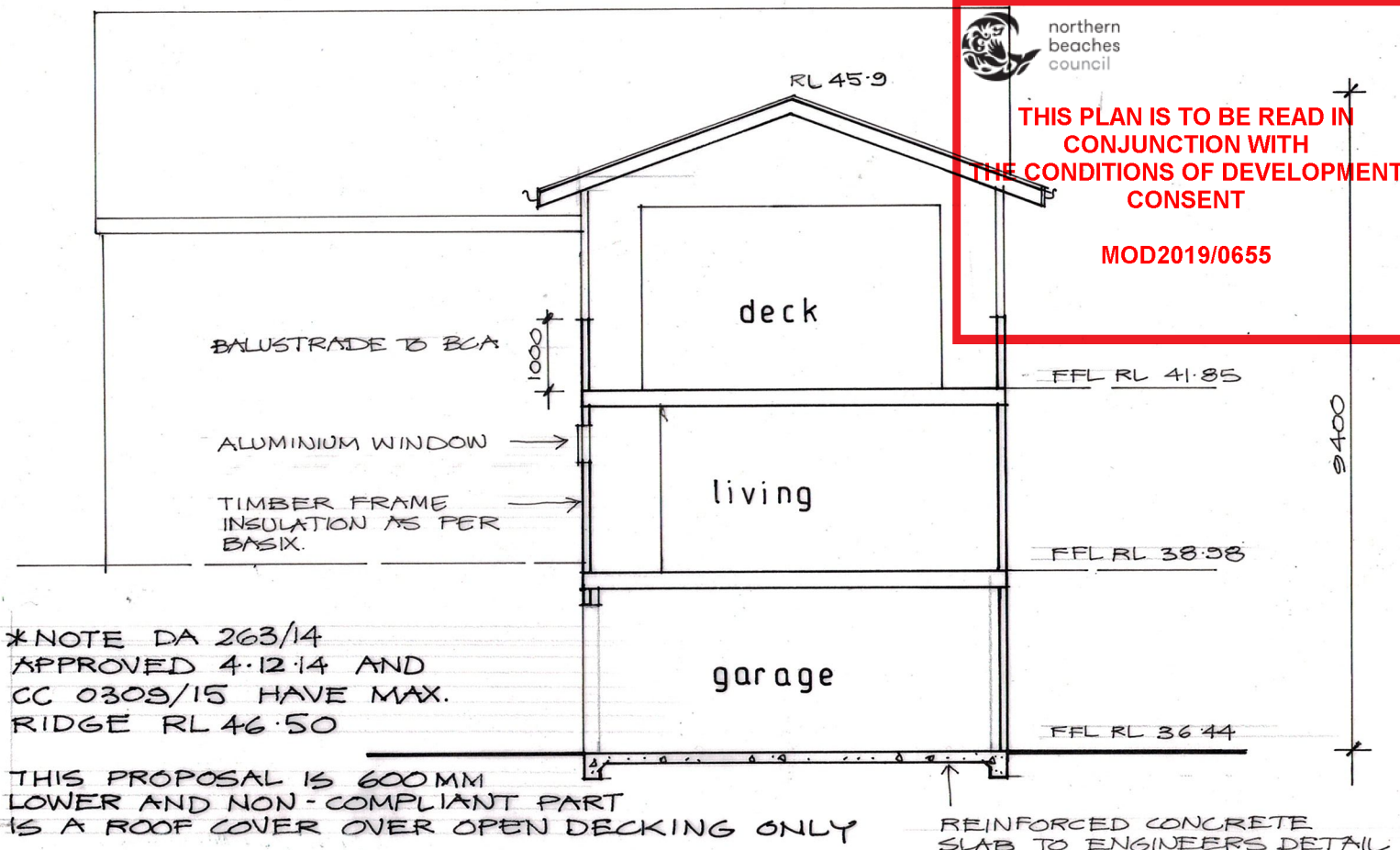
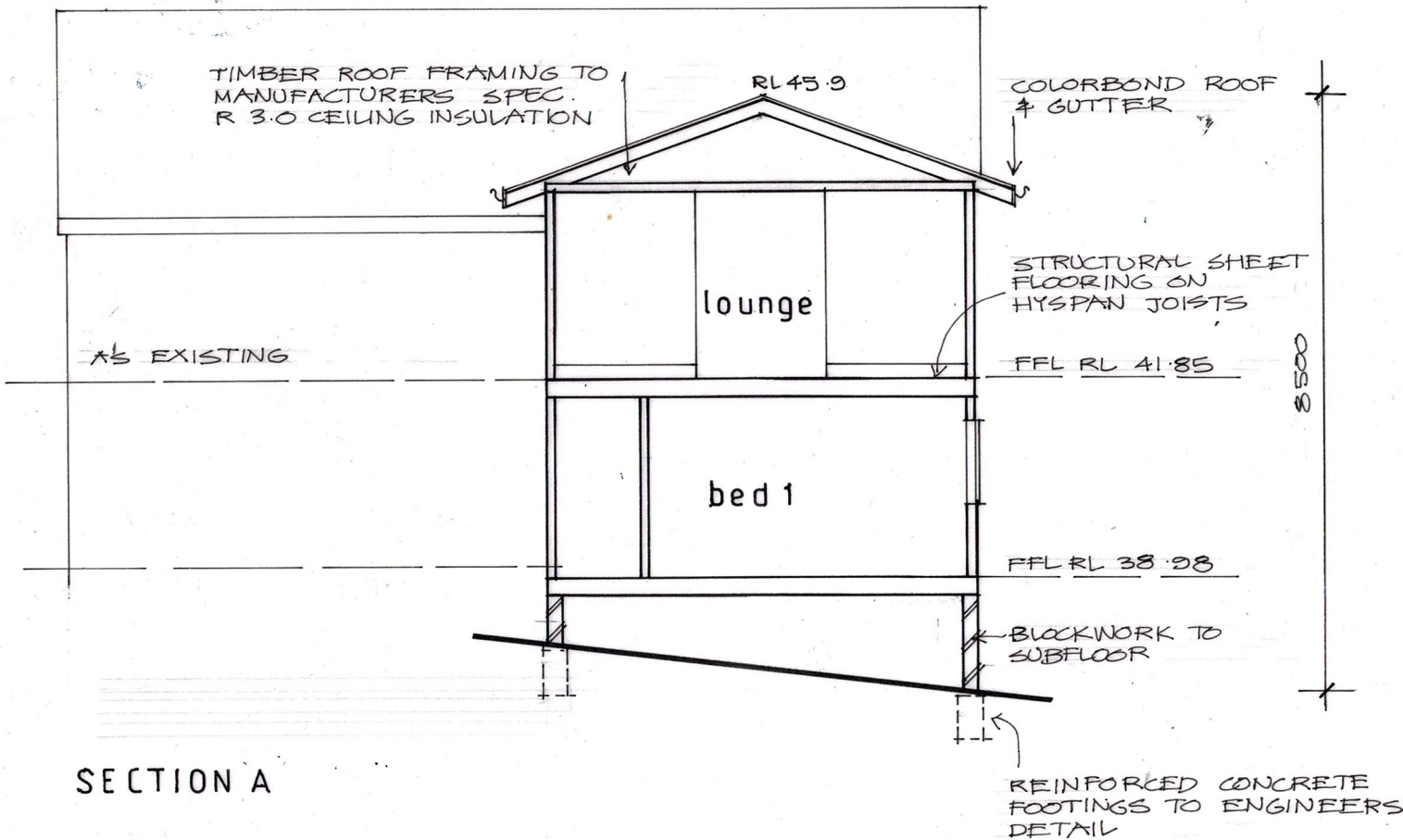
GAS INSTANANEOUS HOT WATER SYSTEM

WINDOWS 1- 30 IN ACCORDANCE WITH BASIX CERTIFICATE A184304_02 DATED 19 DECEMBER 2019

10.12.19 MODIFICATION TO DA NO 263/14 (DWG 0514 MAY '14)

PROPOSED ALTERATIONS AND ADDITIONS
WISEMAN RESIDENCE 63 MARINE PARADE AVALON BEACH
MARCH 2019 DWG 0319 - 5/5 SHIMDESIGN design and drafting 0400 898 744

600
20°



*NOTE DA 263/14
APPROVED 4.12.14 AND
CC 0309/15 HAVE MAX.
RIDGE RL 46.50

THIS PROPOSAL IS 600MM
LOWER AND NON-COMPLIANT PART
IS A ROOF COVER OVER OPEN DECKING ONLY

PROPOSED ALTERATIONS AND ADDITIONS

WISEMAN RESIDENCE 63 MARINE PARADE AVALON BEACH

FEBRUARY 2020 DWG 0319/6 SHIMDESIGN design and drafting 0400 898 744