

DEVELOPMENT PROPOSAL

DP: **10169**
 LOT No. **28**
 SITE AREA: **486.90MSQ.**
 EXIST. GFA: **118.00MSQ.**
 PROPOSED GFA: **233.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK
 SMOKE ALARMS TO COMPLY WITH AS 3786



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1771469

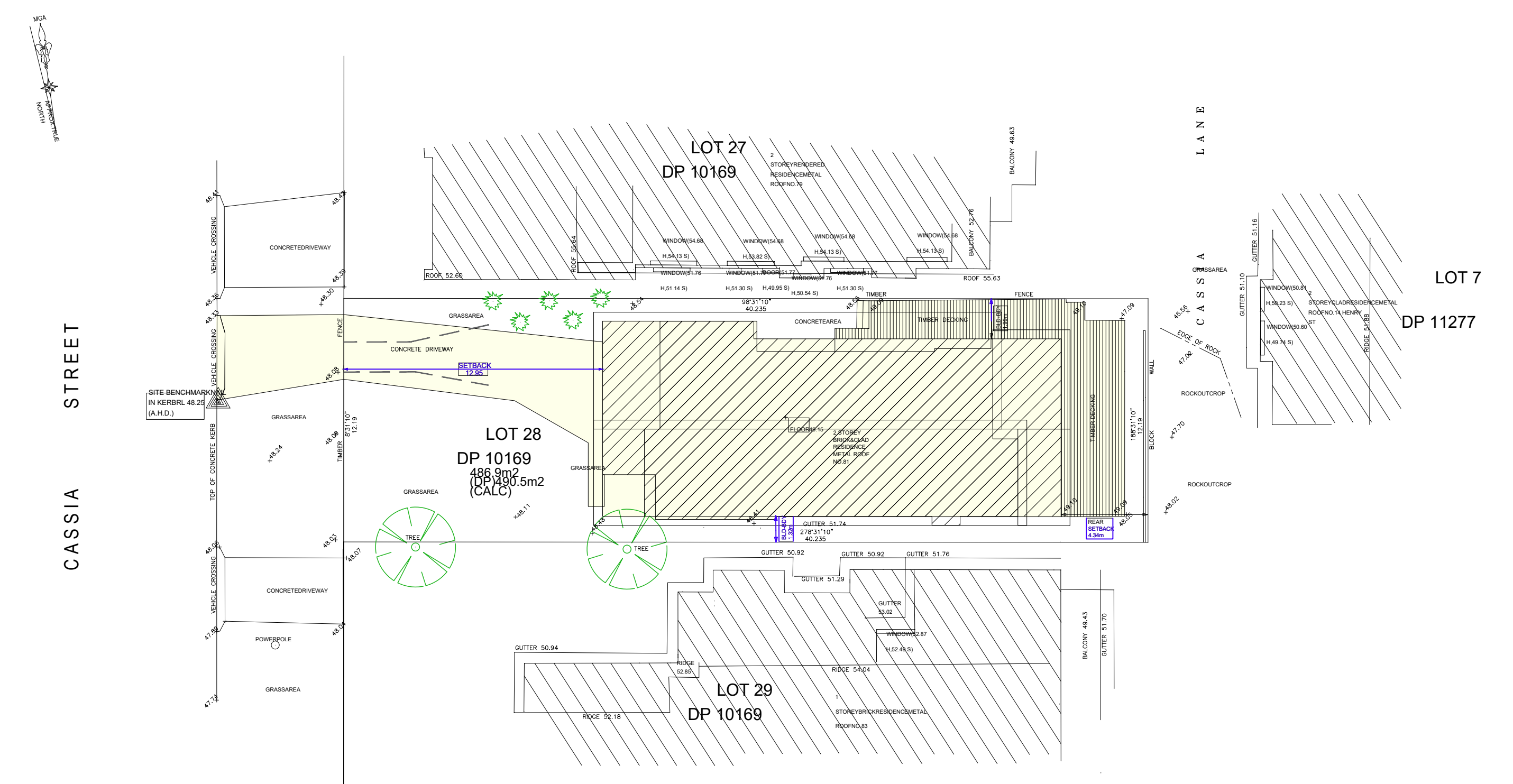
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
 Date of issue: Monday, 04 November 2024
 To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	64524, 81 Cassia St
Street address	81 CASSIA Street OEE WHY 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP10169
Lot number	28
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
NIA	NIA
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name	Max Brightwell
ABN (if applicable)	95897024384

THIS DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL AUSTRALIAN STANDARDS



SITE PLAN SCALE 1:200

**81 CASSIA ST
DEE WHY
2099**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK
 General Notes

- ### MATERIALS AND FINISHES
- Exterior Paint for timber - white
 - Clear acrylic roof sheeting
 - Exterior Paint for timber - white
 - Fibre cement cladding - shades of white
 - Existing timber fence - unchanged
 - Face brick - shades of white
 - Metal sheet roof - Dover White
 - Exterior Paint - shades of white
 - Colour bond door - Dover white
 - Face brick - off white
 - Exterior Paint - grey
 - Fibre cement cladding - shades of white
 - Fibre cement cladding - shades of white

NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS, COUNCIL REQUIREMENTS & OTHER CODES:

ALL BUILDING WORK TO BE IN ACCORDANCE WITH NCC, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS INCLUDING BUT NOT LIMITED TO:

- AS 1684 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION
- AS 2047:2014 - WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS
- AS 2870:2011 - RESIDENTIAL SLABS AND FOOTINGS
- AS/NZS 3000:2007 - WIRING RULES
- AS/NZS 3500.5:2000 - NATIONAL PLUMBING AND DRAINAGE
- AS 3660.1:2014 - TERMITE MANAGEMENT
- AS 3700:2011 - MASONRY STRUCTURES
- AS 3740:2010 - WATERPROOFING OF DOMESTIC WET AREAS
- AS/NZS 2918:2018 DOMESTIC SOLID FUEL BURNING APPLIANCES
- AS 4100:1998 - STEEL STRUCTURES
- NORTHERN BEACHES COUNCIL DRIVEWAY SPECIFICATIONS
- SYDNEY WATER TECHNICAL GUIDELINES: BUILDING OVER AND ADJACENT TO PIPE ASSETS

DISCLAIMER:

THE DRAWINGS PROVIDED HEREIN HAVE BEEN COMPILED BY A DRAFTING HELP PTY LTD BASED ON THE DESIGN SPECIFICATIONS AND INSTRUCTIONS PROVIDED BY THE OWNER. A DRAFTING ONLY EXERCISE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY, THE DRAFTSMAN DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN'S COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, OR SPECIFIC PROJECT REQUIREMENTS. IT IS RECOMMENDED THAT ALL DESIGNS BE REVIEWED BY A QUALIFIED PROFESSIONAL BEFORE IMPLEMENTATION. THE OWNER ACCEPTS FULL RESPONSIBILITY FOR THE DESIGN AND ANY ASSOCIATED OUTCOMES.

BUILDER TO ENSURE SET-OUT/CHECK SURVEYS TO ENSURE COMPLIANCE WITH ALL APPROVED SETBACKS AND RLS AS PER THE APPROVED PLANS

NOTE: 1ST FLOOR WINDOWS TO BE RESTRICTED

NOTE:
 DRAINAGE IS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 3500.3 - STORMWATER DRAINAGE INSTALLATIONS / NCC PART 3.1.2.

SMOKE ALARMS TO AS 3786:2014 AND NCC PART 3.7.5 SMOKE ALARMS

1. Brickwork shall comply with AS 3700. All brickwork shall be solidly bonded and laid on a full bed of 10mm mortar with all joints filled. Wall ties spaced at 450mm cts horizontally and 610mm cts vertically or vice-versa and within 300mm of articulation joints, to comply with AS 2699.
2. Subfloor ventilation:
 - 150mm min. baffle to ground clearance for strip flooring.
 - 200mm min. baffle to ground clearance for sheet flooring.
 - Minimum 7500mm²/Metre of external masonry veneer wall.
 - Minimum 22000mm²/Metre of internal dwarf walls.
 - Weep holes at max. 1200mm centres to comply with AS 3700.
3. Damp-proof courses to be an approved waterproof cement mortar or bituminous paper placed 75mm below floor level. A second course to be laid 1 or 2 brick courses higher.
4. Firebox inserts shall be installed in accordance with manufacturers specifications and in accordance with AS 2918.
5. Top soil and all organic matter to be removed from under where a concrete slab-on-ground is to be poured.
6. Structural steel and concrete to comply with the Structural Engineer's design and calculations and shall take precedence over instructions on this plan.
7. Reinforced concrete to be min. 25MPa, complying with AS 2670 - 1996, (unless directed otherwise by Structural Engineer) and:
 - Trench mesh for concrete footings to be lapped a min. 500mm, and have a top and/or bottom cover of min. 50mm, unless directed otherwise by Engineer.
 - Fabric mesh to be lapped a minimum of 255mm, and have a minimum top and/or bottom cover of 25mm, unless directed otherwise by Engineer.
8. Excavation of trenches for footings, drainage, sewerage, etc., to be in accordance with the requirements of the local Controlling Authorities.
9. Smoke detectors to comply with AS 3786 and must also comply with the BCA 3.7.2.
10. Safety switches to be installed to the requirements of the local Controlling Authority.
11. All glazing to comply with AS 1288-2006.
12. From information provided, the design wind speed is N3 (41m/s).
13. No part of any building to encroach Site or Title boundaries.
14. Provide Bush fire preventative measures where required by local Council.
15. Stair design:
 - Risers 190mm. Maximum 115mm. Minimum 355mm. Maximum 240mm. Minimum 240mm. Minimum
 - Risers and Treads to be constant in size throughout the flight.
 - Ensure gap between treads does not exceed 125mm, or provide infills to block access if larger.
 - Min. 2000mm vertical head clearance when measured from the nosing of the tread.
 - Stair to be min. 750mm wide when measured clear of all obstructions.
 - Handrail to be a constant minimum 865mm high above the nosing of treads and minimum 1000mm high above all landings, balconies and the like that exceed 1000mm above the finished adjacent ground or floor level.
 - Balusters and rails, etc., to have max. spacing of 125mm.
 - Wire balustrading to comply with Table 3.9.2.1 of the BCA.
16. Figured dimensions shall always take precedence over scale.
17. Termite prevention works must be in accordance with AS 3660.1 - 2000.
18. For buildings in close proximity to the sea, ensure that all steelwork, brick cavity ties, steel lintels, etc. that are embedded or fixed into masonry, be protected in accordance with AS 1650 or AS 3700-1988 Table 2.2, hot dipped galvanised iron, stainless steel or cadmium coated.
19. The Builder to take all measures necessary to ensure the stability of new and/or existing structures during construction and generally ensure the watertightness of all works during construction.
20. These plans have been prepared for the exclusive use of the customer and only for the purpose expressly notified to the author. Any other person who uses or relies on these plans without the written consent of Avalon Granny Flats does so at their own risk and no responsibility is accepted by Avalon Granny Flats for such use and/or reliance.
21. DO NOT SCALE OFF DRAWINGS. The Owner/Builder and/or subcontractor to confirm all dimensions, setbacks and levels prior to commencing construction, ordering materials or preparing shop drawings and shall be responsible for ensuring that all building works conform to the Building Code of Australia, AS codes (current editions) Building regulations, local by-laws and Town Planning requirements. All discrepancies must be referred to this office for clarification.
22. © COPYRIGHT WARNING. This plan is the exclusive property of Avalon Granny Flats and must not be used, reproduced or copied, wholly or in part. Any infringement of the Copyright will result in legal action being taken against both the Owner and/or Builder.
23. These notes are neither exhaustive nor a substitute for regulations, statutory requirements, building practice or contractual obligations and unless expressly stated otherwise, are provided only as a guide. No responsibility is accepted for their use.

NOTE:

3.1.3.5 STORMWATER DRAINAGE

WHERE A STORMWATER DRAINAGE SYSTEM IS INSTALLED, IT MUST COMPLY WITH THE FOLLOWING:

(A) THE POSITION AND MANNER OF DISCHARGE OF THE STORMWATER DRAINAGE SYSTEM MUST BE TO THE SATISFACTION OF THE APPROPRIATE AUTHORITY.

(B) THE STORMWATER DRAINAGE SYSTEM MUST BE DESIGNED SO THAT ANY OVERFLOW DURING HEAVY RAIN PERIODS IS PREVENTED FROM FLOWING BACK INTO THE BUILDING.

(C) COVER TO STORMWATER DRAINS: THE COVER TO 90 MM CLASS 6 UPVC STORMWATER DRAINS INSTALLED UNDERGROUND MUST BE NOT LESS THAN--

(I) UNDER SOIL -- 100 MM; OR

(II) UNDER PAVED OR CONCRETE AREAS -- 50 MM; OR

(III) UNDER AREAS SUBJECT TO LIGHT VEHICLE TRAFFIC--

(A) REINFORCED CONCRETE -- 75 MM; OR

(B) PAVED -- 100 MM.

NOTE:

3.1.3.3 SURFACE WATER DRAINAGE

SURFACE WATER MUST BE DIVERTED AWAY FROM CLASS 1 BUILDINGS AS FOLLOWS:

(A) SLAB-ON-GROUND -- FINISHED GROUND LEVEL ADJACENT TO BUILDINGS: THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADED TO GIVE A SLOPE OF NOT LESS THAN (SEE FIGURE 3.1.2.2)--

(I) 25 MM OVER THE FIRST 1 M FROM THE BUILDING IN LOW RAINFALL INTENSITY AREAS FOR SURFACES THAT ARE REASONABLY IMPERMEABLE (SUCH AS CONCRETE OR CLAY PAVING); OR

(II) 50 MM OVER THE FIRST 1 M FROM THE BUILDING IN ANY OTHER CASE.

(B) SLAB-ON-GROUND -- FINISHED SLAB HEIGHTS: THE HEIGHT OF THE SLAB-ON-GROUND ABOVE EXTERNAL FINISHED SURFACES MUST BE NOT LESS THAN (SEE FIGURE 3.1.3.2)--

(I) 100 MM ABOVE THE FINISHED GROUND LEVEL IN LOW RAINFALL INTENSITY AREAS OR SANDY, WELL-DRAINED AREAS; OR

(II) 50 MM ABOVE IMPERMEABLE (PAVED OR CONCRETE AREAS) THAT SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH (A); OR

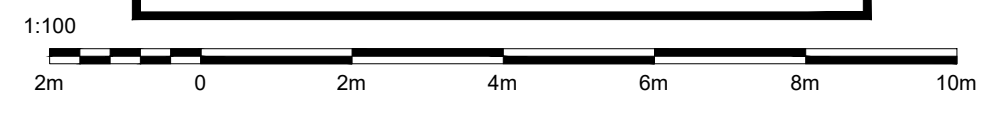
(III) 150 MM IN ANY OTHER CASE.

GENERAL NOTES

BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS

ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.

CONNECT DIPS TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYERS OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



Project Address and Date: 27-Sep-22
 Scale: AS SHOWN
 Sheet: 1

DP No.	10169
LOT No.	28
A	ISSUED FOR DA
No.	Revision/Issue
	Date

Project Name and Address: LAURENCE SCHMIDT 81 CASSIA ST DEE WHY 2099

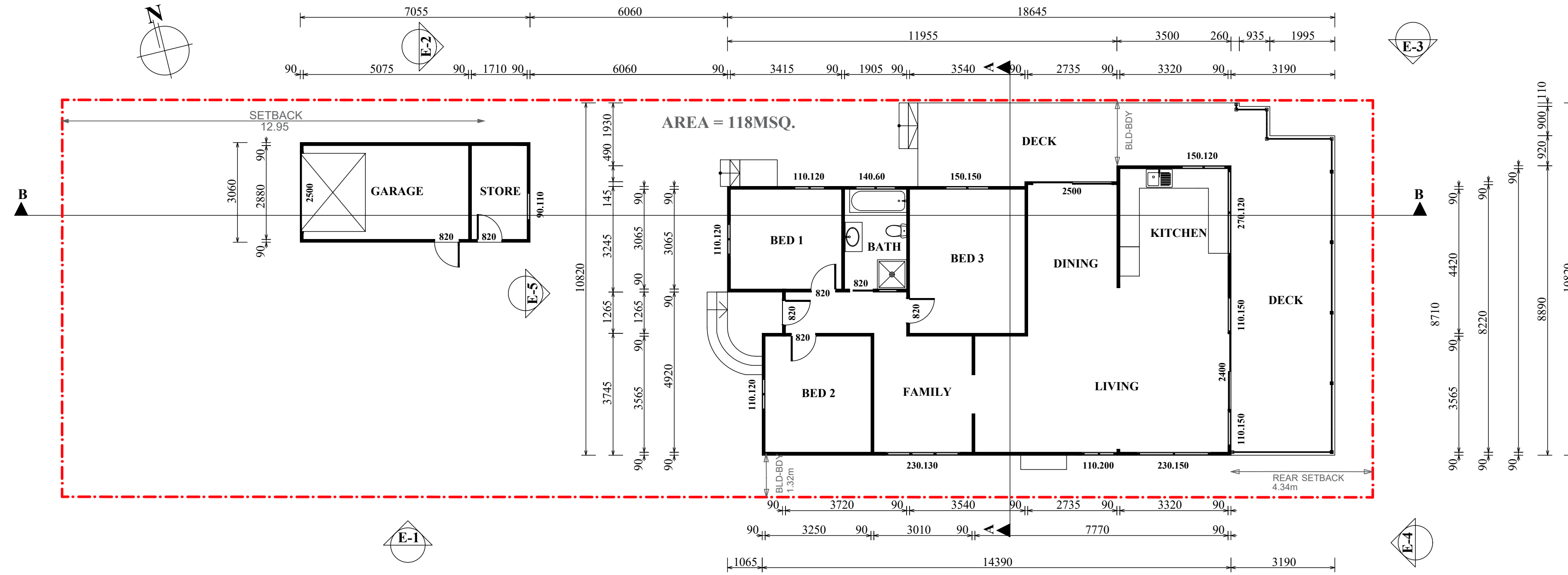
DEVELOPMENT PROPOSAL

DP: 10169
 LOT No. 28
 SITE AREA: 486.90MSQ.
 EXIST. GFA: 118.00MSQ.
 PROPOSED GFA: 233.00MSQ
 MAX. BUILDING HEIGHT: 8.5M

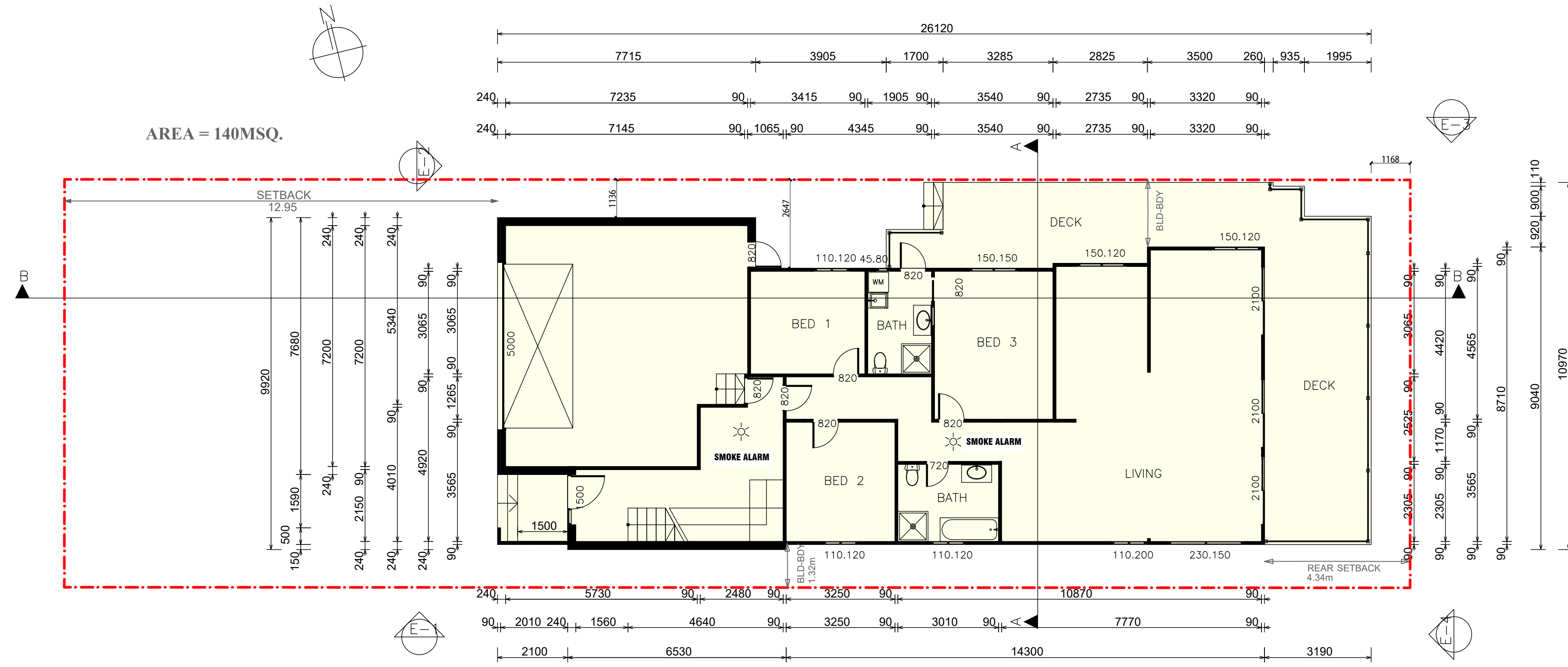
NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

SMOKE ALARMS TO COMPLY WITH AS 3786
 *



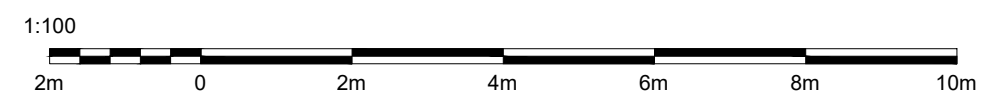
GROUND FLOOR PLAN - EXISTING
 SCALE 1:100



SMOKE ALARMS TO AS 3786-2014 AND
 NCC PART 3.7.5 SMOKE ALARMS

GROUND FLOOR PLAN - PROPOSED
 SCALE 1:100

GENERAL NOTES
 #BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 #CONNECT DIPS TO EXISTING STORMWATER SYSTEM
 ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING-HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

**81 CASSIA ST
 DEE WHY
 2099**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes

Project ADDITIONS AND ALTERATIONS
 Date 27-Sep-21
 Scale AS SHOWN

Sheet **2**

DP No. 10169
 LOT No. 28

A ISSUED FOR DA Sep. 27, 22
 No. Revision/Issue Date

dh DRAFTING HELP
 5470 Sydney Rd
 Stagshead 2095 NSW
 www.draftinghelp.com.au
 02 87763474

Project Name and Address
**LAURENCE SCHMIDT
 81 CASSIA ST
 DEE WHY
 2099**

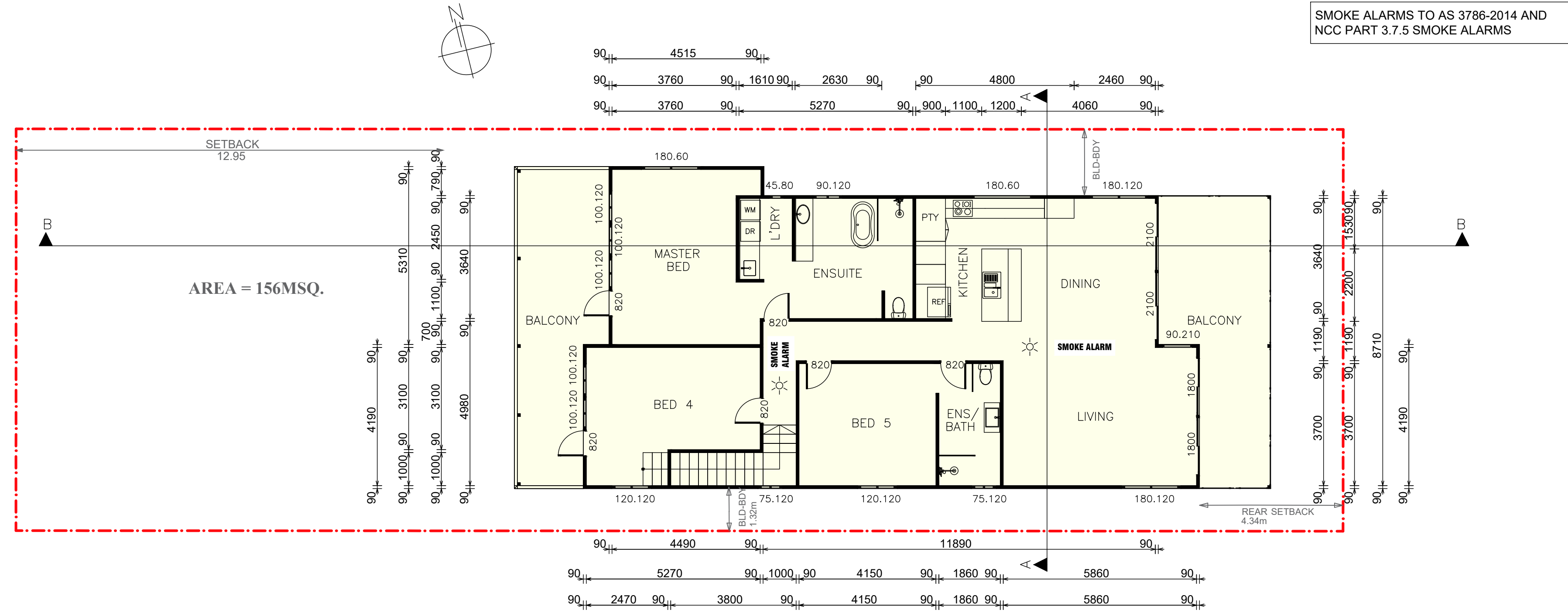
DEVELOPMENT PROPOSAL

DP: **10169**
 LOT No. **28**
 SITE AREA: **486.90MSQ.**
 EXIST. GFA: **118.00MSQ.**
 PROPOSED GFA: **233.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

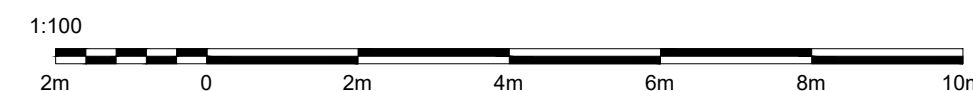
LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

SMOKE ALARMS TO COMPLY WITH AS 3786
 *



1st FLOOR PLAN - PROPOSED
 SCALE 1:100

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 **ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 ***CONNECT DPS TO EXISTING STORMWATER SYSTEM
 ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
 THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING-HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

81 CASSIA ST
DEE WHY
2099

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes



THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CORRECTIONS. THE DESIGN IS SUBJECT TO ARCHITECTURAL AND ENGINEERING APPROVAL AND IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS
 Date: 27-Sep-22
 Scale: AS SHOWN

Sheet **3**

DP No. **10169**

LOT No. **28**

No.	Revision/Issue	Date

A ISSUED FOR DA Sep. 27, 22

dh DRAFTING HELP
 5470 Sydney Rd
 Stagshead 2099 NSW
 www.draftinghelp.com.au
 02 87763474

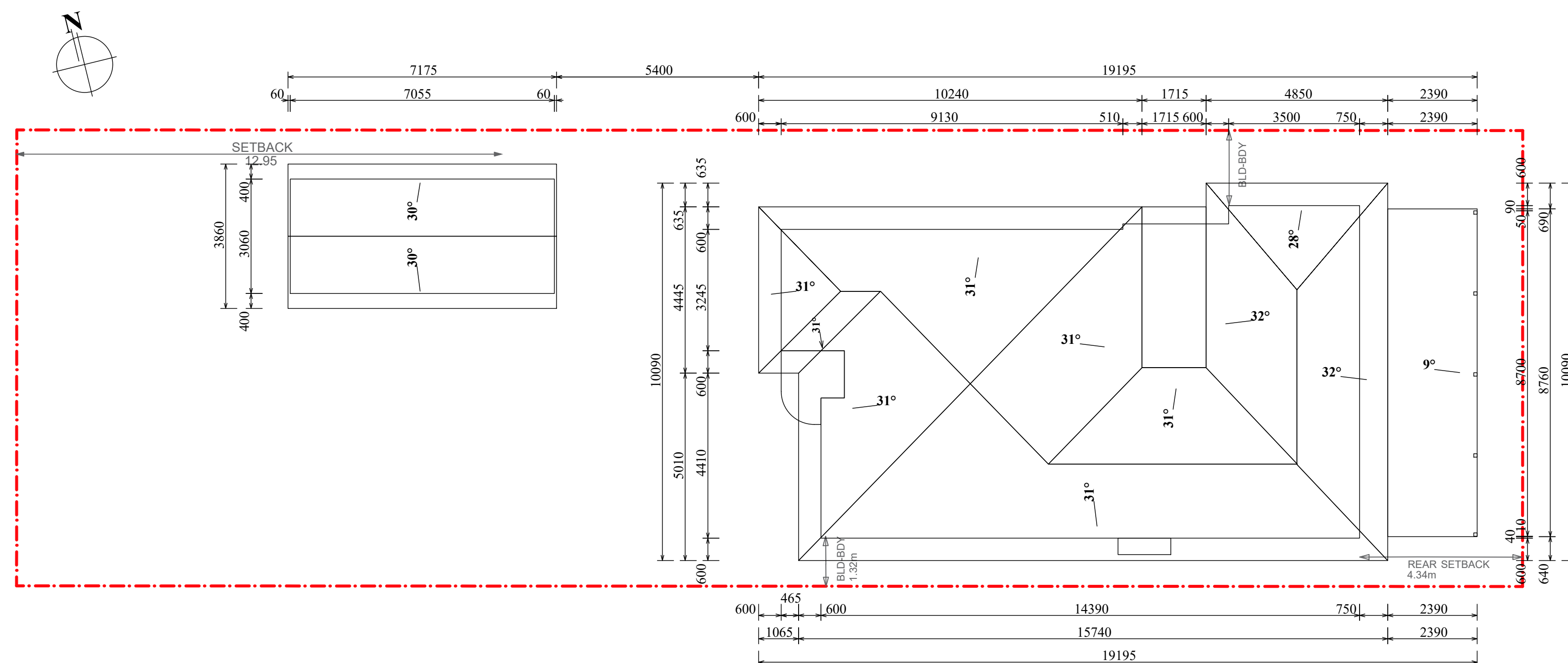
Project Name and Address
LAURENCE SCHMIDT
81 CASSIA ST
DEE WHY
2099

DEVELOPMENT PROPOSAL

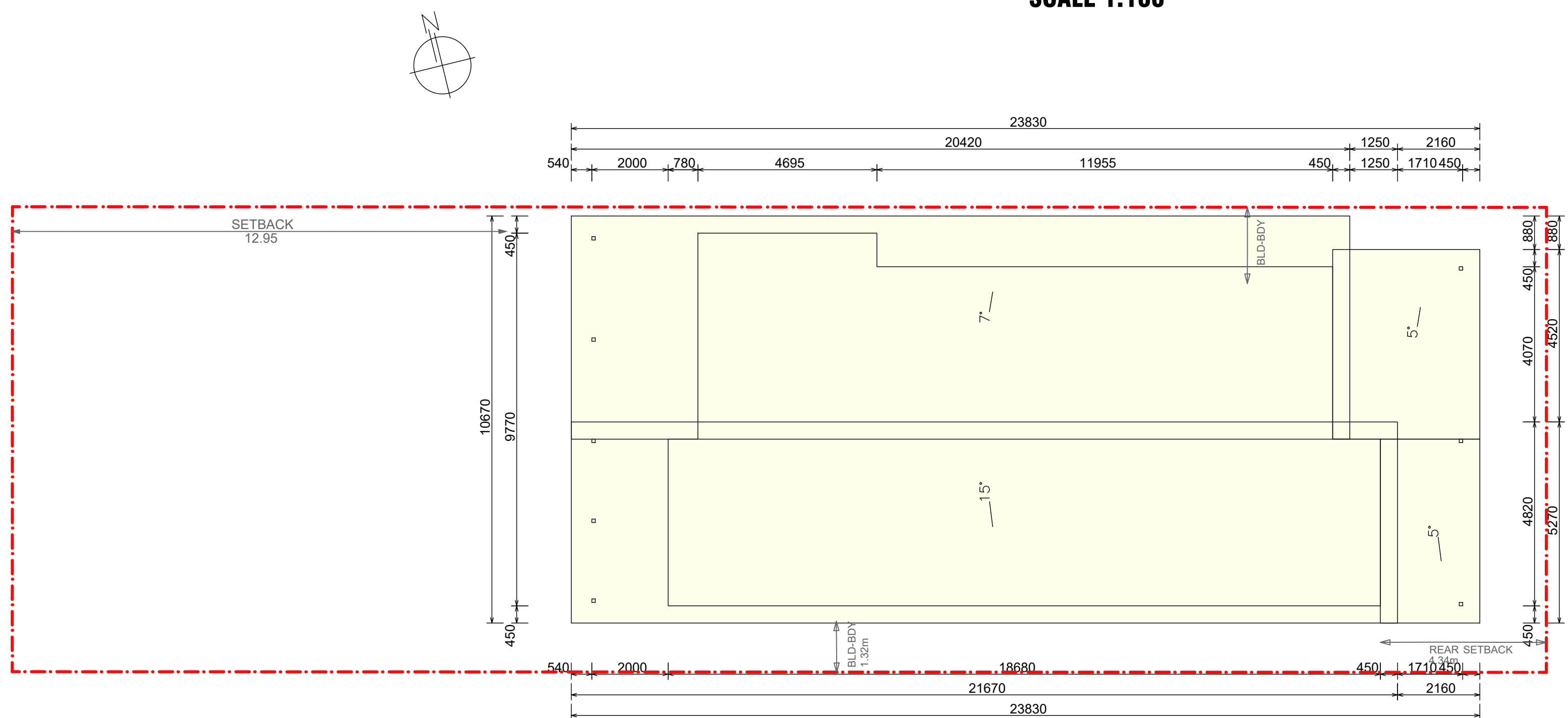
DP: **10169**
 LOT No. **28**
 SITE AREA: **486.90MSQ.**
 EXIST. GFA: **118.00MSQ.**
 PROPOSED GFA: **233.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786



ROOF PLAN - EXISTING
SCALE 1:100



ROOF PLAN - PROPOSED
SCALE 1:100

NOTE:
 GUTTERS AND DOWNPIPES TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 3500.3 - STORMWATER DRAINAGE INSTALLATIONS.

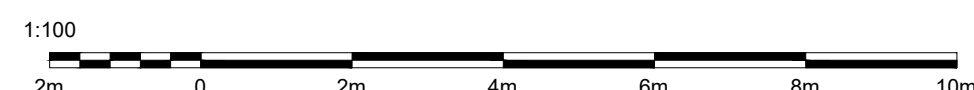
INSTALLATION OF GUTTERS
 (a) GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN-
 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FACIAS; AND
 1:100 FOR BOX GUTTERS.
 EAVES GUTTERS MUST BE SUPPORTED BY BRACKETS SECURELY FIXED AT STOP ENDS AND AT NOT MORE THAN 1.2 M CENTRES.
 VALLEY GUTTERS ON A ROOF WITH A PITCH-

3.3.2.4.2.1.2.1
 MORE THAN 12.5 DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400 MM AND BE WIDE ENOUGH TO ALLOW THE ROOF COVERING TO OVERHANG NOT LESS THAN 150 MM EACH SIDE OF THE GUTTER; OR NOT MORE THAN 12.5 DEGREES - MUST BE DESIGNED AS A BOX GUTTER

NOTE:
 DRAINAGE IS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 3500.3 - STORMWATER DRAINAGE INSTALLATIONS / NCC PART 3.1.2.

NOTE:
 STORMWATER DRAINAGE TO BE CONNECTED INTO EXISTING STORMWATER SYSTEM.

GENERAL NOTES
 #BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 #ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 #CONNECT DPS TO EXISTING STORMWATER SYSTEM
 #ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING-HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

81 CASSIA ST
DEE WHY
2099

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes



THESE DOCUMENTS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, REPRODUCED OR REPRESENTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS AND APPROVED ONLY AND ARE SUBJECT TO CLIENTS' APPROVAL. THIS DESIGN IS SUBJECT TO CLIENTS' APPROVAL AND IS INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project Name and Address
4

DP No. **10169**
 LOT No. **28**

A ISSUED FOR DA Sep. 27, 22
 No. Revision/Issue Date

dh DRAFTING HELP
 5470 Sydney Rd
 Bayswater 2015 NSW
 www.draftinghelp.com.au
 02 87763474

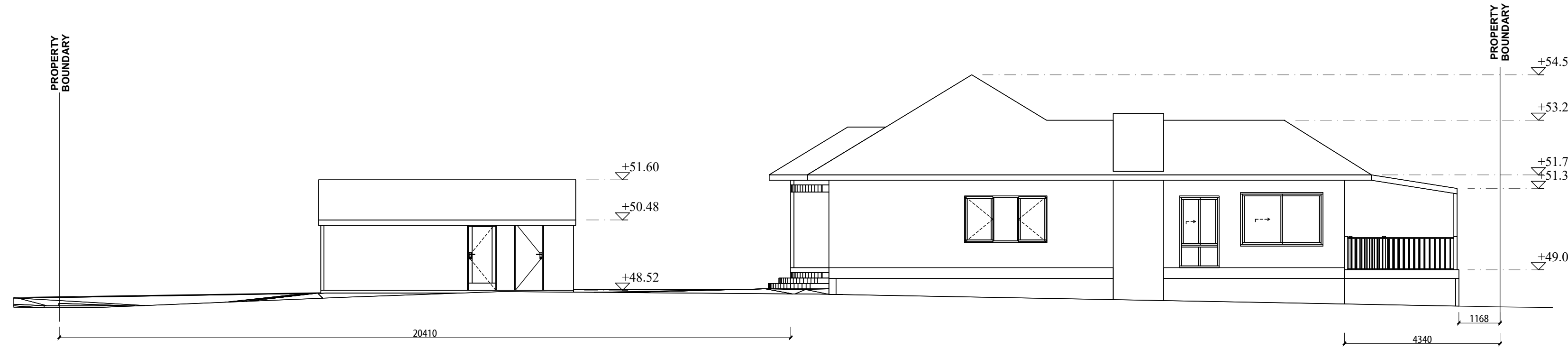
Project Name and Address
LAURENCE SCHMIDT
81 CASSIA ST
DEE WHY
2099

DEVELOPMENT PROPOSAL

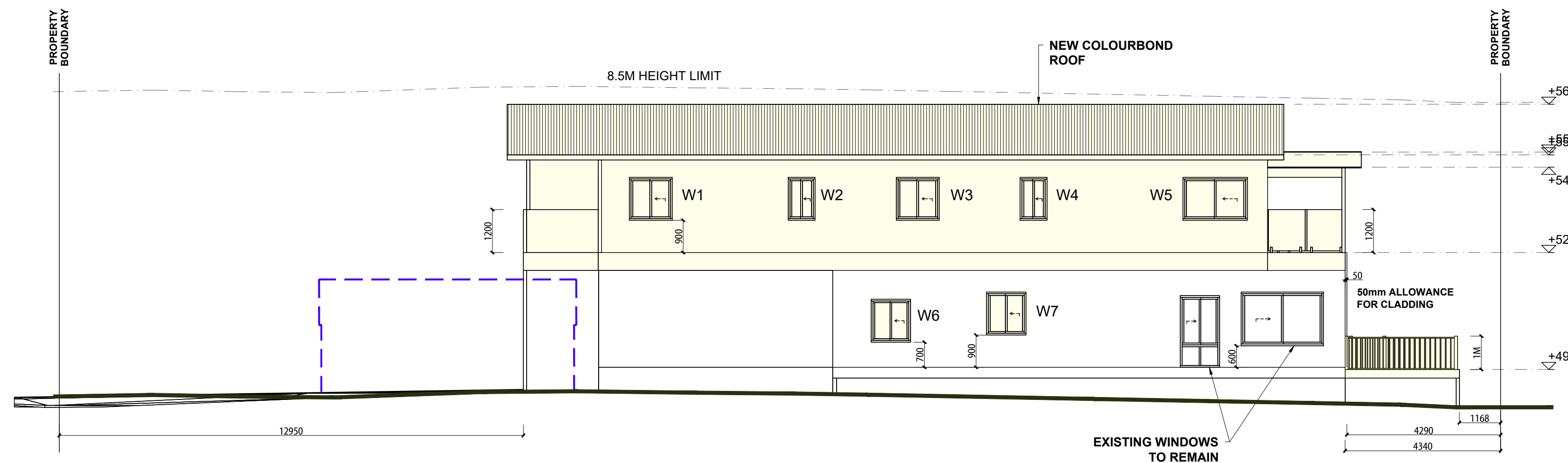
DP: 10169
 LOT No. 28
 SITE AREA: 486.90MSQ.
 EXIST. GFA: 118.00MSQ.
 PROPOSED GFA: 233.00MSQ
 MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786



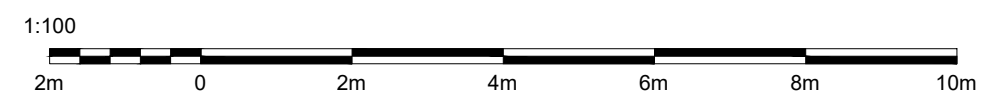
SOUTH ELEVATION - EXISTING
 SCALE 1:100



SOUTH ELEVATION - PROPOSED
 SCALE 1:100

LEGEND:
 EXISTING BUILDING OUTLINE

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 *ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 *CONNECT DIPS TO EXISTING STORMWATER SYSTEM
 *ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING-HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

81 CASSIA ST
DEE WHY
2099

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK
 General Notes



THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFORMANCE. THE DESIGN IS SUBJECT TO COUNCIL APPROVAL AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project Additions and Alterations	Sheet
Date: 27-Sep-22	5
Scale: AS SHOWN	

DP No: 10169
 LOT No. 28

No.	Revision/Issue	Date
A	ISSUED FOR DA	Sep. 27, 22

dh DRAFTING HELP
 5470 Sydney Rd
 Bayswater 2013 NSW
 www.draftinghelp.com.au
 02 87763474

Project Name and Address
LAURENCE SCHMIDT
81 CASSIA ST
DEE WHY
2099

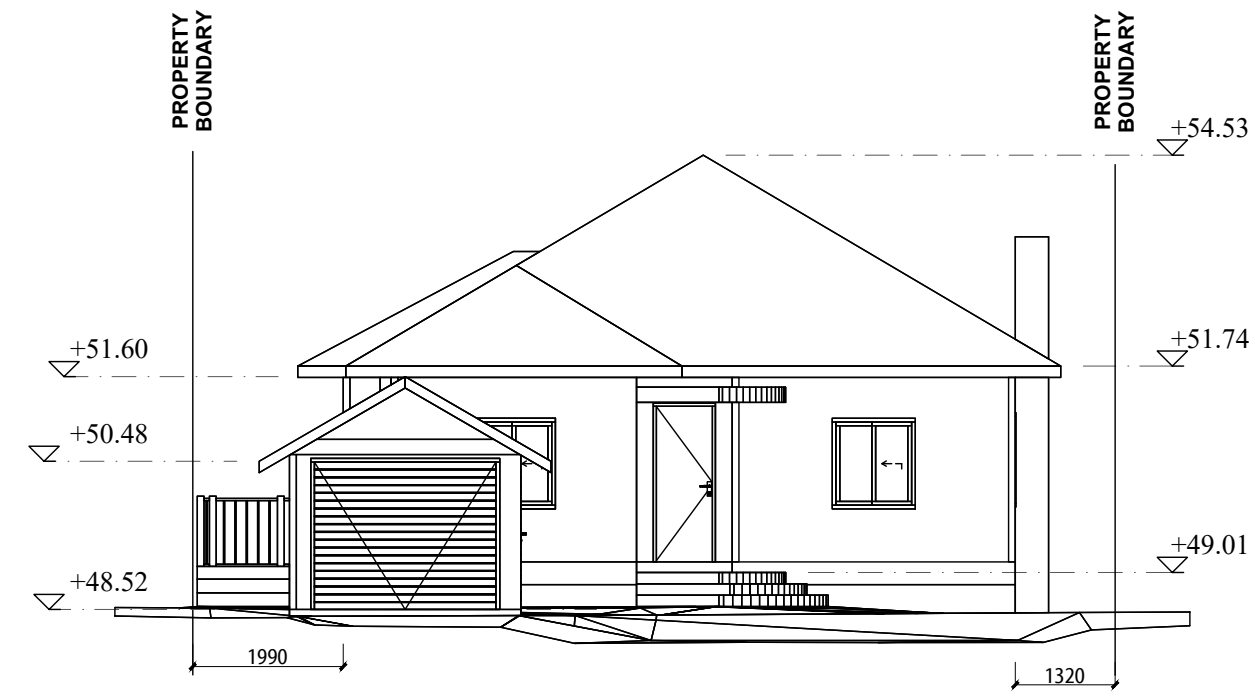
DEVELOPMENT PROPOSAL

DP: **10169**
 LOT No. **28**
 SITE AREA: **486.90MSQ.**
 EXIST. GFA: **118.00MSQ.**
 PROPOSED GFA: **233.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

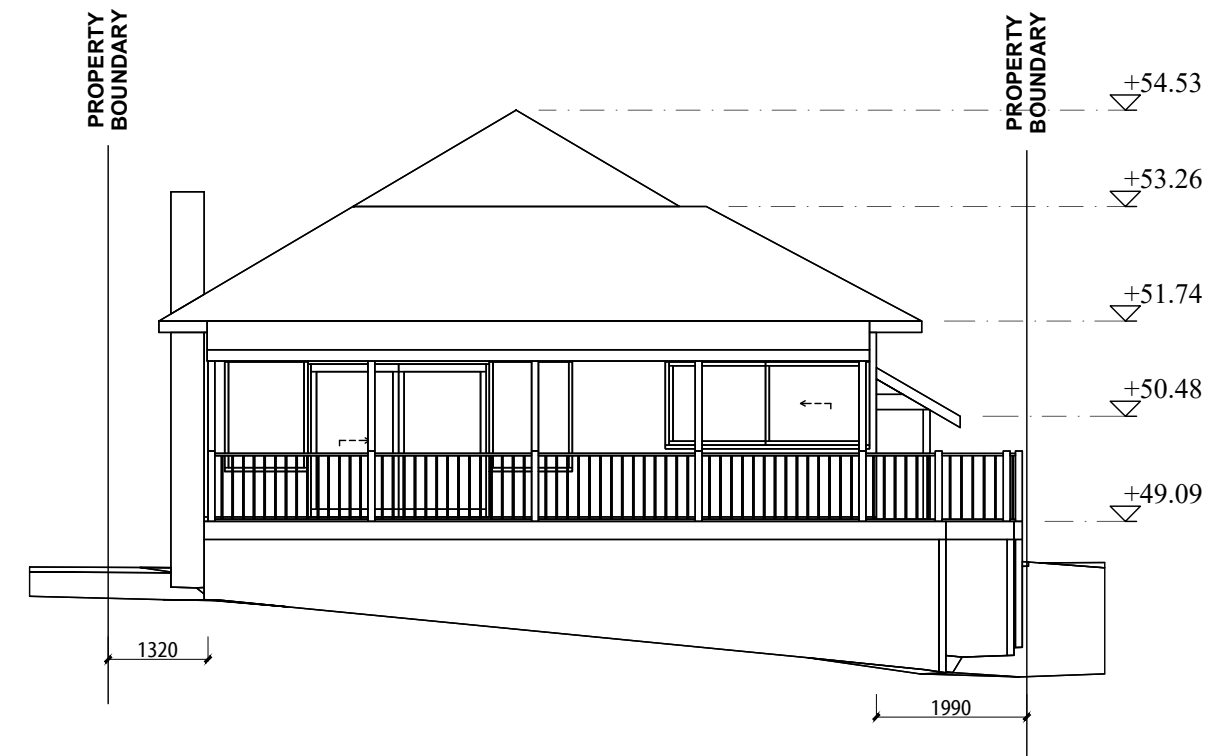
NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

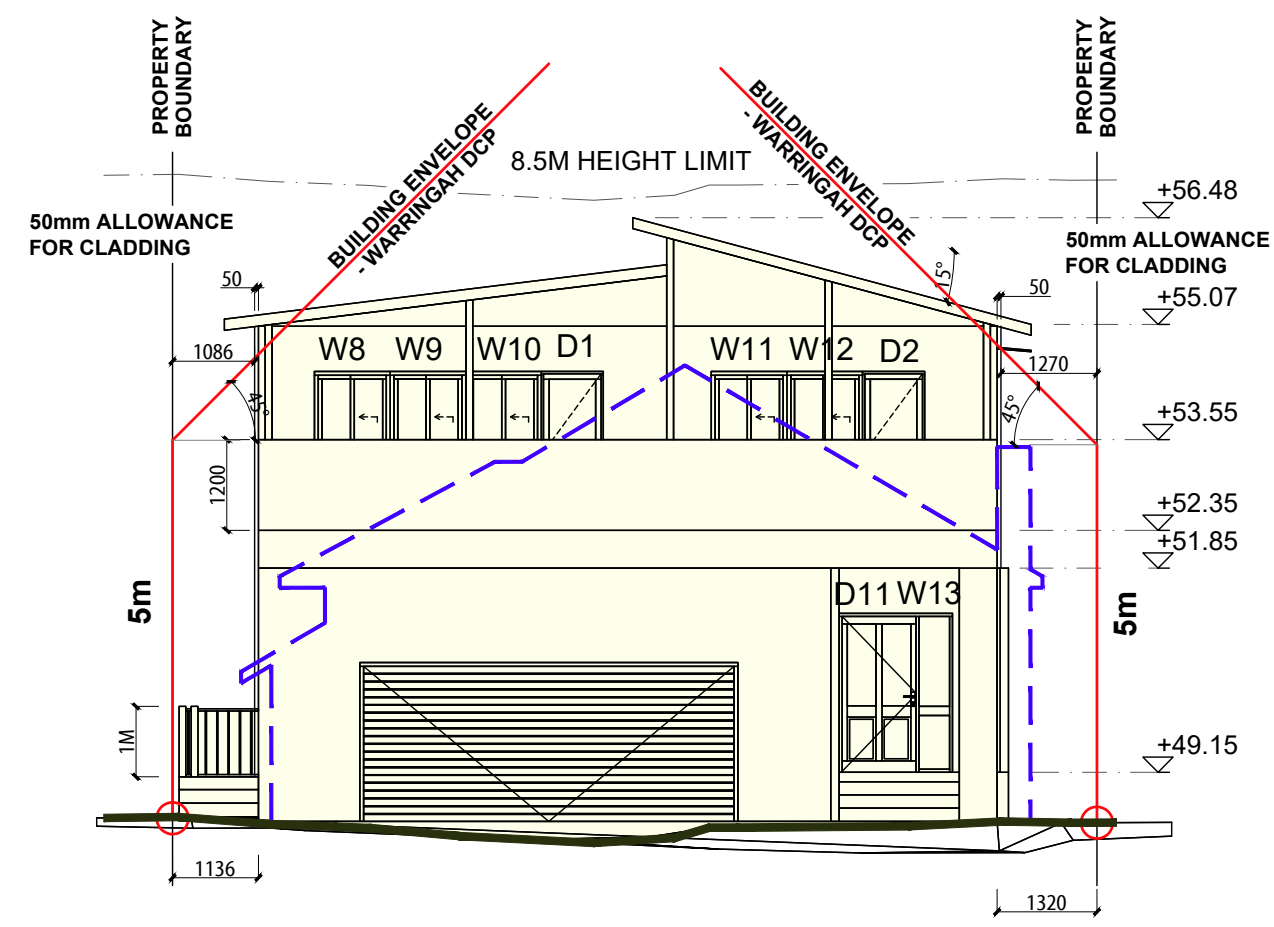
SMOKE ALARMS TO COMPLY WITH AS 3786
 * * *



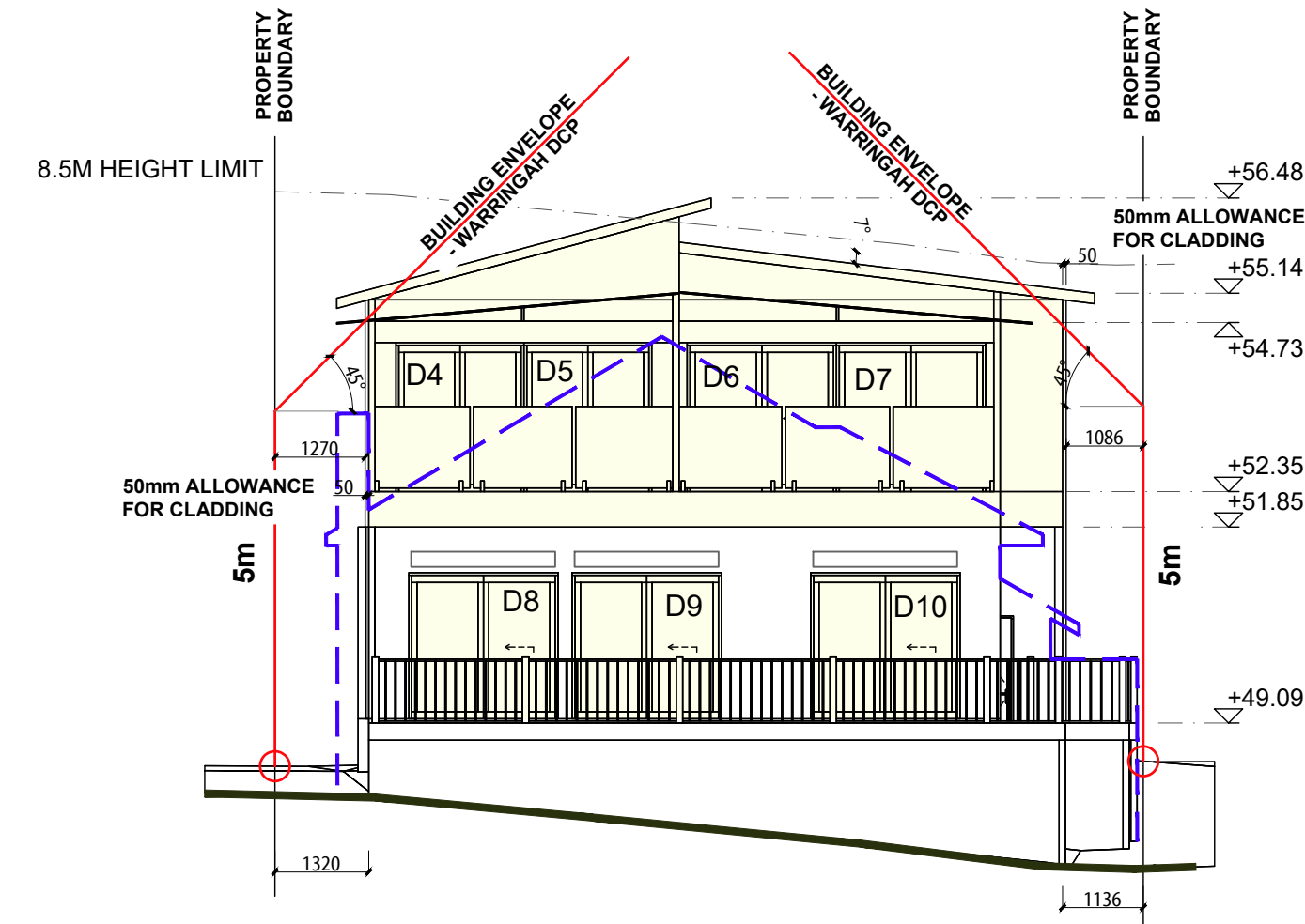
WEST ELEVATION - EXISTING
 SCALE 1:100



EAST ELEVATION - EXISTING
 SCALE 1:100



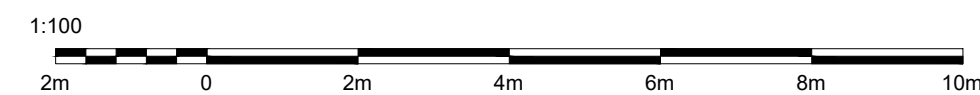
WEST ELEVATION - PROPOSED
 SCALE 1:100



EAST ELEVATION - PROPOSED
 SCALE 1:100

LEGEND:
 EXISTING BUILDING OUTLINE

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 *ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 *CONNECT DIPS TO EXISTING STORMWATER SYSTEM
 *ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING-HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

**81 CASSIA ST
 DEE WHY
 2099**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes



THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFORMANCE. THE DESIGN IS SUBJECT TO SURVEY APPROVAL AND IS INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS	Sheet
Date 27-Sep-22	6
Scale AS SHOWN	

DP No. **10169**
 LOT No. **28**

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

dh DRAFTING HELP
 5470 Sydney Rd
 Stagshead 2099 NSW
 www.draftinghelp.com.au
 02 87763474

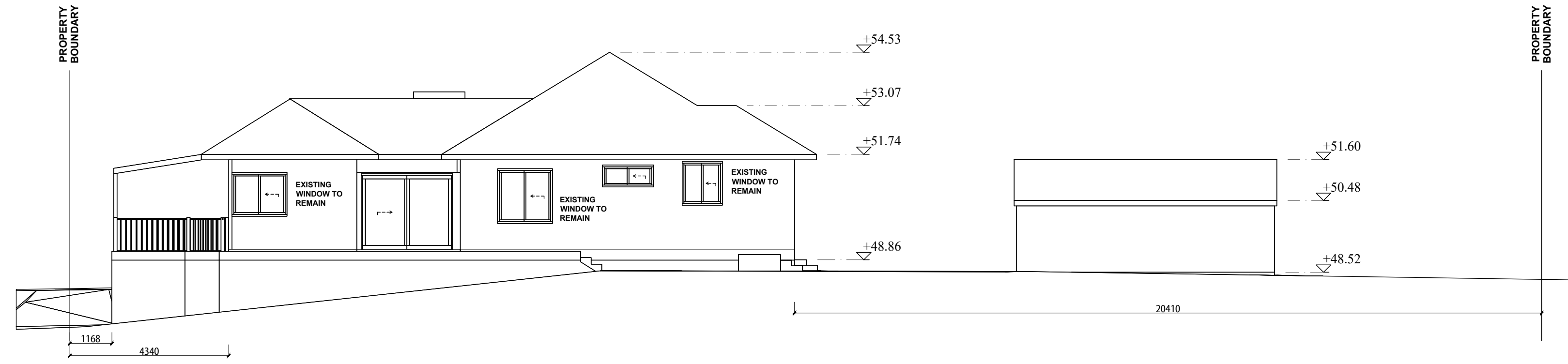
Project Name and Address
LAURENCE SCHMIDT
81 CASSIA ST
DEE WHY
2099

DEVELOPMENT PROPOSAL

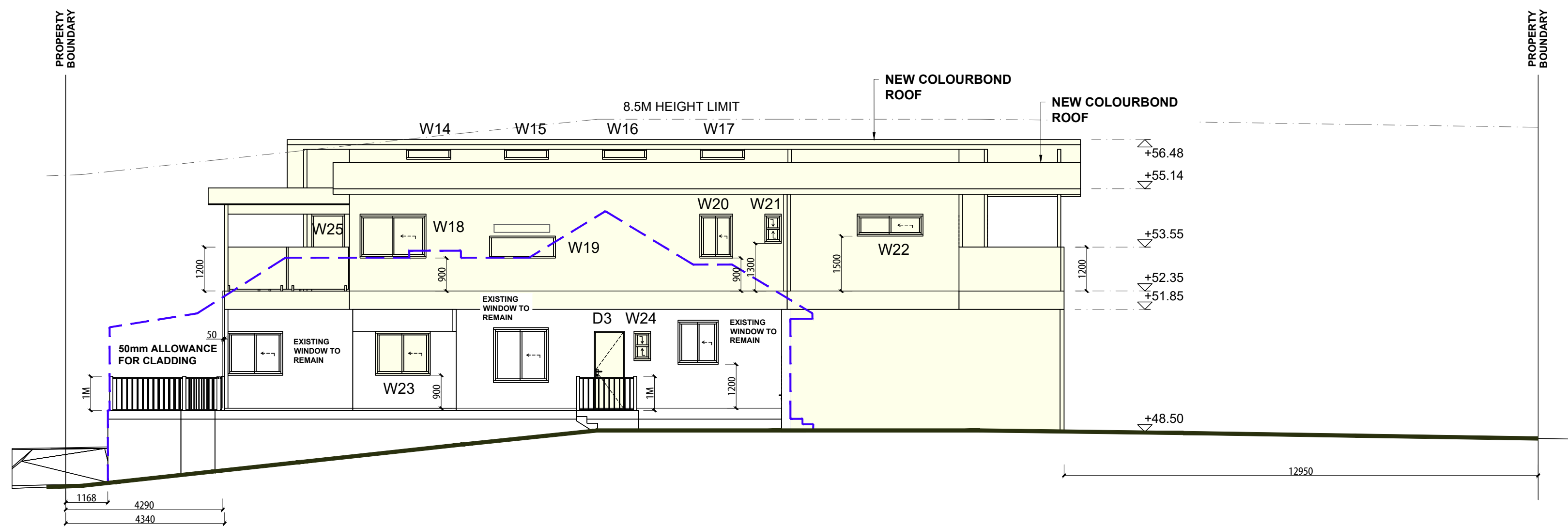
DP: **10169**
 LOT No. **28**
 SITE AREA: **486.90MSQ.**
 EXIST. GFA: **118.00MSQ.**
 PROPOSED GFA: **233.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786



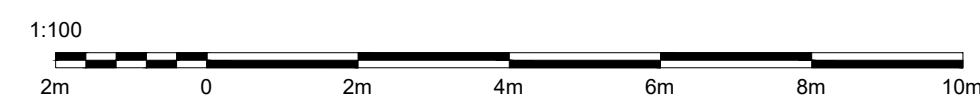
NORTH ELEVATION - EXISTING
 SCALE 1:100



NORTH ELEVATION - PROPOSED
 SCALE 1:100

LEGEND:
 EXISTING BUILDING OUTLINE

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 *ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 *CONNECT DIPS TO EXISTING STORMWATER SYSTEM
 *ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING-HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

**81 CASSIA ST
 DEE WHY
 2099**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK
 General Notes



THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFORMANCE. THE DESIGN IS SUBJECT TO COUNCIL APPROVAL AND IS INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS	Sheet
Date 27-Sep-22	7
Scale AS SHOWN	

DP No. **10169**
 LOT No. **28**

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

dh DRAFTING HELP
 5/470 Sydney Rd
 Stagshead 2099 NSW
 www.draftinghelp.com.au
 02 87763474

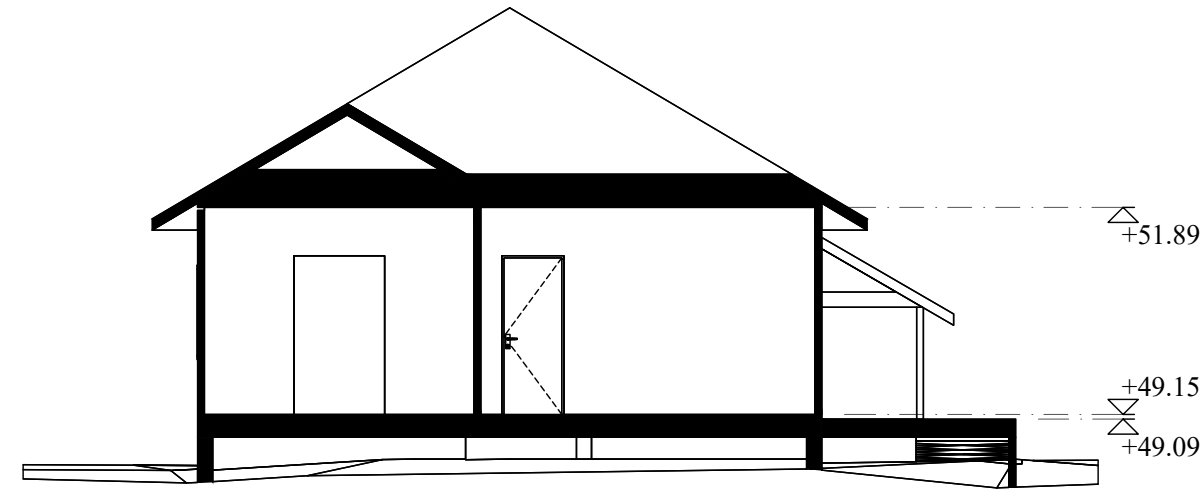
Project Name and Address
**LAURENCE SCHMIDT
 81 CASSIA ST
 DEE WHY
 2099**

DEVELOPMENT PROPOSAL

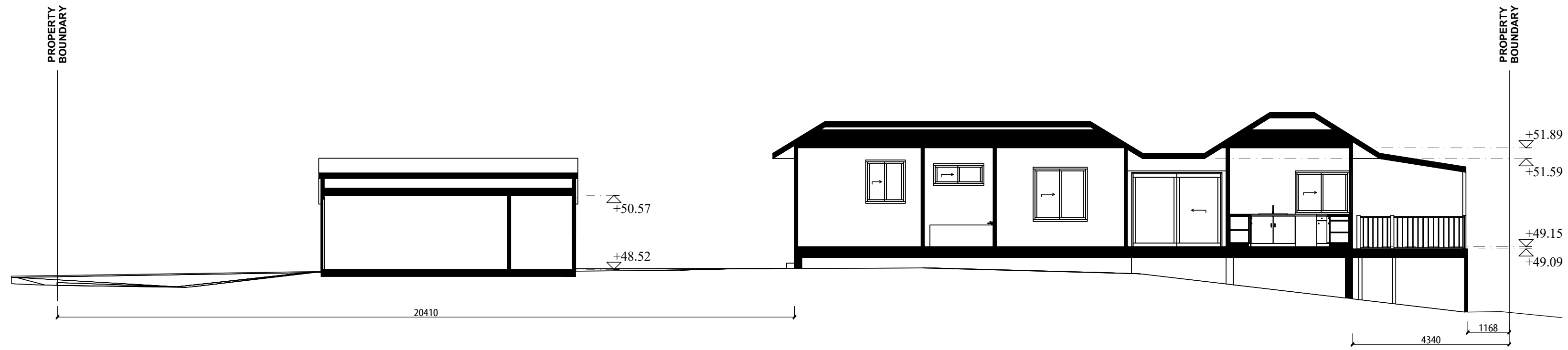
DP: **10169**
 LOT No. **28**
 SITE AREA: **486.90MSQ.**
 EXIST. GFA: **118.00MSQ.**
 PROPOSED GFA: **233.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

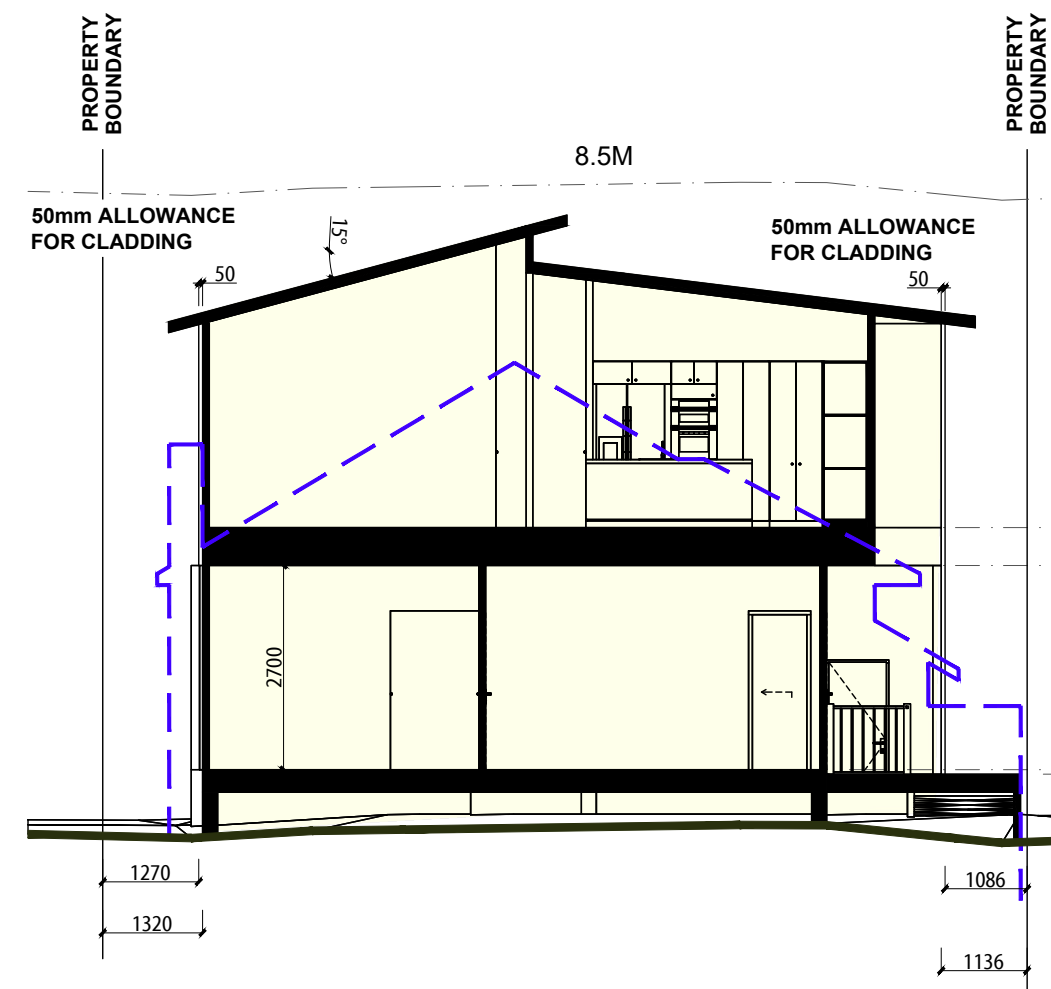
LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786



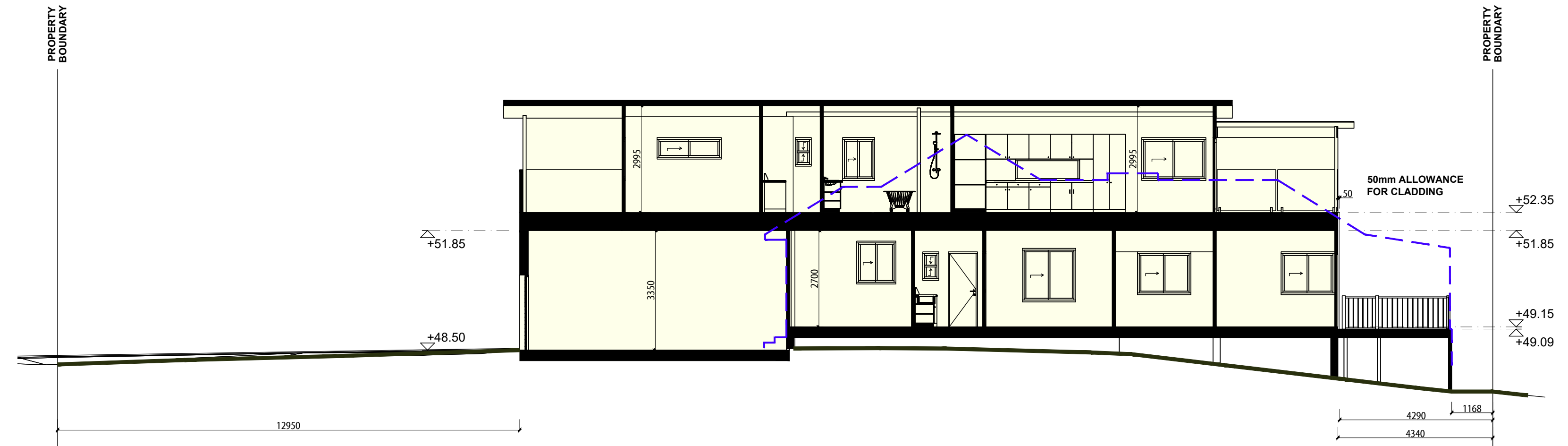
SECTION A - EXISTING
 SCALE 1:100



SECTION B - EXISTING
 SCALE 1:100

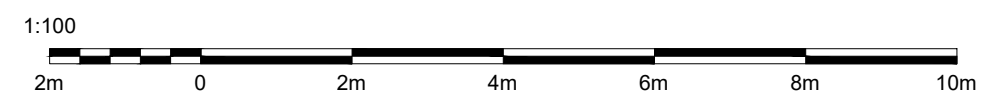


SECTION A - PROPOSED
 SCALE 1:100



SECTION B - PROPOSED
 SCALE 1:100

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 *ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 *CONNECT DIPS TO EXISTING STORMWATER SYSTEM
 *ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

LEGEND:
 EXISTING BUILDING OUTLINE

**81 CASSIA ST
 DEE WHY
 2099**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK
 General Notes



THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFORMANCE. THE DESIGN IS SUBJECT TO SURVEY CONFORMANCE AND IS INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project Additions and Alterations	Sheet
Date: 27-Sep-21	8
Scale: AS SHOWN	

DP No. **10169**
 LOT No. **28**

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

dh DRAFTING HELP
 5470 Sydney Rd
 Stagshead 2099 NSW
 www.draftinghelp.com.au
 02 87763474

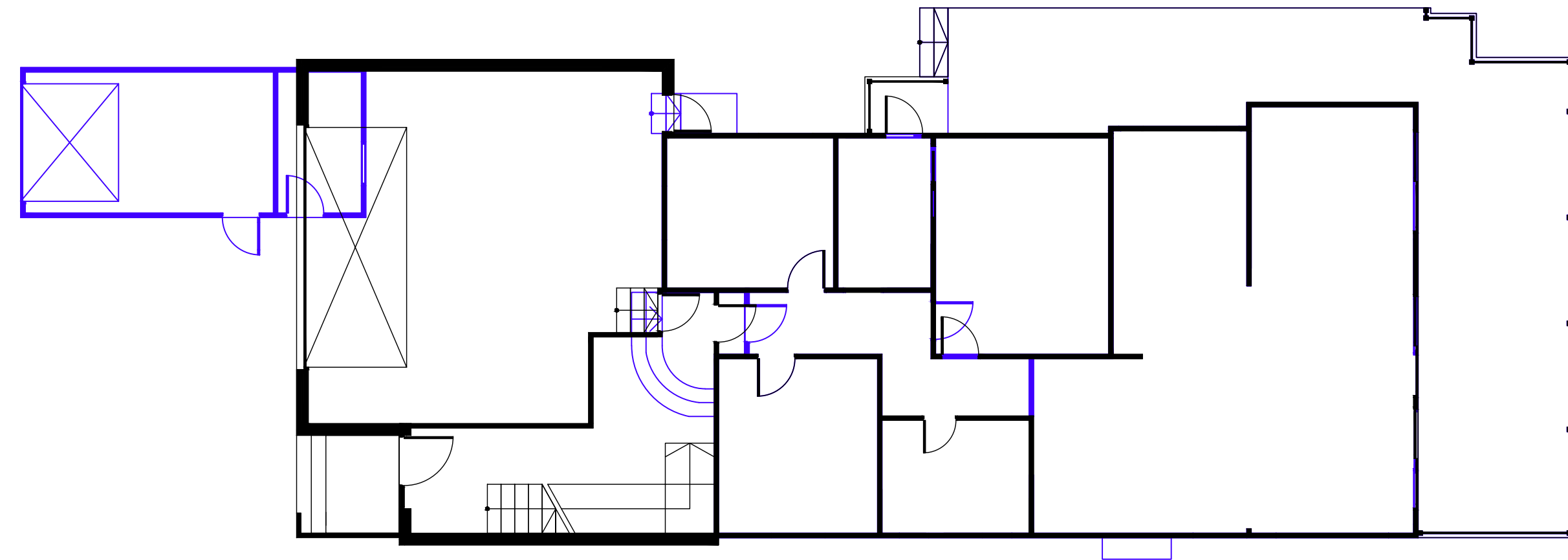
Project Name and Address
**LAURENCE SCHMIDT
 81 CASSIA ST
 DEE WHY
 2099**

DEVELOPMENT PROPOSAL

DP: 10169
 LOT No. 28
 SITE AREA: 486.90MSQ.
 EXIST. GFA: 118.00MSQ.
 PROPOSED GFA: 233.00MSQ
 MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

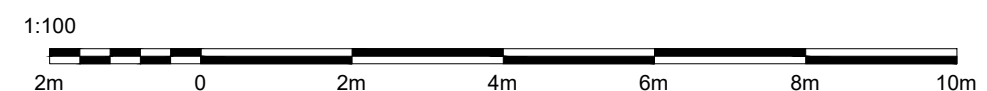
LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786



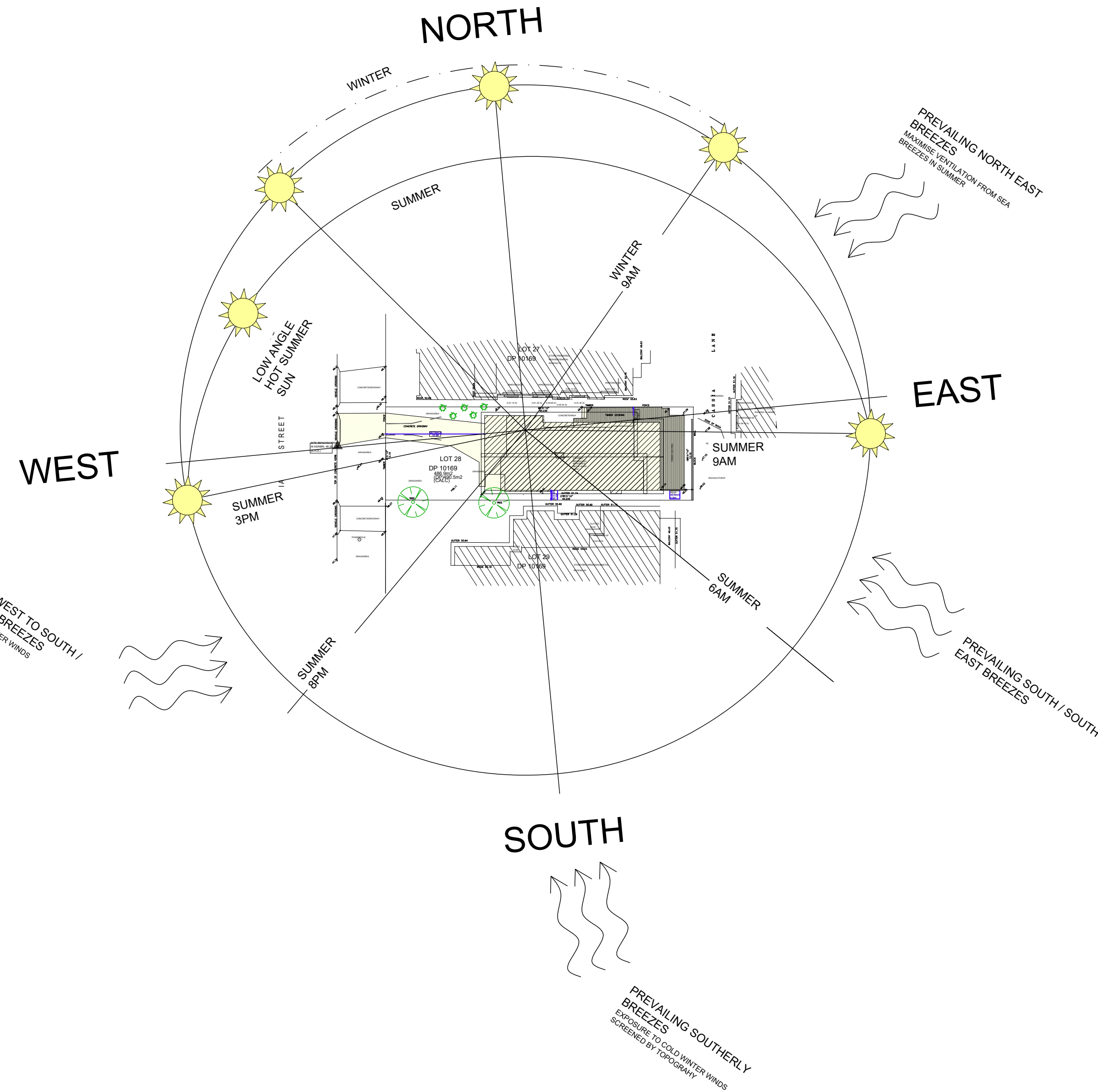
DEMO PLAN - GROUND FLOOR
 SCALE 1:100

LEGEND:
 EXISTING WORKS TO BE REMOVED

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 *ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 *CONNECT DIPS TO EXISTING STORMWATER SYSTEM
 *ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING-HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



SITE ANALYSIS PLAN
 SCALE NTS

**81 CASSIA ST
 DEE WHY
 2099**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes



THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP PTY. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CORRECTIONS. THIS DRAWING IS SUBJECT TO SURVEY CORRECTIONS AND IS INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project Additions and Alterations	Sheet
Date: 27-Sep-22	9
Scale: AS SHOWN	

DP No: 10169
 LOT No. 28

No.	Revision/Issue	Date
A	ISSUED FOR DA	Sep. 27, 22


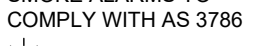
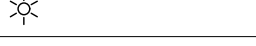
dh DRAFTING HELP
 5470 Sydney Rd
 Stagshead 2095 NSW
 www.draftinghelp.com.au
 02 87763474

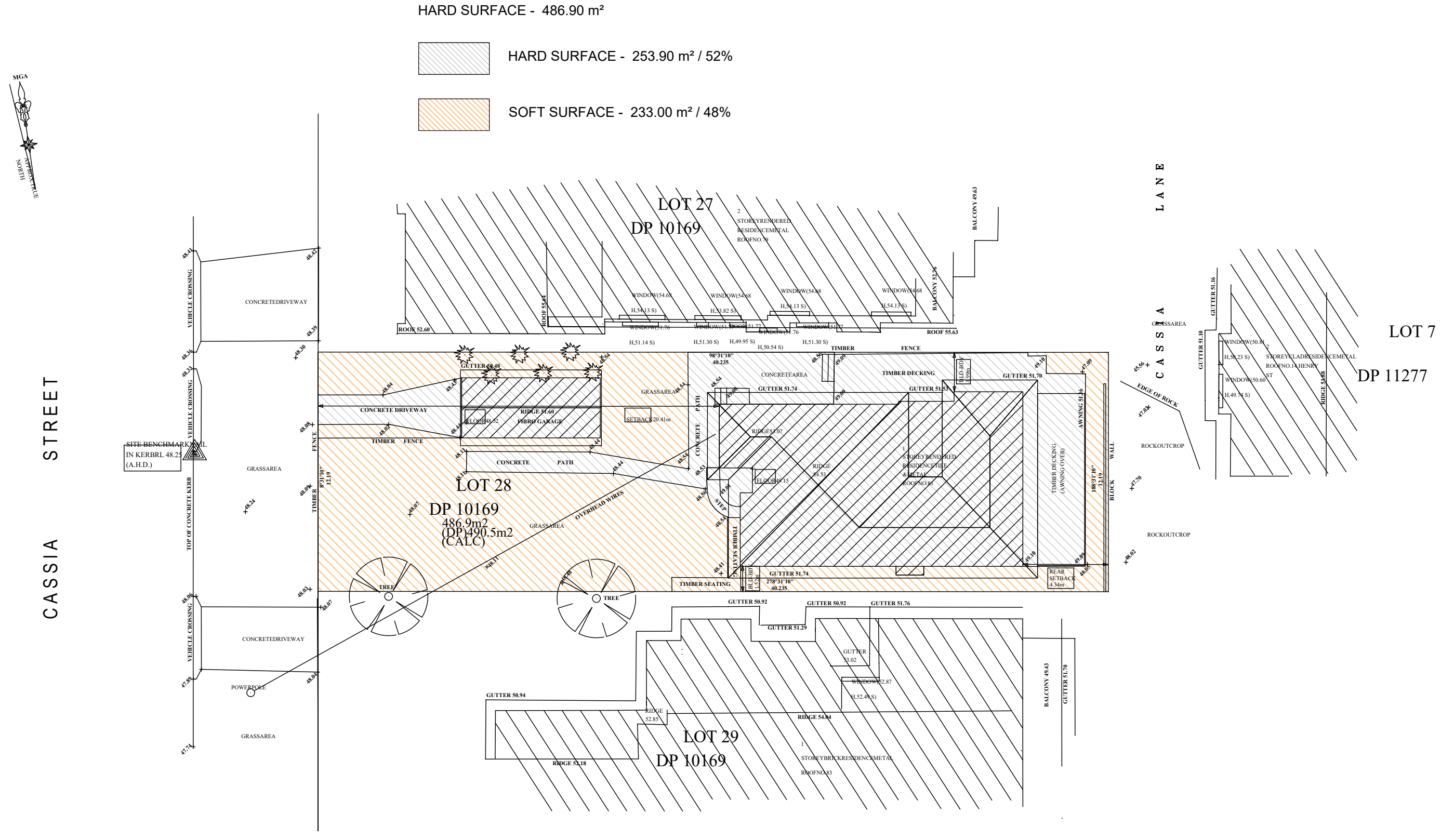
Project Name and Address
**LAURENCE SCHMIDT
 81 CASSIA ST
 DEE WHY
 2099**

DEVELOPMENT PROPOSAL

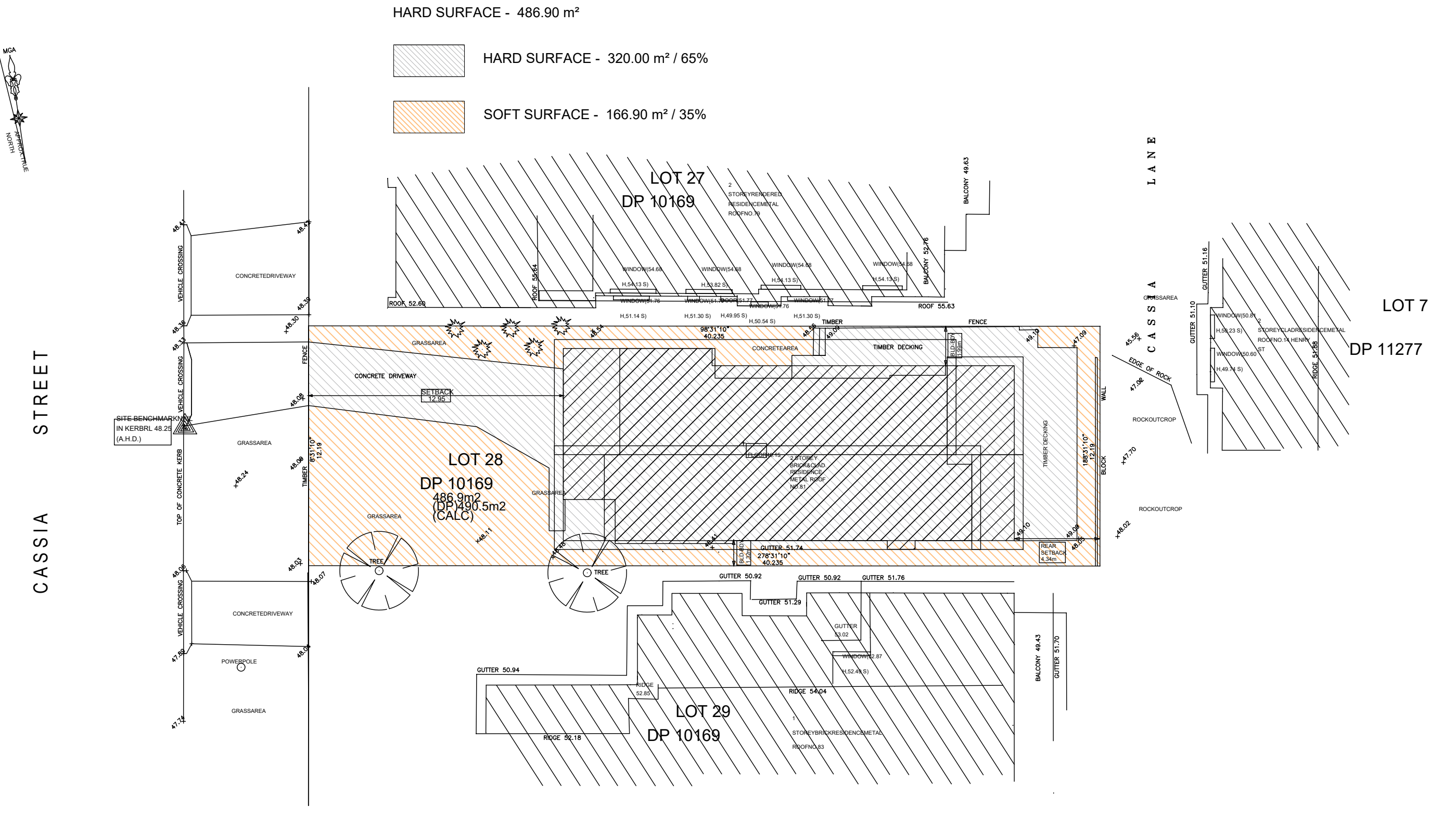
DP: **10169**
 LOT No. **28**
 SITE AREA: **486.90MSQ.**
 EXIST. GFA: **118.00MSQ.**
 PROPOSED GFA: **233.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786


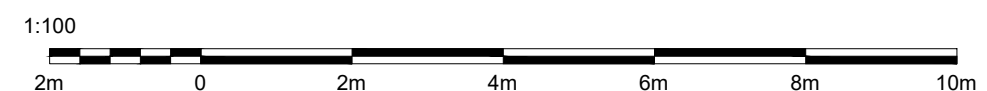


LANDUSE DIAGRAM - EXISTING
 SCALE 1:200



LANDUSE DIAGRAM - PROPOSED
 SCALE 1:200

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 *ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 *CONNECT DIPS TO EXISTING STORMWATER SYSTEM
 *ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING-HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

**81 CASSIA ST
 DEE WHY
 2099**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes

Project ADDITIONS AND ALTERATIONS
 Date: 27-Sep-21
 Scale: AS SHOWN

Sheet **10**

DP No: **10169**
 LOT No. **28**

No.	Revision/Issue	Date
A	ISSUED FOR DA	Sep. 27, 22

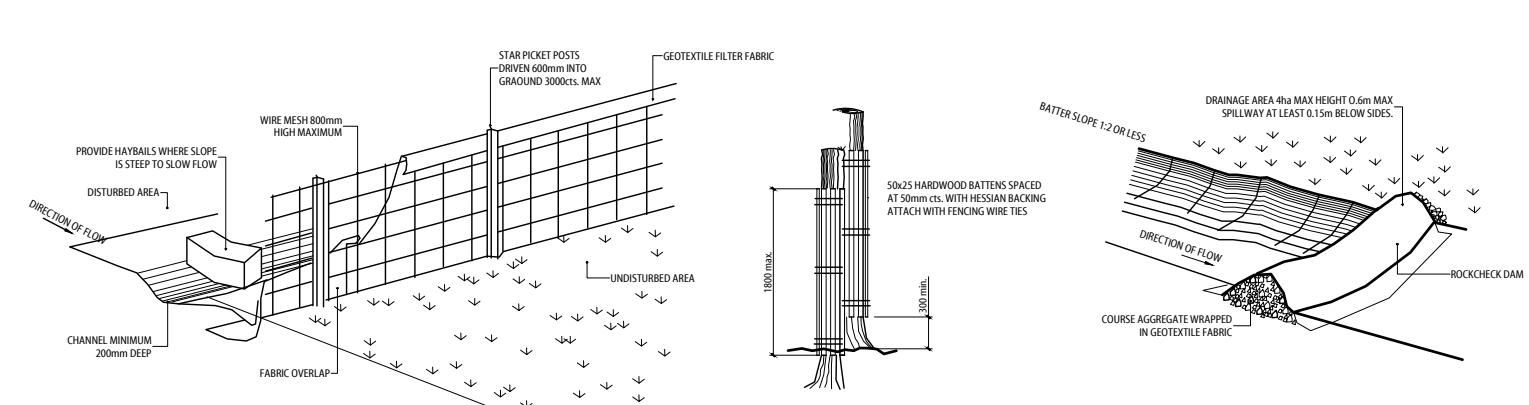
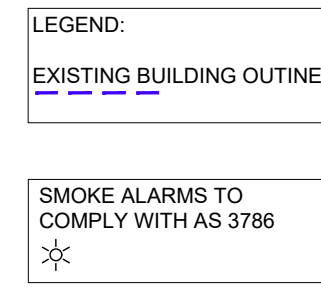
dh DRAFTING HELP
 5470 Sydney Rd
 Stagshead 2095 NSW
 www.draftinghelp.com.au
 02 87763474

Project Name and Address
LAURENCE SCHMIDT
81 CASSIA ST
DEE WHY
2099

DEVELOPMENT PROPOSAL

DP: **10169**
 LOT No. **28**
 SITE AREA: **486.90MSQ.**
 EXIST. GFA: **118.00MSQ.**
 PROPOSED GFA: **233.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

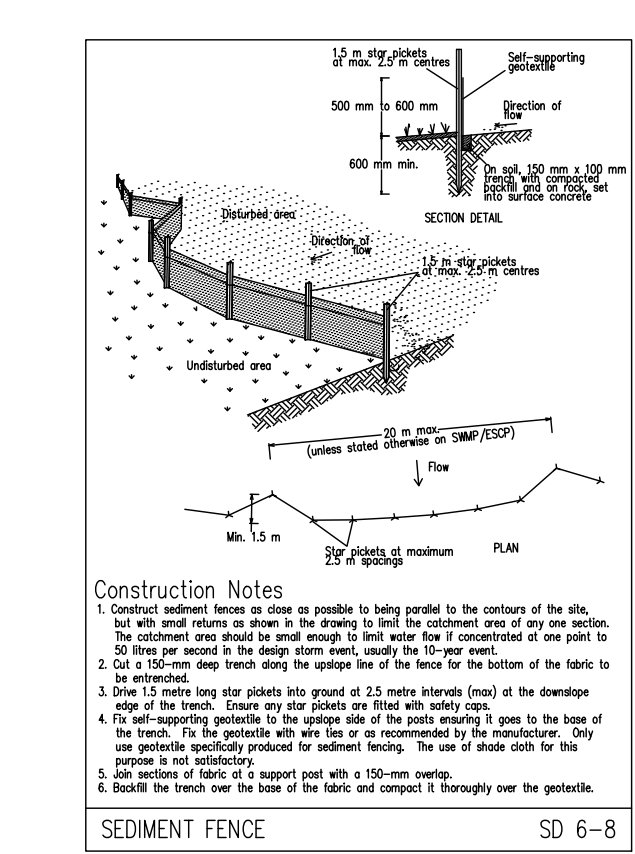
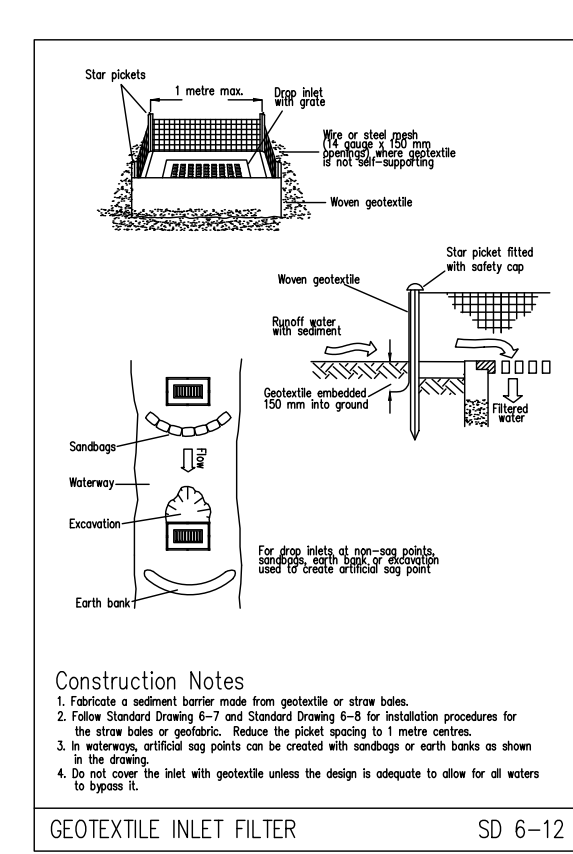
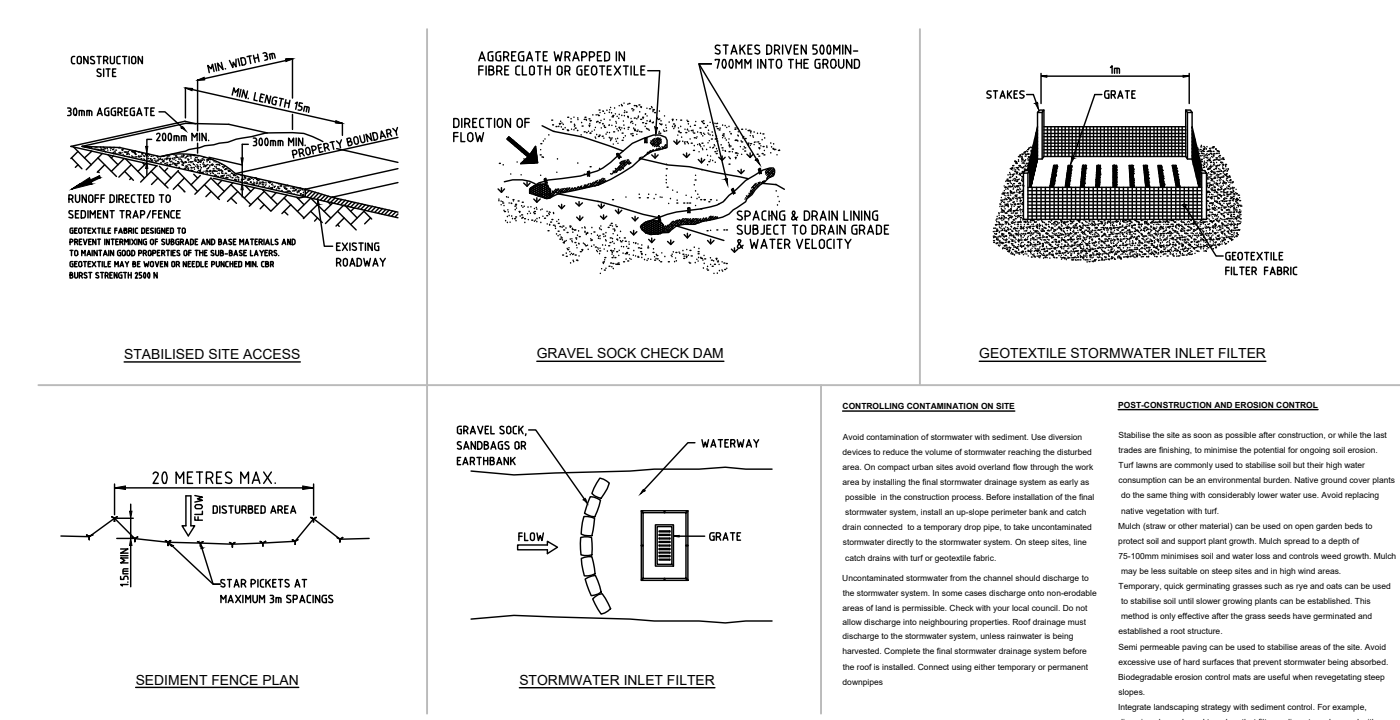


Designated Site Manager/Builder
 MUST BE APPROVED BY THE LOCAL COUNCIL AND MUST BE REGISTERED WITH THE NSW GOVERNMENT UNDER THE CONSTRUCTION MANAGEMENT ACT 2015.

Topsoil Management
 ALL TOPSOIL TO BE REMOVED AND STORED IN A DESIGNATED AREA. TOPSOIL TO BE REAPPLIED TO THE SITE AFTER CONSTRUCTION IS COMPLETE.

Building Material Stockpiling
 BUILDING MATERIALS TO BE STOCKPILED IN A DESIGNATED AREA. STOCKPILES TO BE COVERED WITH A TARP OR GEOTEXTILE.

Sediment Fences
 SEDIMENT FENCES TO BE INSTALLED AT ALL EXPOSED AREAS. FENCES TO BE MAINTAINED AND CLEANED REGULARLY.



Vehicle Movements
 ALL VEHICLES TO BE MOVED TO THE DESIGNATED AREA. VEHICLES TO BE COVERED WITH A TARP OR GEOTEXTILE.

Sediment Traps
 SEDIMENT TRAPS TO BE INSTALLED AT ALL EXPOSED AREAS. TRAPS TO BE MAINTAINED AND CLEANED REGULARLY.

Dust Control
 DUST CONTROL MEASURES TO BE TAKEN AT ALL EXPOSED AREAS. DUST TO BE SUPPRESSED USING WATER OR DUST SUPPRESSANTS.

Erosion & Sediment Controls
 EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AT ALL EXPOSED AREAS. CONTROLS TO BE MAINTAINED AND CLEANED REGULARLY.

Diversion Channels
 DIVERSION CHANNELS TO BE INSTALLED AT ALL EXPOSED AREAS. CHANNELS TO BE MAINTAINED AND CLEANED REGULARLY.

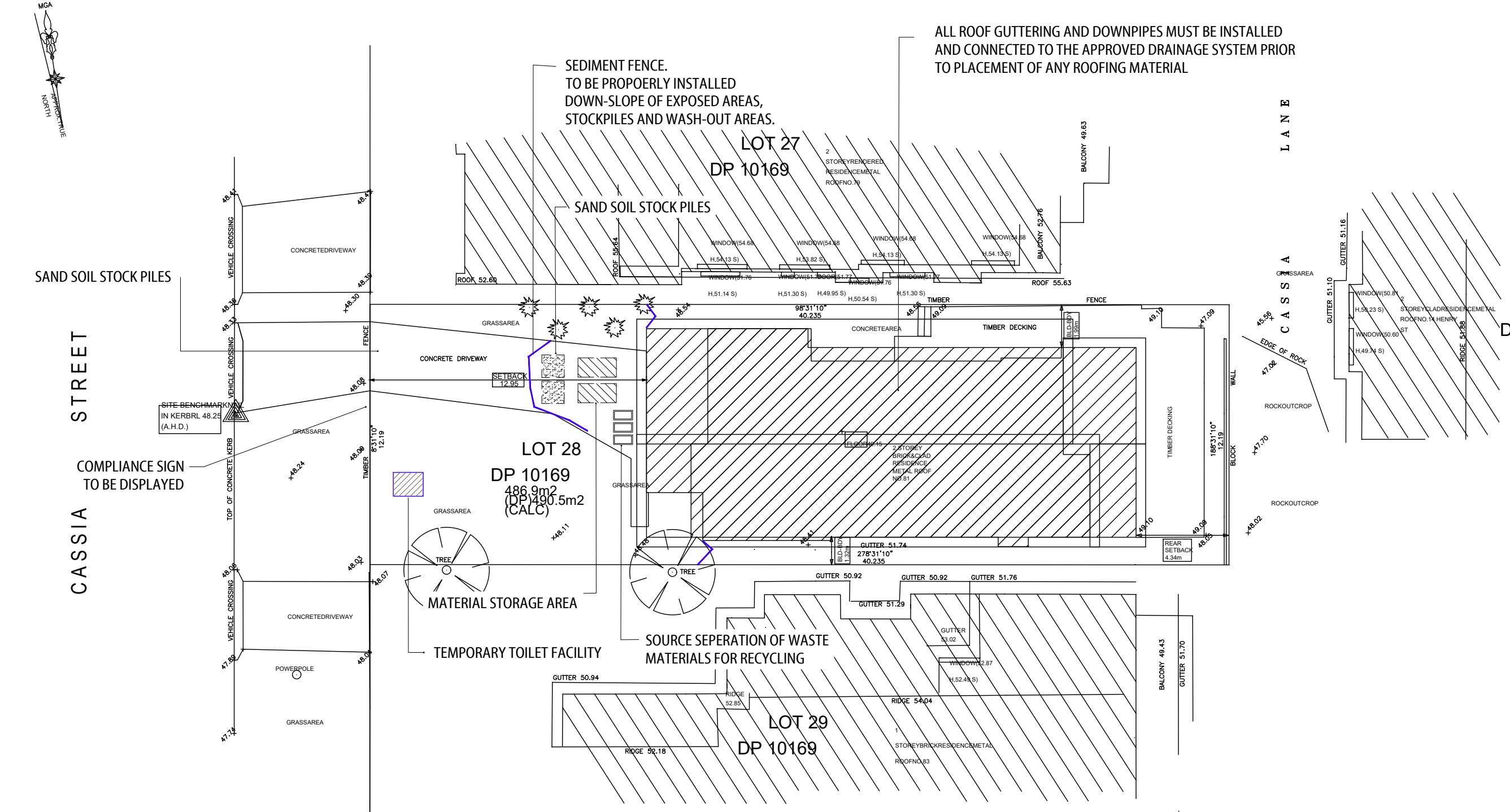
SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS

Construction Notes

1. Establish a sediment barrier made from geotextile or straw bales.
2. Follow Standard Drawing 6-7 and Standard Drawing 6-8 for installation procedures for the straw bales or geotextile. Replace the silt trap every 12 months.
3. In winter, silt traps can be created with sandbags or earth bales on snow.
4. Do not allow the silt trap to be used as a support for any other structure.
5. Do not allow the silt trap to be used as a support for any other structure.

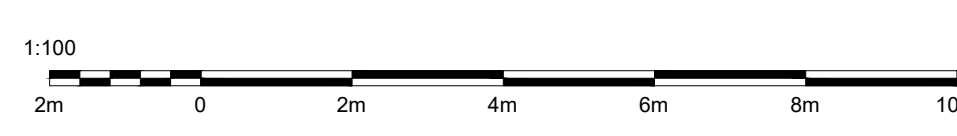
Construction Notes

1. Construct sediment fence as close as possible to the contour of the site, but with small ripples or waves in the design to limit the catchment area of any one section.
2. The catchment area should be small enough to limit water flow concentration at any point to 50 litres per second in the design storm event, usually the 10-year event.
3. Use a 100mm mesh mesh using the spacing 'a' of the fence for the section of the fence to be maintained.
4. Use a 100mm mesh mesh using the spacing 'a' of the fence for the section of the fence to be maintained.



GENERAL NOTES

1. BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS.
2. ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
3. CONNECT DIPS TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS.



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYERS OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

MATERIALS AND FINISHED



1. Exterior Paint for timber - white
2. Clear acrylic roof sheeting
3. Exterior Paint for timber - white
4. Fibre cement cladding - shades of white
5. Existing timber fence - unchanged
6. Face brick - shades of white
7. Metal sheet roof - Dover White
8. Exterior Paint - shades of white
9. Colour bond door - Dover white
10. Face brick - off white
11. Exterior Paint - grey
12. Fibre cement cladding - shades of white
13. Fibre cement cladding - shades of white

MATERIALS AND FINISHES

1. Exterior Paint for timber - white
2. Clear acrylic roof sheeting
3. Exterior Paint for timber - white
4. Fibre cement cladding - shades of white
5. Existing timber fence - unchanged
6. Face brick - shades of white
7. Metal sheet roof - Dover White
8. Exterior Paint - shades of white
9. Colour bond door - Dover white
10. Face brick - off white
11. Exterior Paint - grey
12. Fibre cement cladding - shades of white
13. Fibre cement cladding - shades of white

81 CASSIA ST
DEE WHY
2099

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes


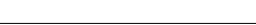

11

Project Name and Address
LAURENCE SCHMIDT
81 CASSIA ST
DEE WHY
2099

DEVELOPMENT PROPOSAL

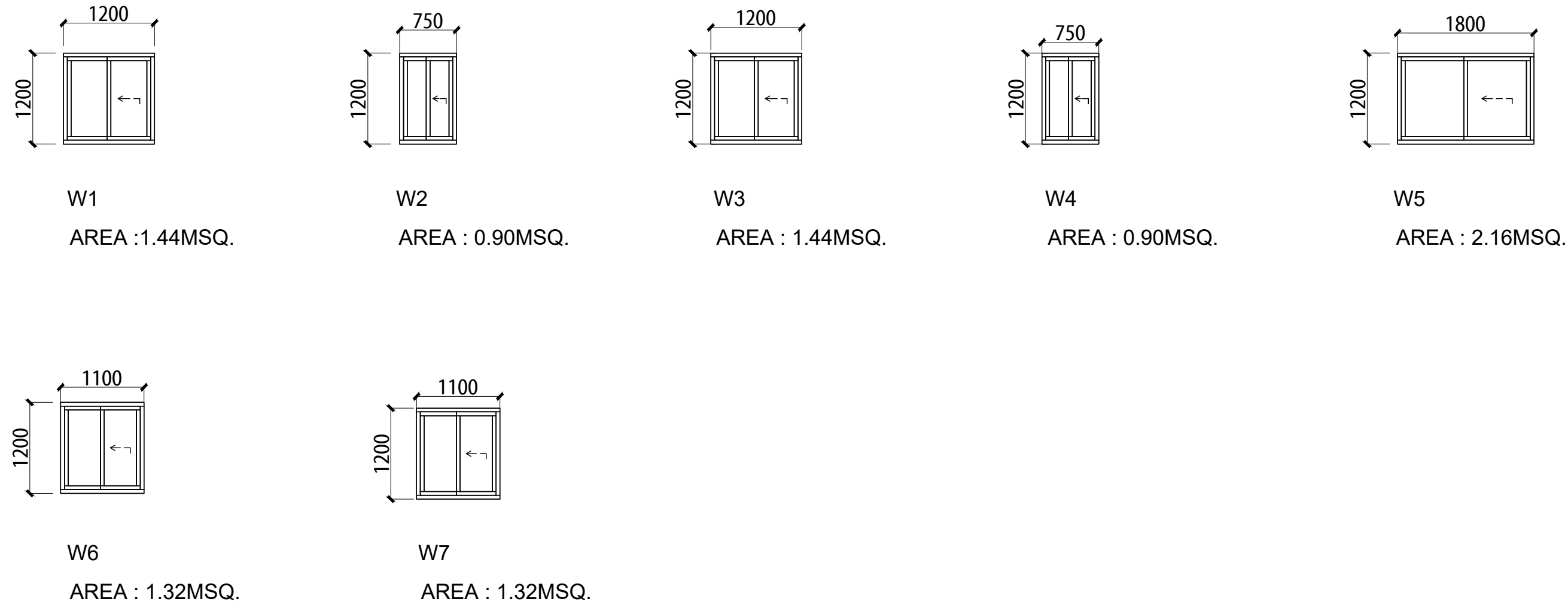
DP: **10169**
 LOT No. **28**
 SITE AREA: **486.90MSQ.**
 EXIST. GFA: **118.00MSQ.**
 PROPOSED GFA: **233.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

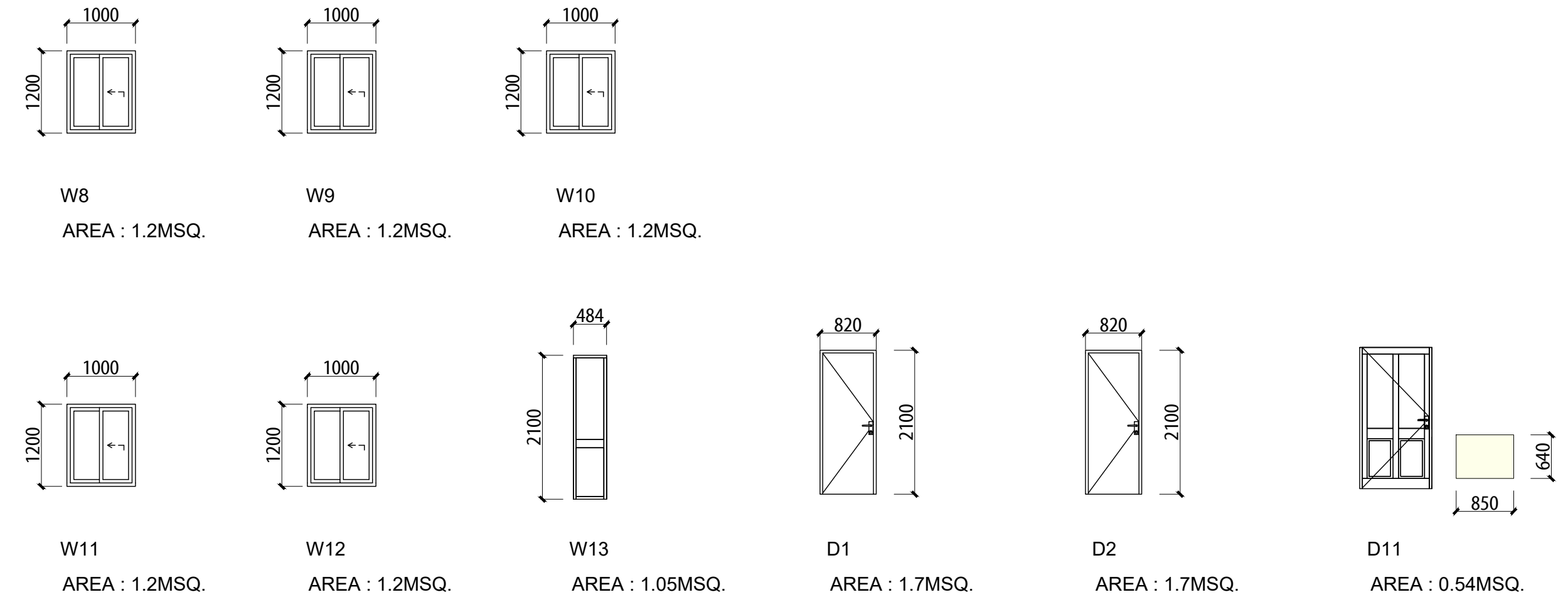
LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK
 SMOKE ALARMS TO COMPLY WITH AS 3786


NEW WINDOWS AND DOORS FOR BASIX

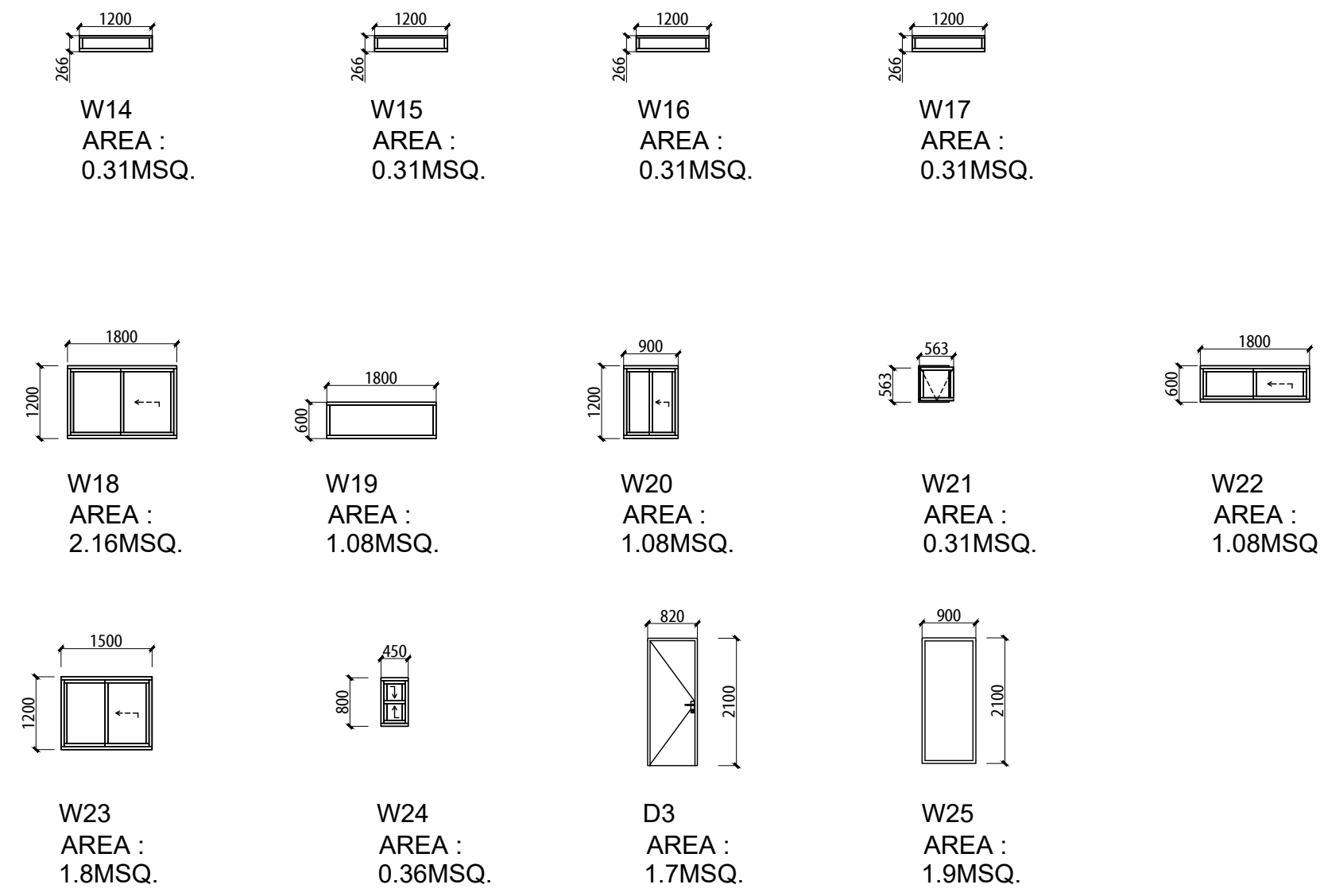
SOUTH ELEVATION



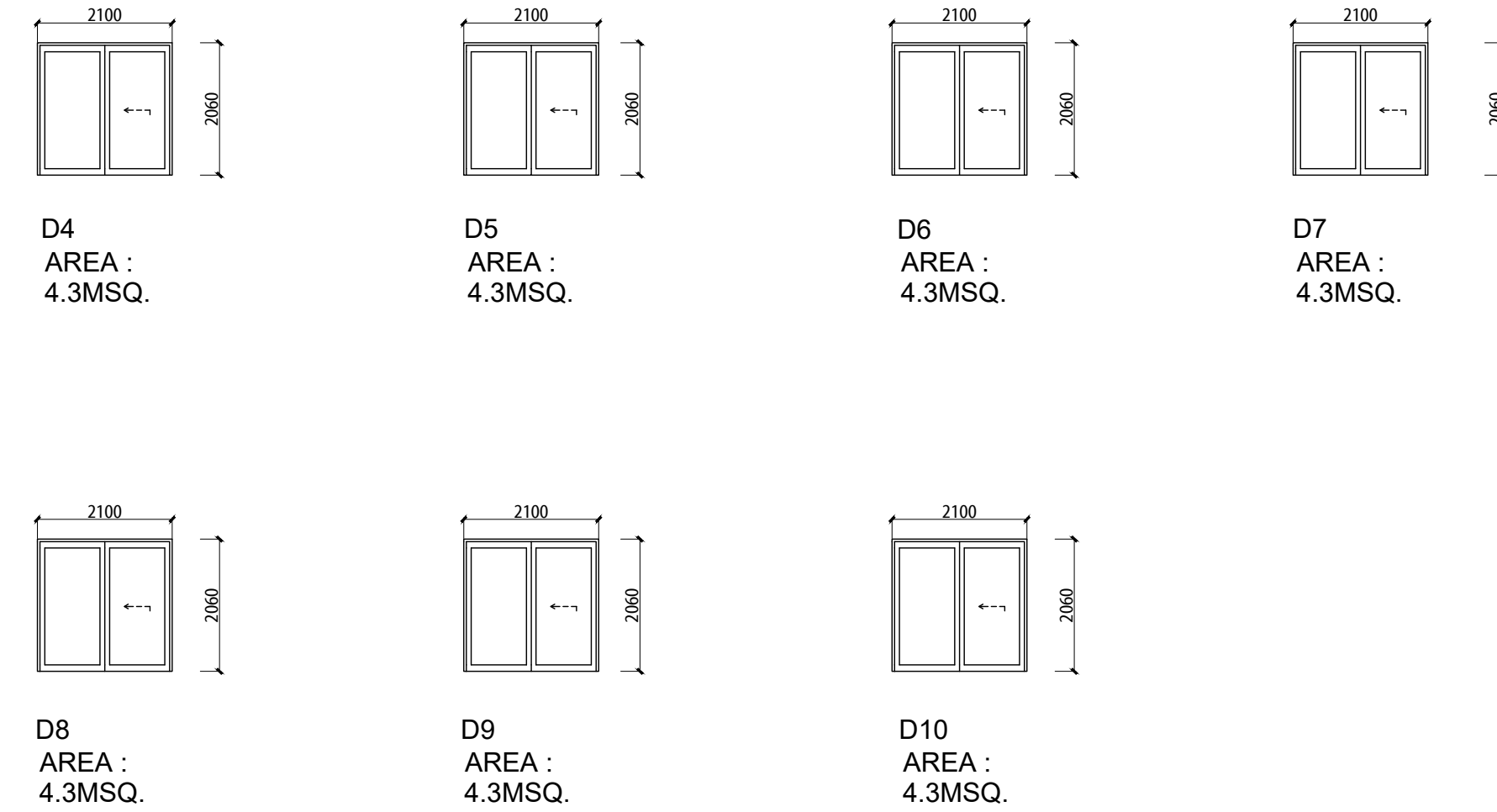
WEST ELEVATION



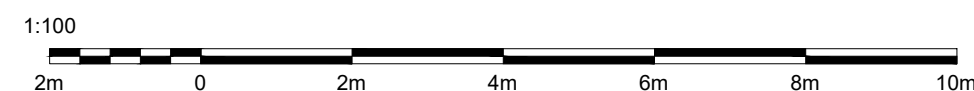
NORTH ELEVATION



EAST ELEVATION





GENERAL NOTES
 #BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 #ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 #CONNECT DIPS TO EXISTING STORMWATER SYSTEM
 #ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING-HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

81 CASSIA ST
DEE WHY
2099

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes



THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, REPRODUCED OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY COMPENSATION. THE DESIGN IS SUBJECT TO COUNCIL APPROVAL AND IS INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS
 Date: 27-Sep-21
 Scale: AS SHOWN
 Sheet: **12**

DP No: **10169**
 LOT No: **28**

A ISSUED FOR DA Sep. 27, 22
 No. Revision/Issue Date

dh DRAFTING HELP
 5470 Sydney Rd
 Stagshead 2099 NSW
 www.draftinghelp.com.au
 02 87763474

Project Name and Address
LAURENCE SCHMIDT
81 CASSIA ST
DEE WHY
2099

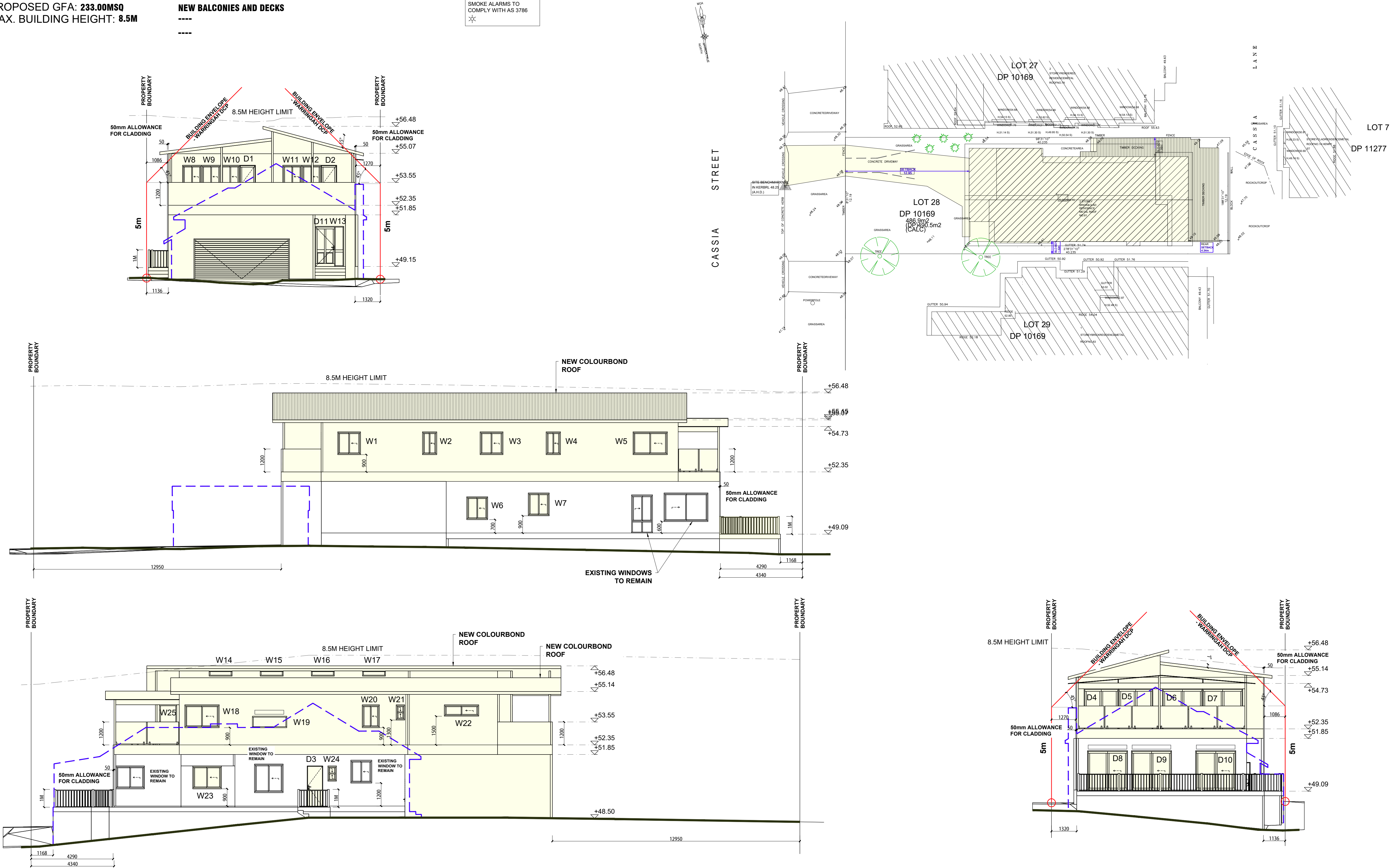
DEVELOPMENT PROPOSAL

DP: 10169
 LOT No. 28
 SITE AREA: 486.90MSQ.
 EXIST. GFA: 118.00MSQ.
 PROPOSED GFA: 233.00MSQ
 MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786

NOTIFICATION PLAN



**81 CASSIA ST
 DEE WHY
 2099**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes



Project Additions and Alterations
 Date: 27-Sep-21
 Scale: AS SHOWN

13

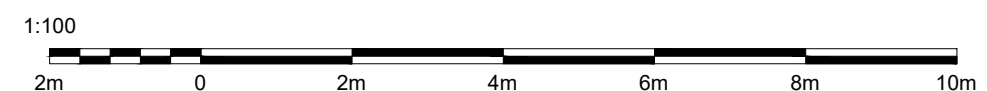
DP No: 10169
 LOT No: 28

A ISSUED FOR DA Sep. 27, 22
 No. Revision/Issue Date

dh DRAFTING HELP
 54/70 Sydney Rd
 Stagshead 2099 NSW
 www.draftinghelp.com.au
 02 87763474

Project Name and Address
**LAURENCE SCHMIDT
 81 CASSIA ST
 DEE WHY
 2099**

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 *ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 *CONNECT DIPS TO EXISTING STORMWATER SYSTEM
 *ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYERS OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVIVORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING-HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

DEVELOPMENT PROPOSAL

DP: **10169**
 LOT No. **28**
 SITE AREA: **486.90MSQ.**
 EXIST. GFA: **118.00MSQ.**
 PROPOSED GFA: **233.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW SECOND STOREY ADDITION
ALTERATIONS AND ADDITIONS TO GROUND FLOOR
NEW GARAGE
NEW BALCONIES AND DECKS

LEGEND:
 EXISTING BUILDING OUTLINE
 SMOKE ALARMS TO COMPLY WITH AS 3786

NOTIFICATION PLAN

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au
Alterations and Additions

Certificate number: A1771469
 This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/06/2022 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
 Date of issue: Monday, 04 November 2024
 To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	6424, 81 Cassia St
Street address	81 CASSIA Street DEE WHY 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan D110169
Lot number	28
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
NIA	N/A
Certificate Prepared by	
Name / Company Name	Max Brightwell
ABN (if applicable)	95897024354

Fixtures and systems	Show on DA Plans	Show on CC/CCDC Plans & specs	Certifier Check
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Construction	Show on DA Plans	Show on CC/CCDC Plans & specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that additional insulation is not required where the area of new construction is less than 2m ² , by insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction			
Additional insulation required (R-value)	Other specifications		
concrete slab on ground floor	nil	N/A	
floor above existing dwelling or building	nil	N/A	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)		
internal wall: covered with garage plasterboard (R0.35)	nil		
raked ceiling: pitched/skillion roof: framed	ceiling: R1.70 (up), roof: folkstarking	light (solar absorbance < 0.475)	

Glazing requirements	Show on DA Plans	Show on CC/CCDC Plans & specs	Certifier Check
Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshading specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or pyrolytic low-e glass, or clearer/gap/leak glazing, or low-e/gap/leak glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 80 mm. Overshading buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

Glazing requirements	Show on DA Plans	Show on CC/CCDC Plans & specs	Certifier Check			
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	S	1.44	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	S	0.9	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	S	1.44	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	S	0.9	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	S	2.16	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CCDC Plans & specs	Certifier Check			
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W6	S	1.32	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	S	1.32	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	W	1.2	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	W	1.2	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	W	1.2	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CCDC Plans & specs	Certifier Check			
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W11	W	1.2	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	W	1.2	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13	W	1.05	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W14	N	0.31	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W15	N	0.31	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

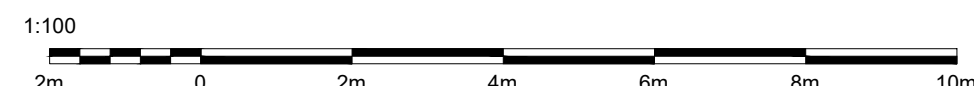
Glazing requirements	Show on DA Plans	Show on CC/CCDC Plans & specs	Certifier Check			
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W16	N	0.31	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W17	N	0.31	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W18	N	2.16	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W19	N	1.08	1.5	4	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W20	N	1.08	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Glazing requirements	Show on DA Plans	Show on CC/CCDC Plans & specs	Certifier Check			
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W21	N	0.36	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W22	N	1.08	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W23	N	1.8	4	4	none	aluminium, single Low-Tint low-e, (U-value: 5.6, SHGC: 0.36)
W24	N	0.36	4	4	none	aluminium, single Low-Tint low-e, (U-value: 5.6, SHGC: 0.36)
D1	W	1.7	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CCDC Plans & specs	Certifier Check			
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
D2	W	1.7	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D4	E	4.3	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D5	E	4.3	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D6	E	4.3	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D7	E	4.3	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CCDC Plans & specs	Certifier Check			
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
D8	E	4.3	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D9	E	4.3	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D10	E	4.3	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W25	N	1.9	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D11	W	0.54	0	0	eave/ verandah/ pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

GENERAL NOTES
 *BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
 *ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
 *CONNECT DPS TO EXISTING STORMWATER SYSTEM
 *ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYERS OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTING HELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

**81 CASSIA ST
 DEE WHY
 2099**

ARCHITECTURAL DRAFTING
 3D VISUALISATION
 DEVELOPMENT APPLICATION
 ASSISTANCE
 COUNCIL COMPLIANT PLANS

LEGEND:
 EXISTING BUILDING OUTLINE
 PROPOSED WORK

General Notes



THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND ANGLES INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFORMANCE. THE DESIGN IS SUBJECT TO APPROVAL BY APPLICANT AND IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Project Additions and Alterations
 Date: 27-Sep-21
 Scale: AS SHOWN

Sheet **14**

DP No. **10169**

LOT No. **28**

A ISSUED FOR DA Sep. 27, 22
 No. Revision/Issue Date

dh DRAFTING HELP

5470 Sydney Rd
 Stagshead 2099 NSW
 www.draftinghelp.com.au
 02 87763474

Project Name and Address
**LAURENCE SCHMIDT
 81 CASSIA ST
 DEE WHY
 2099**