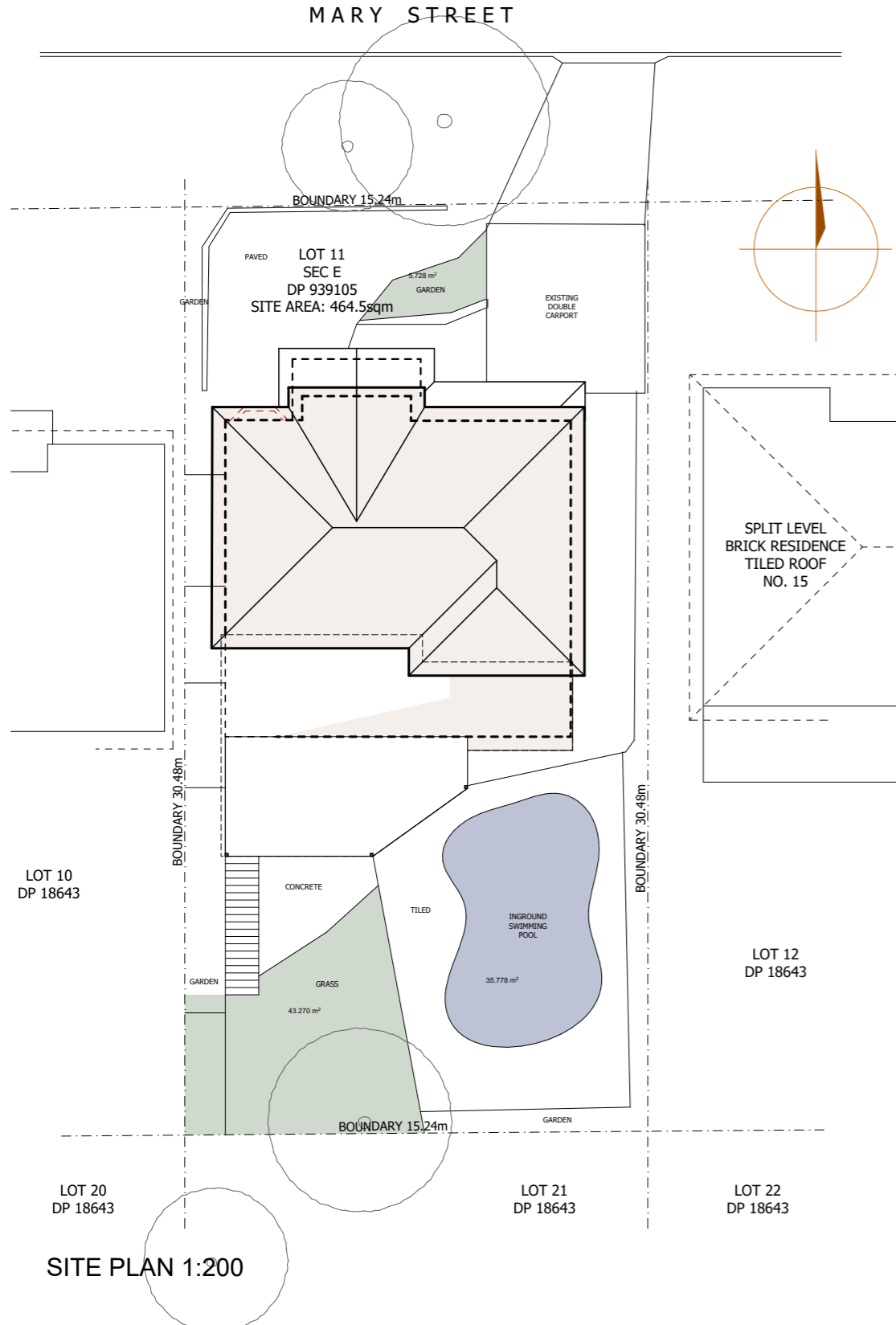




PROPOSED UPSTAIRS ADDITION & ON-GROUND  
REMODEL AT:  
**13 MARY STREET, BEACON HILL**

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PAGE 2 -	SITE PLAN & SITE CALCULATIONS
PAGE 3 -	GROUND FLOOR PLAN
PAGE 4 -	FIRST FLOOR PLAN
PAGE 5 -	BASEMENT FLOOR PLAN
PAGE 6 -	SECTION A-A, NORTH & SOUTH ELEVATION
PAGE 7 -	EAST, WEST ELEVATION
PAGE 8 -	BASIX CERTIFICATE

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**OPEN SPACE CALCULATIONS**

SITE AREA	464.5sqm
EXISTING FLOOR AREA	151.2sqm
PROPOSED UPSTAIRS FLOOR AREA	70.0sqm
PROPOSED TOTAL FLOOR AREA (INCL BASEMENT)	245.2sqm
EXISTING LANDSCAPING	84.8sqm 18%
PROPOSED LANDSCAPING	84.8sqm 18%

**NO CHANGE TO EXISTING LANDSCAPED AREA.  
NO NEW IMPERVIOUS AREA**

**COLOUR SCHEME & MATERIAL FINISH SCHEDULE**

ROOF - COLORBOND METAL ROOF - BASALT  
 WALLS - FIBRE CEMENT WEATHERBOARDS PAINTED 'ANOTEC SILVER GREY' TO MATCH EXISTING  
 WINDOWS - ALUMINIUM WINDOWS 'WHITE'  
 GUTTERS - 'BASALT'  
 FASCIA - WHITE  
 POSTS & BEAMS - PAINTED WHITE  
 GLASS BALUSTRADING TO DECKS

**WINDOW SCHEDULE**

W1	AFW 2100 x 1100	
W2	ASW 1200 x 2100	3 = PANELS
W3	AAW 1400 x 600	TRANSLUCENT
W4	AAW 1400 x 600	TRANSLUCENT
W5	ALW 1800 x 1000	
D1	ASD 2100 x 4200	F.O.O.F
W6	ASW 1000 x 1500	
W7	ASW 1200 x 2100	3 = PANELS
W8	FIT IN EXISTING OPENING TRANSLUCENT GLASS	
W9	ASW 1100 x 2400	3 = PANELS
D2	ASD 2100 x 6200	

**BASIX REQUIREMENTS**

SEE PAGE 7

**FRAMING NOTES.**

ROOF PITCH	GABLES & LOWER ROOF 21 DEGREES UPSTAIRS HIPPED ROOF 12 DEGREES AWNING 27 DEGREES
CEILING HEIGHT	2500mm
EAVE OVERHANGS	450mm EAVES TO GABLE REDUCED TO LINE GUTTER & FASCIA UP.
FRAME AND TRUSS CENTRES	TO ENGINEERS SPECIFICATION

**LEGEND**

B.O	WORK TO BE DONE BY OTHERS
O.T.A	OWNER TO ADVISE BUILDER
O.B.&H	OPEN BALUSTRADING AND HANDRAIL
90P	90 x 90 TIMBER POST
90PP	90 x 90 TIMBER PRIMED POST
SHW	SHOWER ENCLOSURE
V	VANITY UNIT
WC	TOILET SUITE (WATER CLOSET)
BIC	BUILT IN CUPBOARD
ST	STORE
C.O.S	TO BE CHECKED ON SITE

**STORMWATER DRAINAGE**

CONNECT TO EXISTING STORMWATER SYSTEM.  
**GENERAL NOTES**

ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT STANDARDS BY THE STANDARDS ASSOCIATION OF AUSTRALIA.

ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE. ANY DISCREPANCIES ARE TO BE REPORTED TO BETTSWHITE PRIOR TO CONSTRUCTION

BUILDER TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN AND ENGINEERING PLANS ARE STRICTLY COMPLIED WITH

**DEMOLITION.**  
 ALL DEMOLITION TO BE IN ACCORDANCE WITH AS2601 DEMOLITION OF STRUCTURES. MUST BE CARRIED OUT BY A REGISTERED DEMOLITION CONTRACTOR

**TIMBER CONSTRUCTION.**  
 ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1684 - 'TIMBER FRAMING CODE'. EXTERNAL WALLS TO BE WRAPPED IN A BREATHABLE MEMBRANE

**FIRE PROTECTION.**  
 FIRE PROTECTION OF SEPARATING WALLS TO COMPLY WITH NCC PART 3.7.3.2. FRL 60/60/60 WITHIN 900mm OF BOUNDARY

**BRICKWORK CONSTRUCTION.**  
 ALL BRICKWORK TO COMPLY WITH AS1640 & AS3700

**BATHROOMS & WET AREAS**  
 ALL WET AREAS ARE TO BE ADEQUATELY WATERPROOFED AND COMPLY WITH AS3740 & PART 3.8.1 OF THE NCC

**GLAZING**  
 ALL GLAZING TO COMPLY WITH AS1288 & AS2047 WITH CHILD SAFE LOCKS/SCREENS TO COMPLY WITH NCC PART 3.9.2

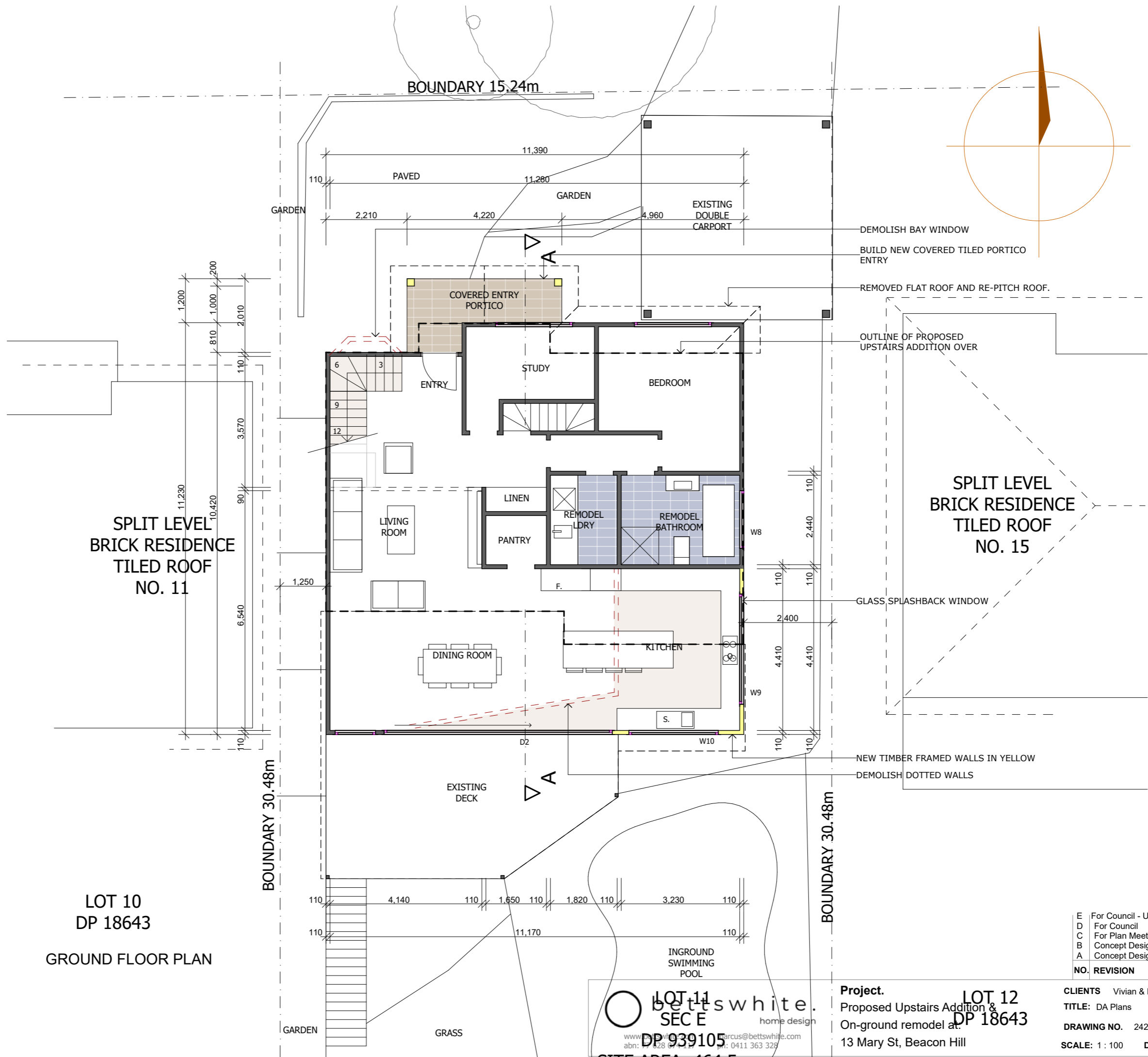
**STORMWATER**  
 CONNECT ALL STORMWATER TO EXISTING STORMWATER SYSTEM WHICH DRAINS TO THE STREET. IN ACCORDANCE WITH AS3500 & PART 3.1.2 DRAINAGE OF THE NCC

**SMOKE ALARMS**  
 INTERCONNECTED/HARDWIRED SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE NCC CLAUSE 3.7.2.2

**STAIR BALUSTRADING**  
 STAIRS ARE TO COMPLY WITH NCC PART 3.9.1 & 3.9.2

**TERMITE PROTECTION**  
 TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660

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SPLIT LEVEL  
BRICK RESIDENCE  
TILED ROOF  
NO. 11

SPLIT LEVEL  
BRICK RESIDENCE  
TILED ROOF  
NO. 15

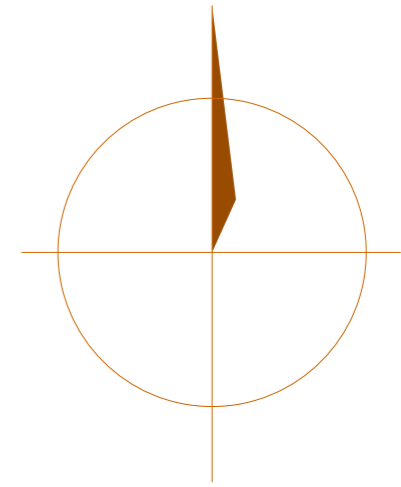
LOT 10  
DP 18643  
GROUND FLOOR PLAN

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home design  
www.bettswhite.com.au  
abn: 62 804 111 111 ph: 0411 363 325

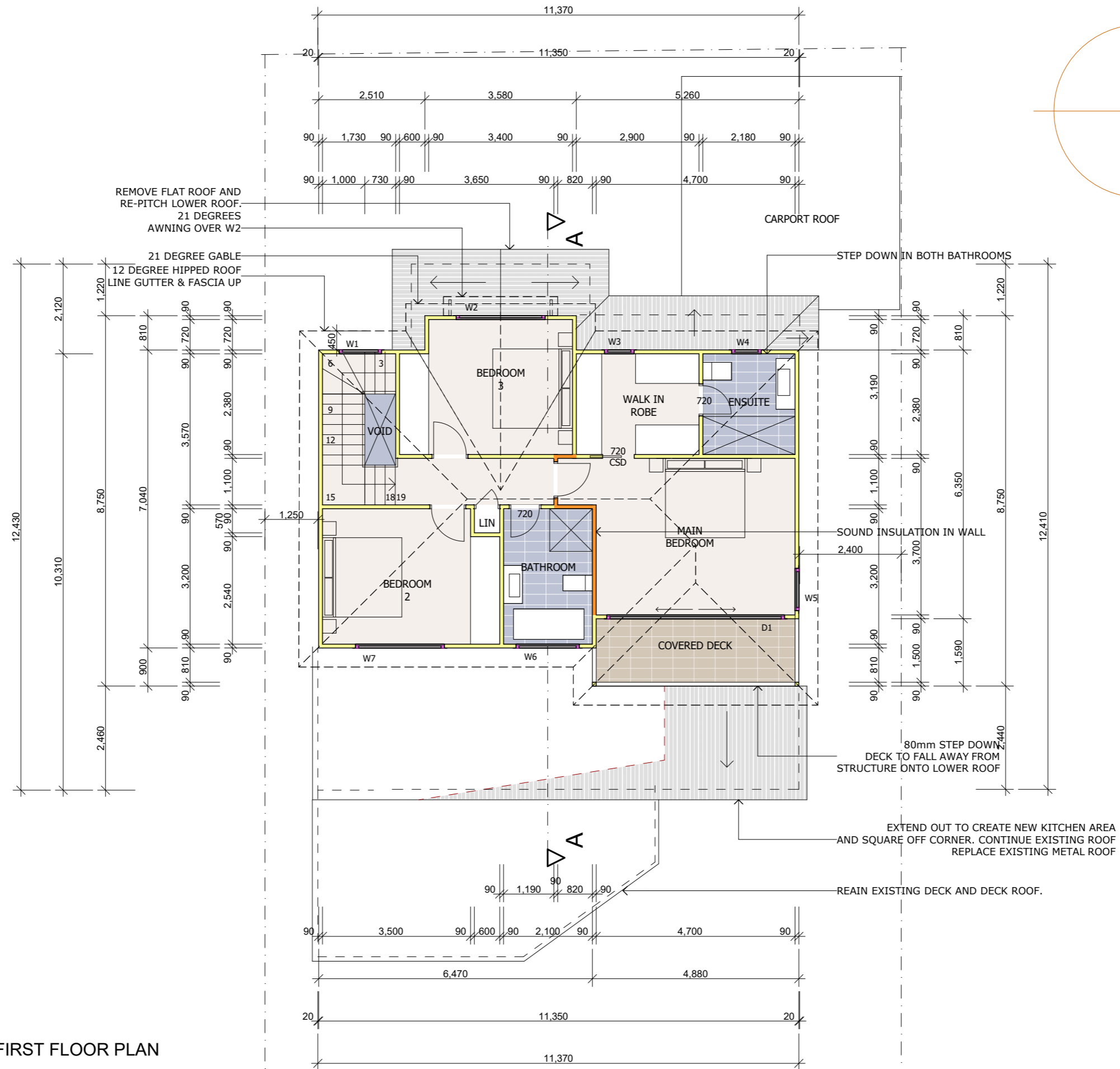
**Project.** LOT 12  
Proposed Upstairs Addition & DP 18643  
On-ground remodel at  
13 Mary St, Beacon Hill

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**DRAWING NO.** 2424 DA 1 **ISSUE** E  
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FIRST FLOOR PLAN

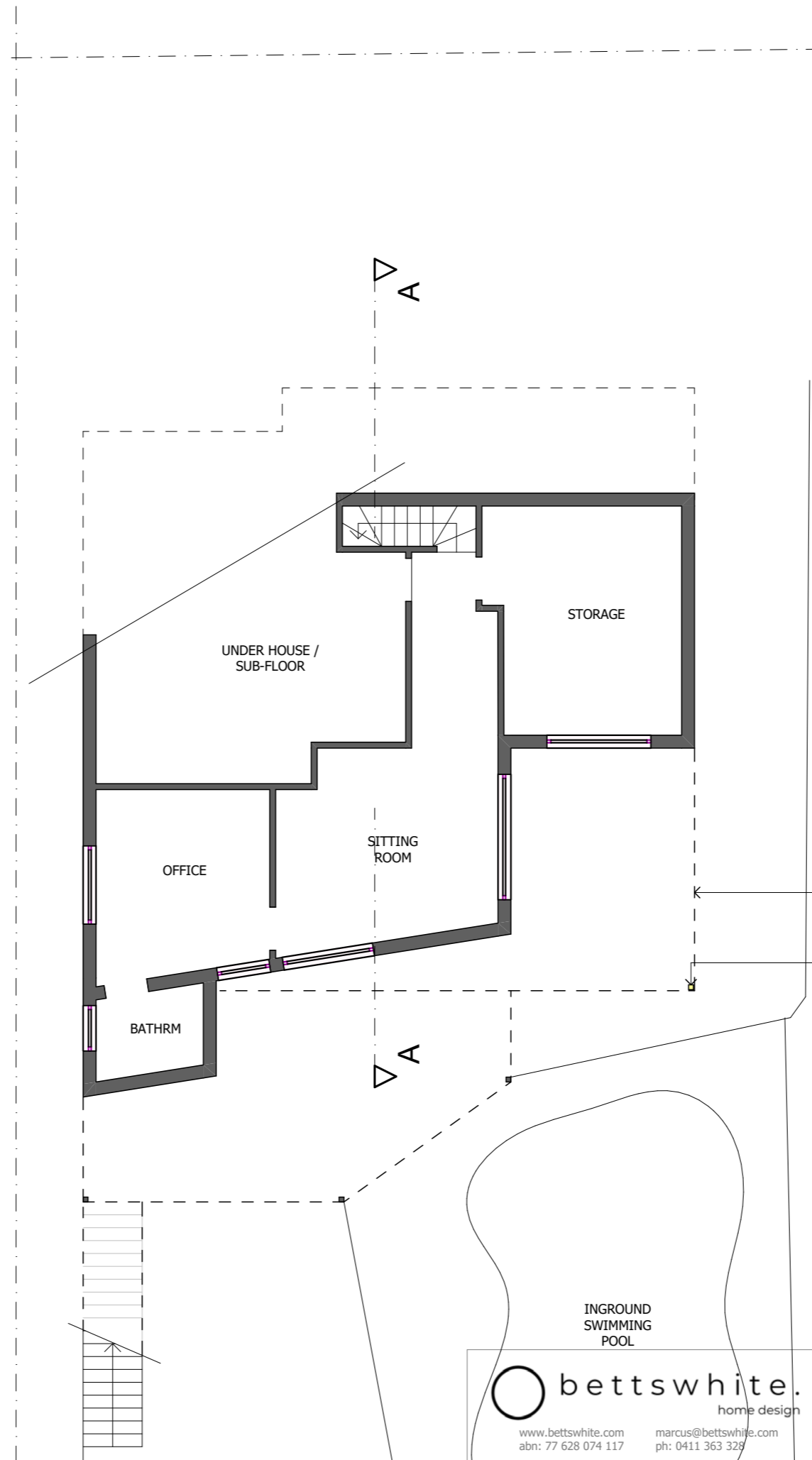
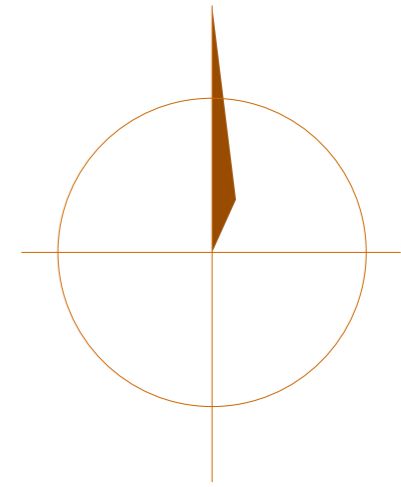


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marcus@bettswhite.com  
ph: 0411 363 328

**Project.**  
Proposed Upstairs Addition &  
On-ground remodel at:  
13 Mary St, Beacon Hill

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OUTLINE OF NEW KITCHEN AREA. LINE UNDERSIDE  
 INSTALL NEW STEEL POSTS TO ENGINEERS DETAIL

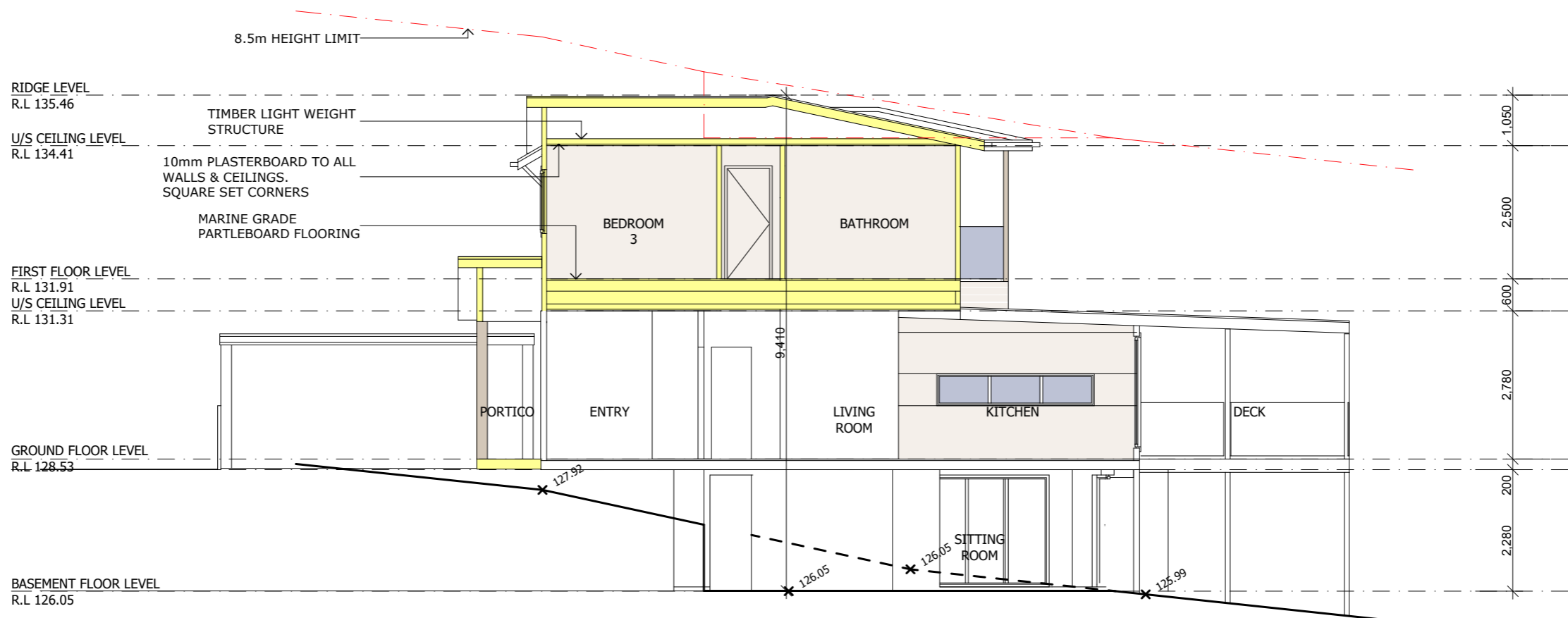
BASEMENT FLOOR PLAN

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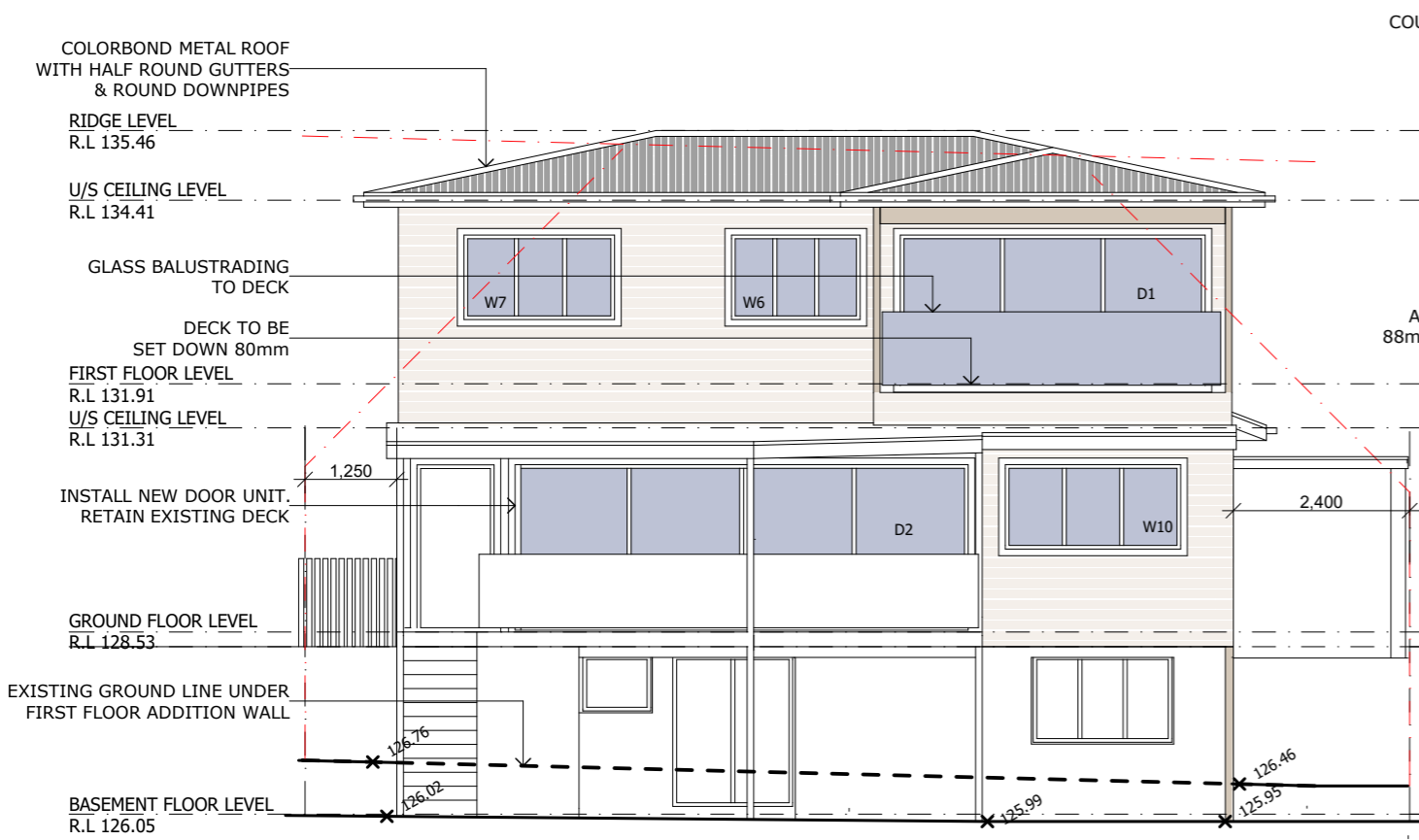
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 marcus@bettswhite.com ph: 0411 363 325

**Project.**  
 Proposed Upstairs Addition &  
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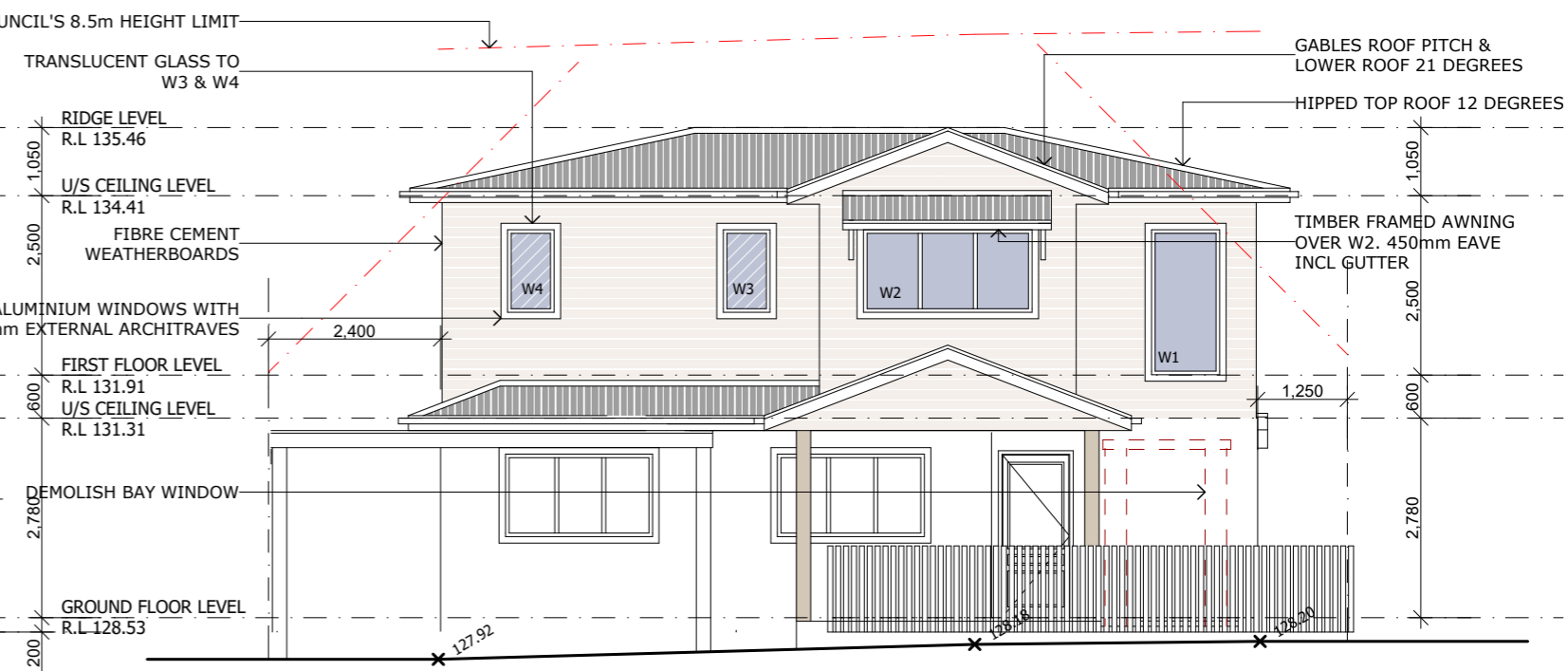
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SECTION A-A



SOUTH ELEVATION



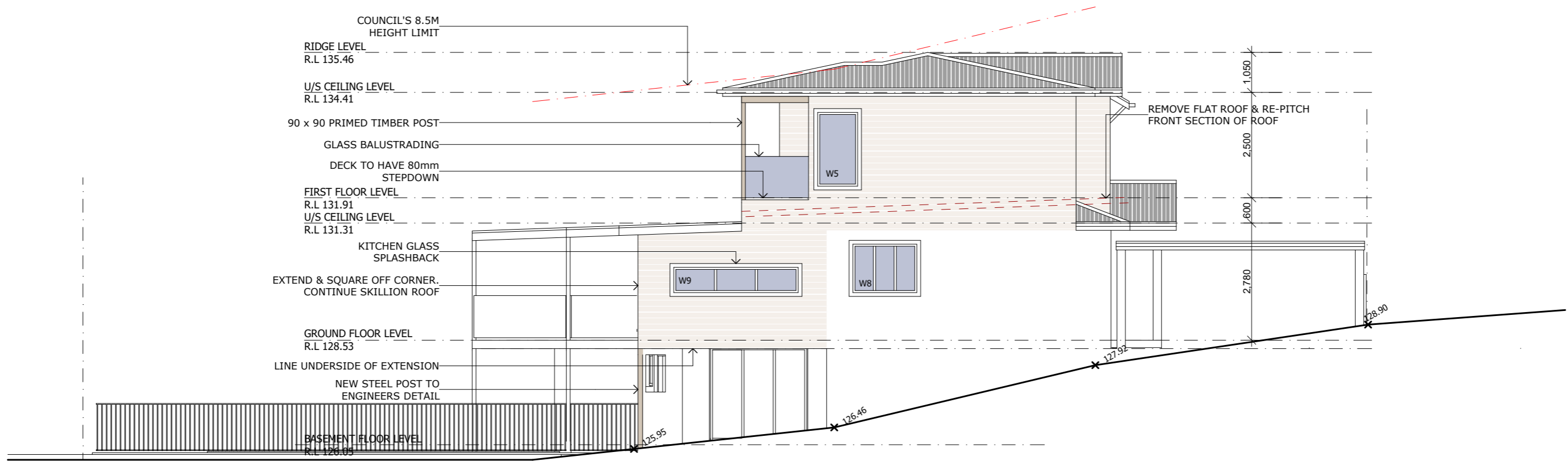
NORTH ELEVATION

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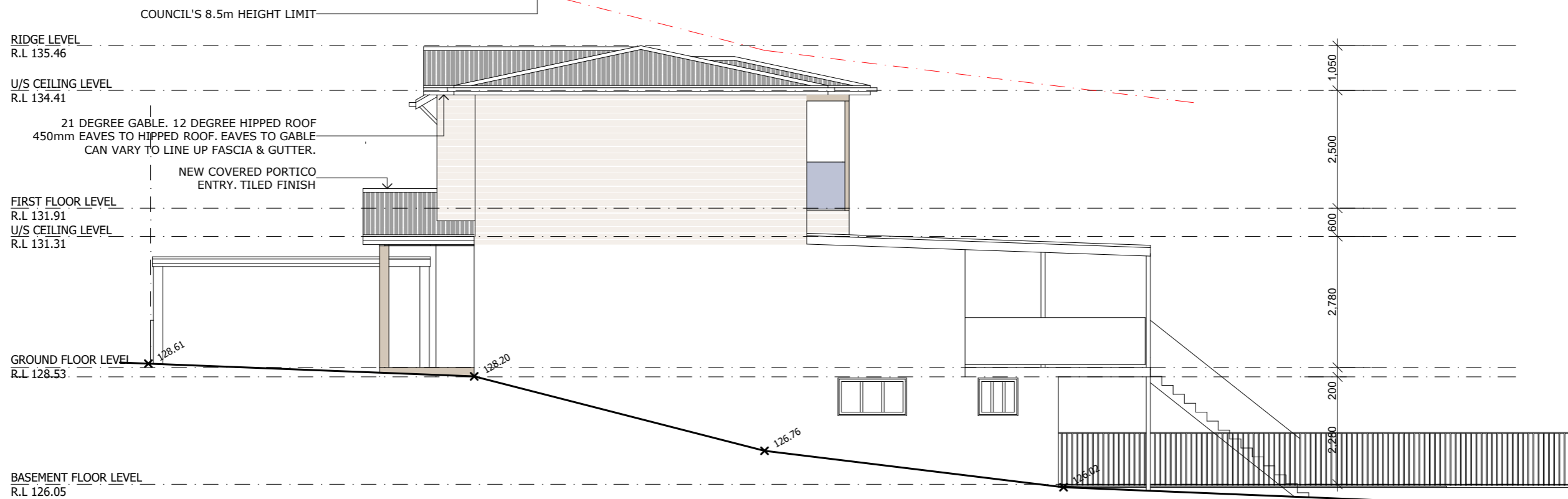
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marcus@bettswhite.com ph: 0411 363 328

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EAST ELEVATION



WEST ELEVATION

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