

7 Feb. 2013  
Pittwater Council  
PO Box 882  
MONA VALE NSW 2107

Dear Sir or Madam:

Re: Lodgement of CC2013/030 for DA No. 331/12  
Site address: No. 64 Dolphin Crescent, Avalon Beach

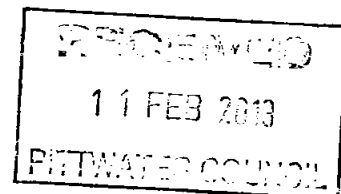
Please find attached all required documentation relied upon to issue Construction Certificate and Notice of Commencement for the above development:

- Part 4A Lodgement Fee \$36.00 payable to Council.
- Copy of Home Owner's Warranty Insurance.
- Sydney Water approval
- 1 full set of Construction Certificate Plans.
- 1 Structural Engineer's Plans.
- Receipt for payment of Long Service Levy.
- 1 Basix Certificate

Yours faithfully

A handwritten signature in black ink, appearing to read "Craig Formosa".

Craig Formosa



Rn: 336331.

POSTED  
07/02/13



**CONSTRUCTION CERTIFICATE # 2013/30 Stage 1**      Approved 05/02/13

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

Date Application Received	30/01/13				
Council	Pittwater				
Development Consent No.	331/12	Date Approved	21/01/13		
Certifying Authority	Craig Formosa	Accredited Certifier	Craig Formosa - BPB0124		
Accreditation Body	Building Professionals Board	BCA in Force	BCA2012		
<b>APPLICANT DETAILS</b>					
Name	Kathryn Parker	Ph No.	9974 3608		
Address	64 Dolphin Crescent, AVALON NSW 2107				
<b>OWNER DETAILS</b>					
Name	Kathryn Parker				
Address	64 Dolphin Crescent, AVALON NSW 2107				
<b>DEVELOPMENT DETAILS</b>					
Subject Land	64 Dolphin Crescent, AVALON NSW 2107	Lot No.	55	DP	28663
Description of Development	Stage 1 - Carers room and extension to veranda				
Class of Building	1a, 10a	Value of Work	\$48,700.00		
<b>BUILDER DETAILS</b>					
Name	Glen McMichael (GMC Constructions)				
Address	8 Scotney Place, Collaroy NSW				
Contact Number	0418 860 016	License No.	42303C		
<b>APPROVED PLANS &amp; DOCUMENTS</b>					
Plans Prepared By	J.D Evans and Company				
Drawing Numbers	1476-1 to 1476-8	Dated	09/08/12		
Engineer Details Prepared By	Barrenjoey Consulting Engineers Pty Ltd				
Drawing Numbers	130108 - S1.00, S2.00, S2.01, S3.0	Dated	Jan 13		
Basix Certificate No.	A151706	Dated	21/11/12		
<b>CERTIFICATION</b>					
<p>I, Craig Formosa, as the certifying authority am satisfied that;</p> <p>(a) The requirements of the regulations referred to in s81A (5) have been complied with. That is, work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act, and</p> <p>(b) Long Service Levy has been paid where required under s34 of the Building &amp; Construction Industry Long Service Payments Act 1986.</p>					
Signed:		Date: 05/02/13			

# BASIX Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

Certificate number: A151706

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Director-General  
Date of issue: Wednesday, 21, November 2012  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Kathryn Parker
Street address	64 Dolphin Crescent Avalon Beach 2107
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 28663
Lot number	55
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

THIS PLAN / DOCUMENT FORMS  
PART OF FORM BUILDING  
CERTIFIERS CC / CDC

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	J.D.Evans & Co Pty Ltd
ABN (if applicable):	72 001 636 693



J. D. EVANS & COMPANY P/L  
74 RIVIERA AVENUE  
AVALON BEACH NSW 2107

Pool and Spa		Show on DA Plans	Show on CCO/CCO Plans & Specs	Compliance Check
Rainwater tank				
The applicant must install a rainwater tank of at least 853 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 70 square metres of roof area.			✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.			✓	✓
Outdoor swimming pool				
The swimming pool must be outdoors.		✓	✓	✓
The swimming pool must not have a capacity greater than 22 kilolitres.		✓	✓	✓
The swimming pool must have a pool cover.			✓	✓
The applicant must install a pool pump timer for the swimming pool.			✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: solar only.			✓	✓

Fixtures and systems				Showroom DA Plans	Showroom ecode Plans & Specs	Carifier Check
Hot water						
The applicant must install the following hot water system in the development: gas instantaneous.				✓	✓	✓
Lighting						
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.					✓	✓
Fixtures						
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.					✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.					✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.					✓	

Construction			Show on DA plans	Show on CC/CDG Plans & Specs	Building Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.					
Construction	Additional insulation required (R-value)	Other specifications	✓	✓	✓
concrete slab on ground floor.	nil				
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)				
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R2.75 (up), roof: thermocellular reflective	medium (solar absorptance 0.475 - 0.70)			
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			

Glazing requirements

Show on DA Plans	Show on CC/CD/DC Plans & Specs	Caution Check
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Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window or glazed door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type	✓	✓	✓
W1	SW	0.72	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	✓	✓	✓
W2	NW	6.48	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)	✓	✓	✓
W3	NE	4.8	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	✓	✓	✓

Glazing requirements

						Showroom DA Plans	Showroom code plans spec	Builder check
Window no	Orientation	Area of glass inc frame (m <sup>2</sup> )	Overshading Height (m)	Distance (m)	Shading device	Frame and glass type		
W4	NW	2.16	0	0	eave/Verandah/pergola/balcony >=600 mm	timber or uPVC, single polyolytic low-e, (U-value: 3.99, SHGC: 0.4)		
W5	NW	1.62	0	0	eave/Verandah/pergola/balcony >=600 mm	timber or uPVC, single polyolytic low-e, (U-value: 3.99, SHGC: 0.4)		
W6	NE	0.72	0	0	eave/Verandah/pergola/balcony >=600 mm	timber or uPVC, single polyolytic low-e, (U-value: 3.99, SHGC: 0.4)		
W7	NE	1.08	0	0	eave/Verandah/pergola/balcony >=600 mm	timber or uPVC, single polyolytic low-e, (U-value: 3.99, SHGC: 0.4)		
W8	SE	3.6	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W9	SW	1.08	0	0	eave/Verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W10	NW	3.5	0	0	eave/Verandah/pergola/balcony >=600 mm	timber or uPVC, single polyolytic low-e, (U-value: 3.99, SHGC: 0.4)		

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.			✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:				✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.				✓	✓

Skylights glazing requirements

Skylight number	Area of glazing inc frame (m <sup>2</sup> )	Shading device	Frame and glass type		
S1	0.9	no shading	timber, low-E internal/argon fill/clear external, (or		

Glazing requirements				Show on DA plans	Show on Cecibo Plans & Specs	Certifier check
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S2	0.9	no shading	U-value: 2.5, SHGC: 0.456) timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

**Legend**

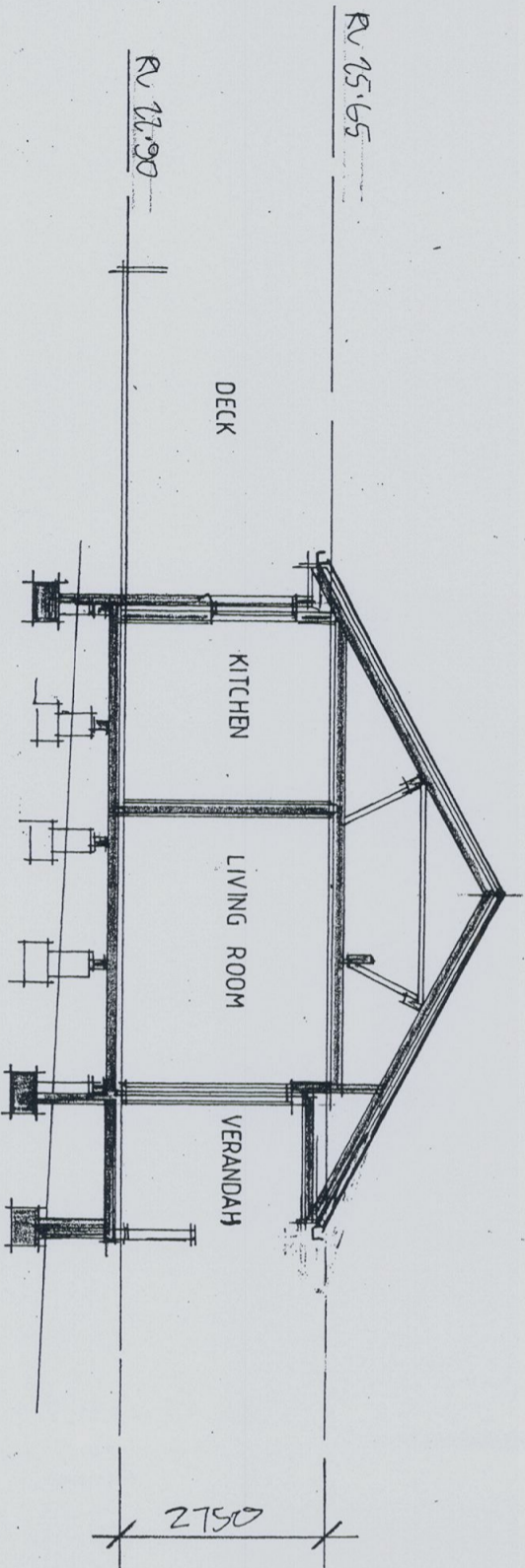
In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

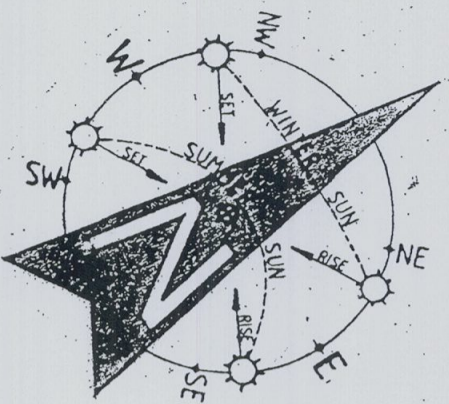
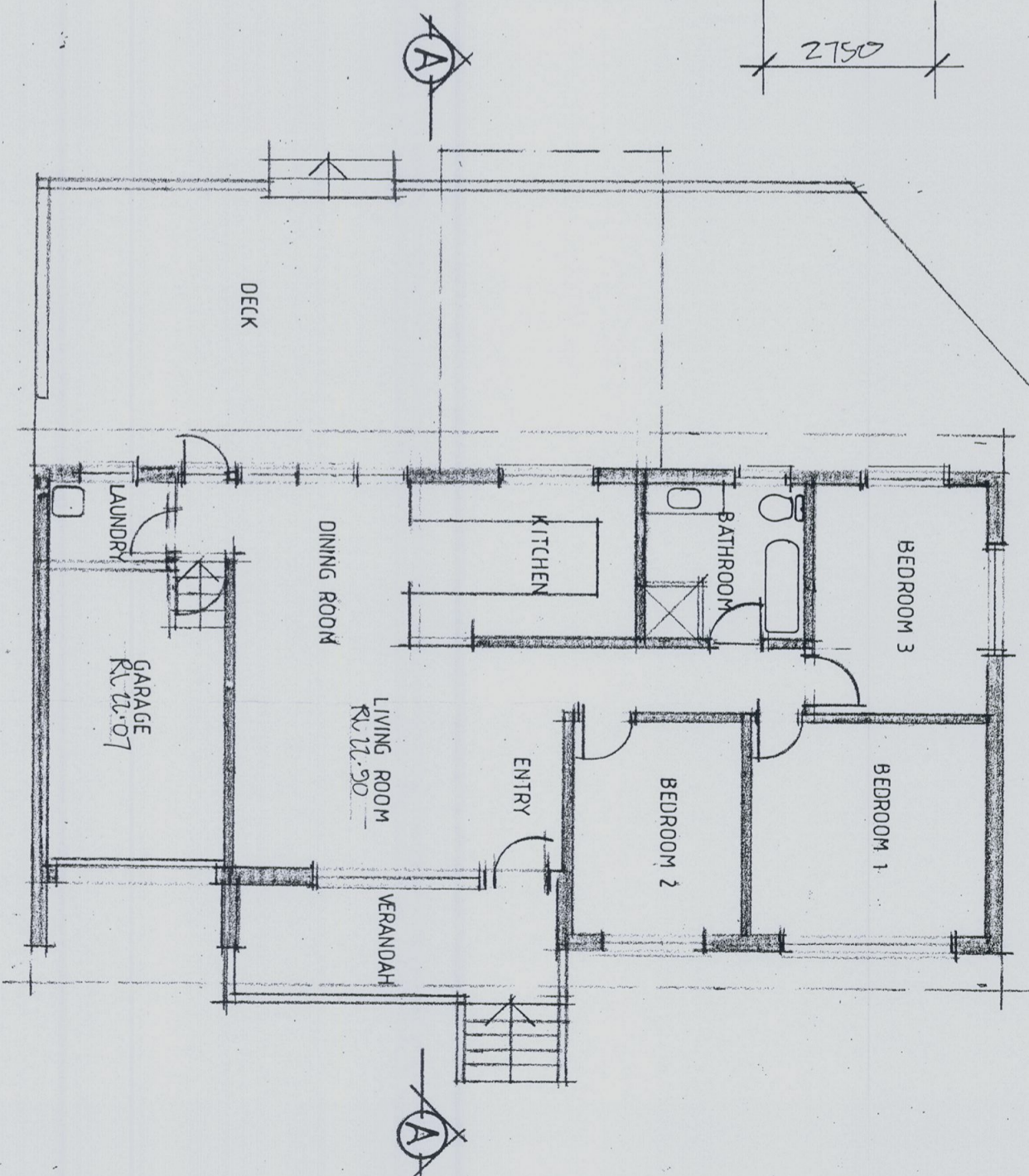
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.





SECTION A - A



1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All work to be in accordance with the BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
5. Any structural alterations or additions to the existing structure shall be made in accordance with the BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
6. Roof water & sub-slab drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. House pool and related safety features determined by new work. House safety features indicated where possible.

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COPYRIGHT AND ANY ATTEMPT OR ACTUAL  
REPRODUCTION, BY ANY MEANS, WITHOUT  
THE WRITTEN PERMISSION OF J.D. EVANS  
AND COMPANY PTY. LTD. WILL BE  
TREATED AS AN INFRINGEMENT OF  
LEGAL PROCEEDINGS WILL RESULT IN  
LAW SUITS AND COMPENSATION.

No.	AMENDMENT	DATE

**J.D. EVANS and COMPANY**  
DESIGN AND BUILDING CONSULTANTS  
74 RIVERA AVENUE, AVALON BEACH, 2107  
Phone 9918 9206 mobile 0418 976 596  
www.jdeco.com.au email info@jdeco.com.au

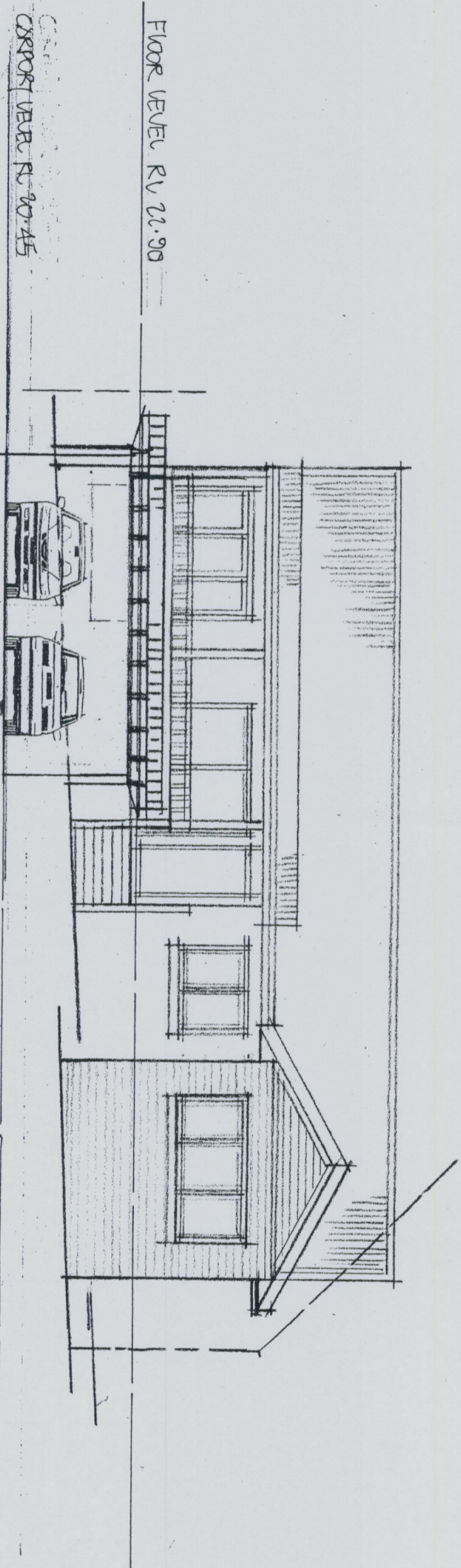
THIS PLAN / DOCUMENT FORMS  
PART OF FORM BUILDING  
CERTIFIERS CC / CDC

# EXISTING FLOOR PLAN

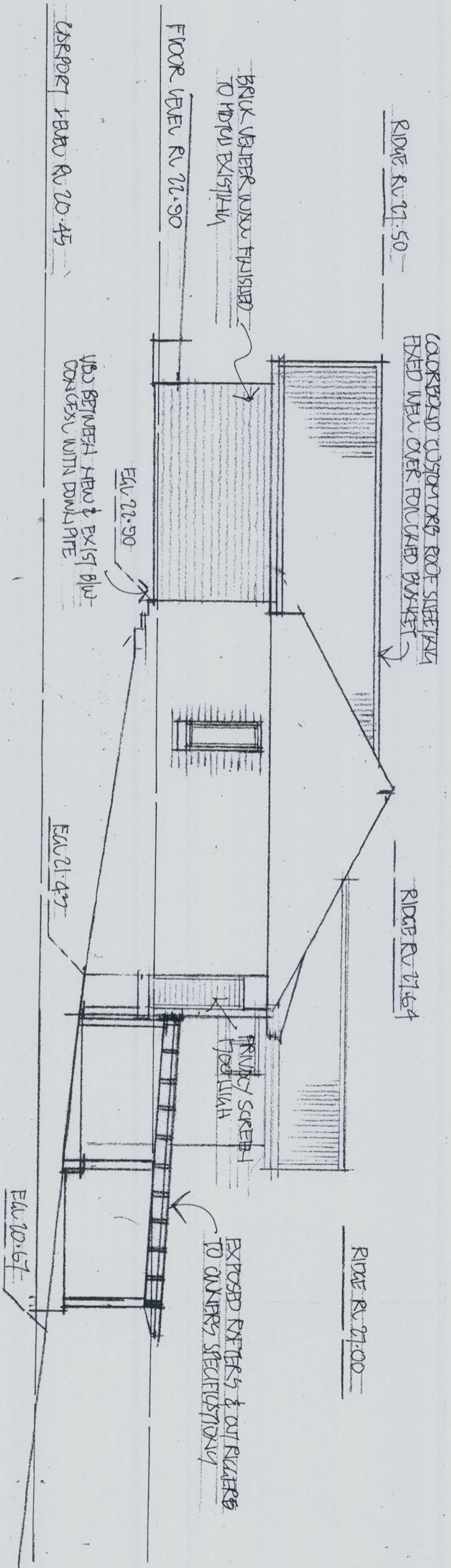
PROJECT  
PROPOSED ALTERATIONS / ADDITIONS  
No. 64 DOLPHINE CRESCENT  
AVALON BEACH N.S.W. 2107  
CLIENT  
KATHRYN PARKER

DATE	9/8/2012	SCALE	1:100
DRAWN	JDE	CHECKED	
DRAWING No.	1476-2	ISSUE	





## SOUTH - EAST ELEVATION



- NOTES:**
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
  2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

## SOUTH - WEST ELEVATION

THIS PLAN / DOCUMENT FORMS  
PART OF FORM BUILDING  
CERTIFIERS CC / CDC

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawings.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the 'Timber Preservative' code.
5. Any structural alterations to be made must be approved by a Structural Engineer.
6. Road width & side-sell dimensions to be as shown on the approved plan or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by a registered electrician.
8. House pool and fence all existing fixtures damaged by new work. Fence siding materials where possible.

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COPYRIGHT AND ANY ATTEMPT OR ACTUAL  
REPRODUCTION OR REUSE OF ANY PART  
HEREOF WITHOUT THE WRITTEN PERMISSION OF  
J.D. EVANS AND COMPANY PTY. LTD.  
IS A BREACH OF THE COPYRIGHT ACT 1969.

No.	AMENDMENT	DATE

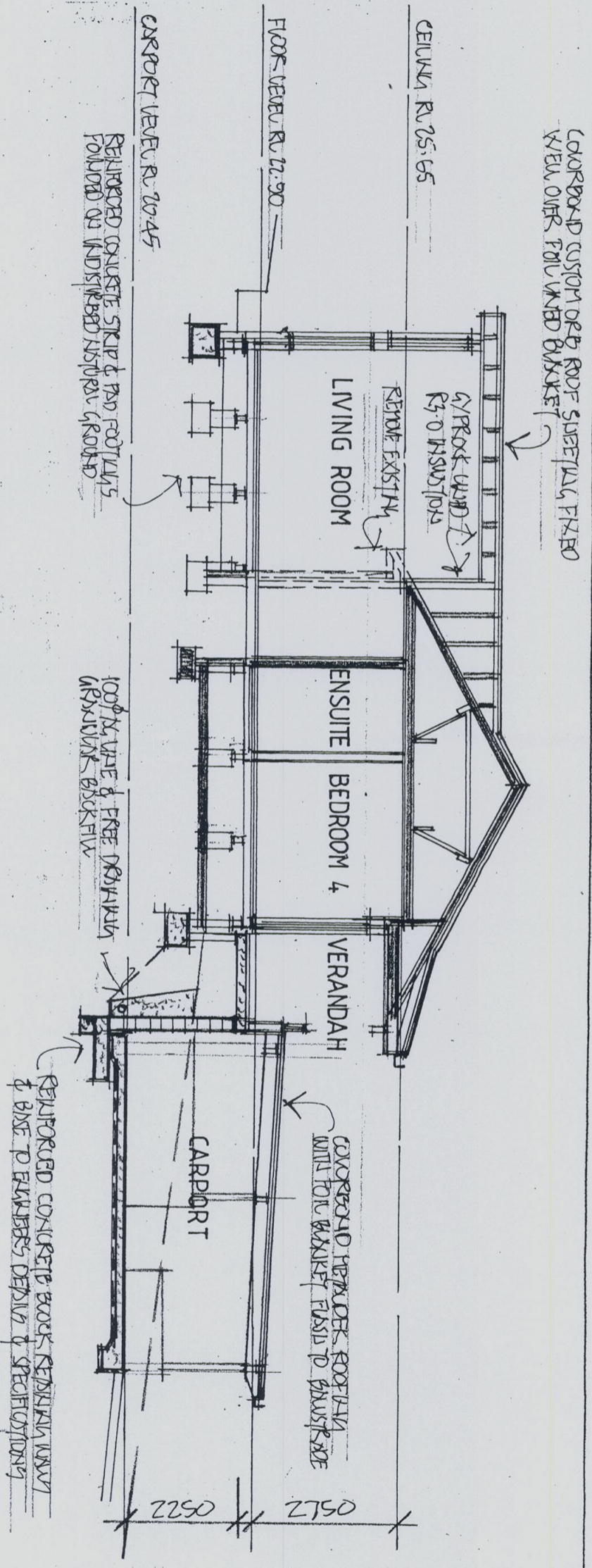
**J.D. EVANS and COMPANY**  
DESIGN AND BUILDING CONSULTANTS  
74 RIVERA AVENUE, AVALON BEACH, 2107  
Phone 9918 9206 Mobile 0418 976 596  
www.jdeco.com.au email info@jdeco.com.au

**PROJECT**  
PROPOSED ALTERATIONS / ADDITIONS  
No. 64 DOLPHINE CRESCENT  
AVALON BEACH N.S.W. 2107  
CLIENT  
KATHRYN PARKER

DATE	SCALE
9/18/2012	1:100
DRAWN JDE	CHECKED

1476-4





## SECTION A - A

### SCHEDULE OF BASIX COMMITMENTS

#### WATER COMMITMENTS

##### FIXTURES:

1. ALL NEW & ALTERED SHOWER HEADS TO HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR 3 STAR WATER RATING.
2. ALL NEW & ALTERED TOILET FLUSHING SYSTEMS TO HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING.
3. ALL NEW & ALTERED TAPS TO HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR 3 STAR WATER RATING.

##### RAINWATER WATER

1. THE APPLICANT MUST INSTALL A RAINWATER TANK OF 853 LITRES MINIMUM AND MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
  2. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK IS TO COLLECT RAIN RUNOFF FROM AT LEAST 70 SQUARE METERS OF ROOF AREA
  3. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO AT LEAST ONE OUTDOOR TAP LOCATED WITHIN 10 METRES OF THE EDGE OF POOL.
- OUTDOOR SWIMMING POOL**
1. THE SWIMMING POOL MUST BE OUTDOORS.
  2. THE SWIMMING POOL MUST NOT HAVE A VOLUME GREATER THAN 22 KILOLITRES.
  3. THE SWIMMING POOL MUST HAVE A POOL COVER AND MUST BE PROTECTED.
  4. THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.
  5. THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT: SOLAR ONLY

#### THERMAL COMFORT COMMITMENTS

##### CONSTRUCTION INSULATION REQUIREMENTS

1. THE PROJECT MUST BE CONSTRUCTED IN ACCORDANCE WITH ALL THERMAL PERFORMANCE SPECIFICATIONS SET OUT IN THE CERTIFICATE NUMBER A151706, AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION WHICH WERE USED TO CALCULATE THOSE SPECIFICATIONS.
- WINDOWS & GLAZED DOORS GLAZING REQUIREMENTS**
1. THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE CERTIFICATE NUMBER A151706, FOR EACH WINDOW AND GLAZED DOOR
  2. FOR PROJECTIONS DESCRIBED IN MILLIMETRES, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST NOT BE OR MORE THAN 500MM ABOVE THE HEAD OF A WINDOW OR HEAD OF A GLAZED DOOR & NO MORE THAN 2400MM ABOVE THE SILL.

#### ENERGY COMMITMENTS

##### HOT WATER

1. THE APPLICANT MUST HAVE A HOT WATER SYSTEM WITH A HIGH ENERGY RATING OF GAS INSTANTANEOUS.

##### LIGHTING

1. THE APPLICANT MUST HAVE A MINIMUM OF 40% OF NEW AND ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

##### VENTILATION

1. THE APPLICANT MUST HAVE INSTALLED THE FOLLOWING EXHAUST SYSTEM:
  - a. AT LEAST 1 BATHROOM: NO MECHANICAL VENTILATION (IE. NATURAL).
  - b. KITCHEN : INDIVIDUAL FAN, NOT DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF.
  - c. LAUNDRY: NATURAL VENTILATION ONLY.

##### NATURAL LIGHTING

1. THE DEVELOPMENT MUST HAVE A WINDOW IN THE KITCHEN FOR NATURAL VENTILATION.
2. THE DEVELOPMENT MUST HAVE A WINDOW IN ALL BATHROOMS AND TOILETS FOR NATURAL VENTILATION.

##### OUTDOOR SWIMMING POOL

1. THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS OF THIS DEVELOPMENT: SOLAR ONLY.
2. THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.

##### OTHER

1. THE APPLICANT MUST INSTALL A GAS COOKTOP AND ELECTRIC OVEN IN THE KITCHEN.
2. THE APPLICANT MUST CONSTRUCT THE REFRIGERATOR/SPRINKLERS CC / CDC AS DEFINED IN THE BASIX DEFINITIONS.
3. THE APPLICANT MUST HAVE INSTALLED A FIXED OUTDOOR CLOTHES DRYING LINE.

THIS PLAN / DOCUMENT FORMS PART OF THE BASIX DEVELOPMENT APPLICATION

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawings.  
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.  
3. All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.  
4. All timber construction to be in accordance with the Timber Treated Code.  
5. Any building in addition to what is depicted and be marked between the owner and the builder to the owner's approval, except for any structural changes which must be approved by a Structural Engineer.  
6. Final notes & add-on drawings to be drawn and approved by the approved authority or as directed by local council inspectors.  
7. All electrical power & light outlets to be determined by the approved authority or as directed by local council inspectors.  
8. Make good and repair all existing finishes damaged by new work. Remove existing materials where possible.

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J.D. EVANS AND COMPANY PTY. LTD.  
125 STANLEY AVE. AVALON BEACH, NSW

No.	AMENDMENT	DATE

**J.D. EVANS and COMPANY**  
DESIGN AND BUILDING CONSULTANTS  
74 RIVERA AVENUE, AVALON BEACH, 2107  
phone. 9918 9206  
www.jdeco.com.au  
mobile 0418 976 356  
email info@jdeco.com.au

**PROJECT**  
**PROPOSED ALTERATIONS / ADDITIONS**  
**No. 64 DOLPHINE CRESCENT**  
**AVALON BEACH N.S.W. 2107**  
**CLIENT**  
**KATHRYN PARKER**

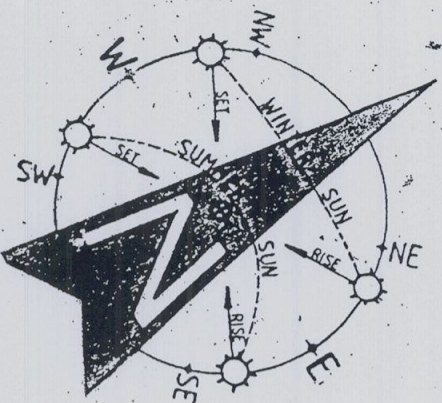
DATE 9/8/2012	SCALE 1:100
DRAWN JDE	CHECKED
ISSUE	
1476-6	

No. '	HEIGHT	WIDTH	AREA
W1	1.20	0.60	0.72
W2*	1.80	3.60	6.48
W3	2.40	4.00	8.40
W4*	1.20	1.80	2.16
W5*	1.20	1.80	1.62
W6*	1.20	0.60	0.72
W7*	0.60	1.80	1.08
W8	1.50	2.40	3.60
W9	0.60	1.80	1.08
W10*	1.00	3.00	3.00

1. ALL WINDOWS & GLAZED DOORS TO BE FITTED WITH TIMBER FRAMED WINDOWS & GLAZED DOORS TO BE FITTED WITH,
2. SINGLE CLEAR GLAZED (U - VALUE: 5.71, SHGC: 0.66),
3. WINDOWS & GLAZED DOORS DENOTED THUS \*\* TO BE FITTED WITH SINGLE POLYLYTIC LOW - E GLAZING (U - VALUE: 3.99, SHGC: 0.40).

No.	HEIGHT	WIDTH	AREA
S1	1.14	0.78	0.90
S2	1.14	0.78	0.90


ALL SKYLIGHT / ROOF WINDOWS TO BE VELUX  
OPENABLE SKYLIGHTS VS 2004/M06.



1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not cast the concrete until all dimensions have been confirmed.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE of the TOWN of LUTHERA and to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the TYPICAL FRAMING code.
5. All structural details or designs which do not conform to the National Engineering and Building Standards Board (NEBSB) and the Building Regulations and the Building Code of Australia to be approved by the local council.
6. Roof water to site and drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by survey.
8. All new work and repair all existing fixtures damaged by new work, unless adding materials where possible.

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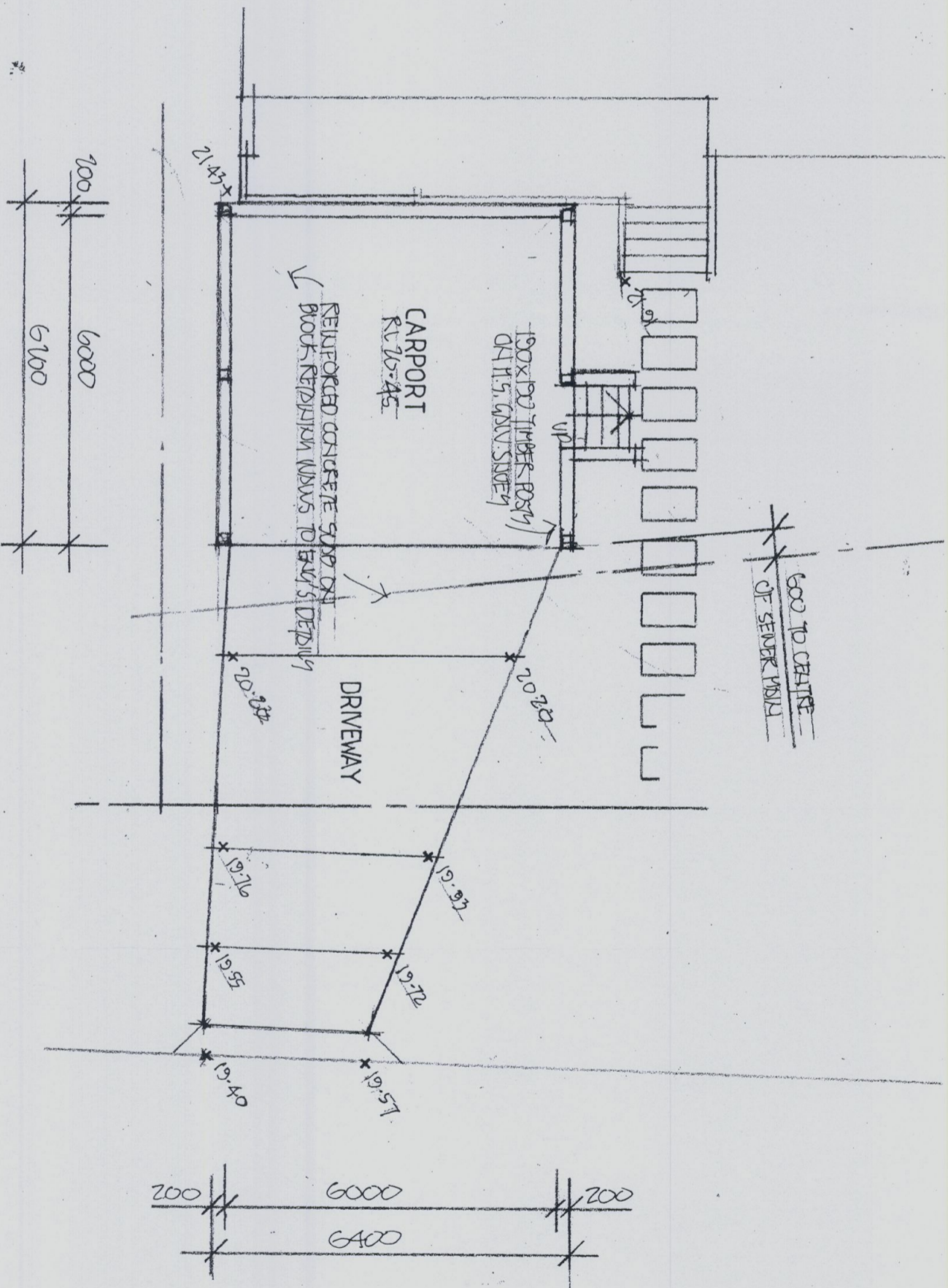
**J.D. EVANS and COMPANY**  
DESIGN AND BUILDING CONSULTANTS  
74 RIVIERA AVENUE, AVALON BEACH, 2107  
Phone 9018 9206      mobile 0418 976 596  
[www.jdecoc.com.au](http://www.jdecoc.com.au)      email [info@jdecoc.com.au](mailto:info@jdecoc.com.au)

**PROJECT**  
**PROPOSED ALTERATIONS / ADDITIONS**  
**No. 64 DOLPHINE CRESCENT**  
**AVALON BEACH N. S. W. 2107**  
**CLIENT**  
**KATHRYN PARKER**

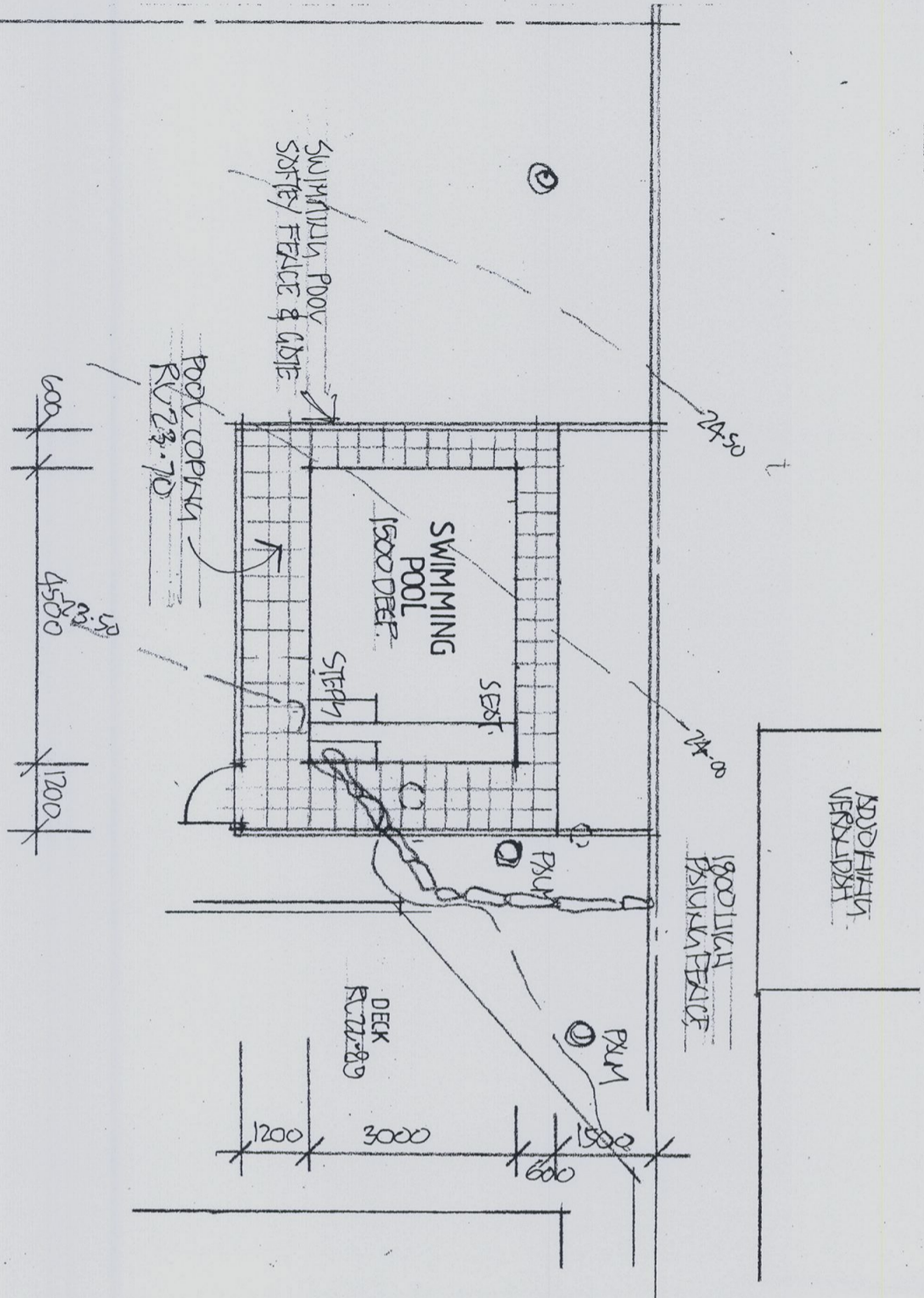
DATE	9/18/2012	SCALE	1/100
DRAWN	JDE	CHECKED	

DRAWING No. 1476-7

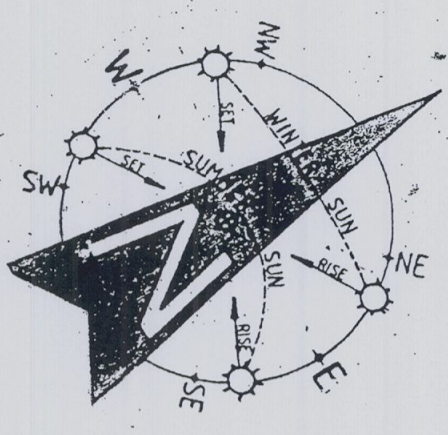
ISSUE



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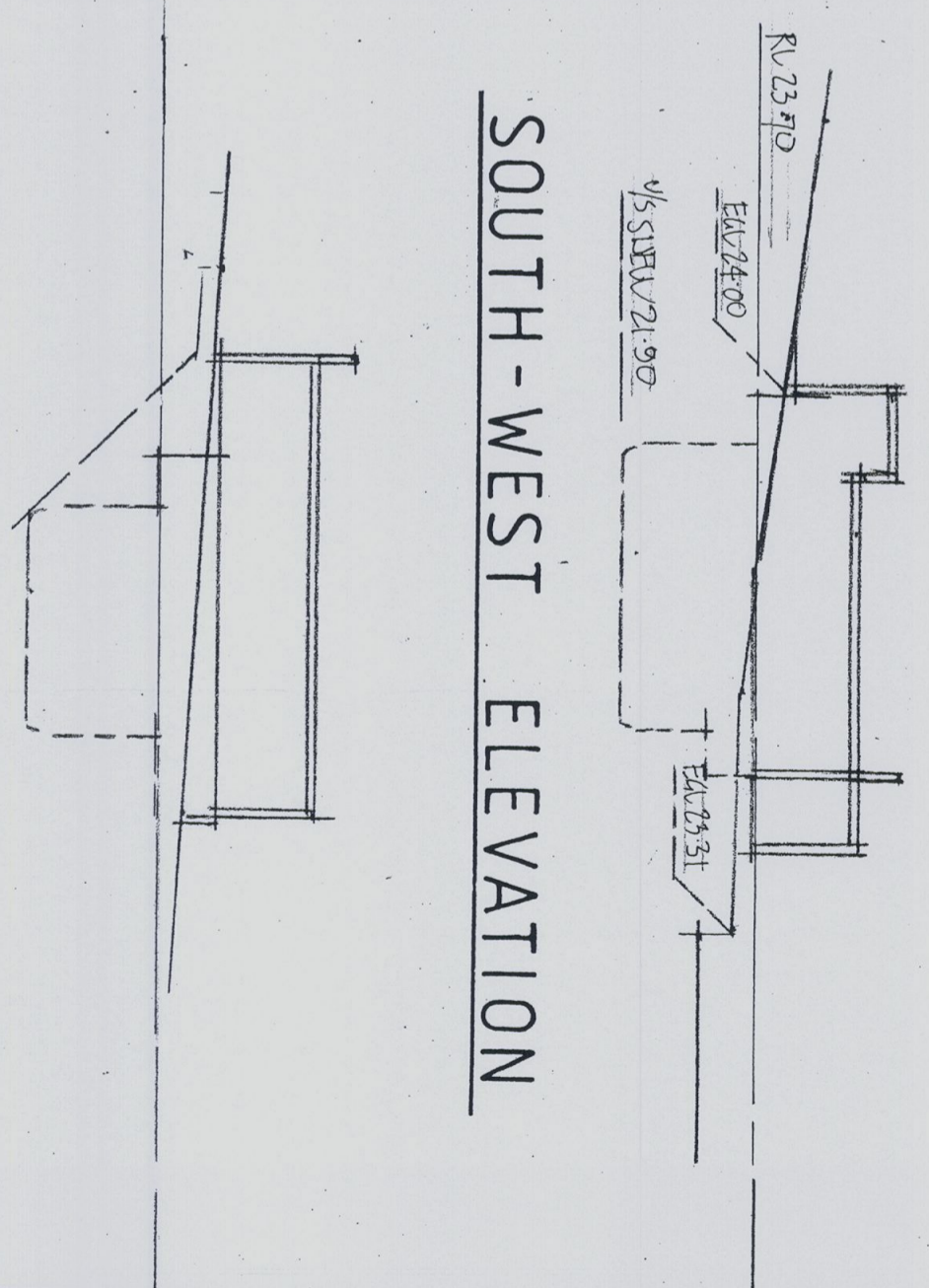
# SWIMMING POOL PLAN



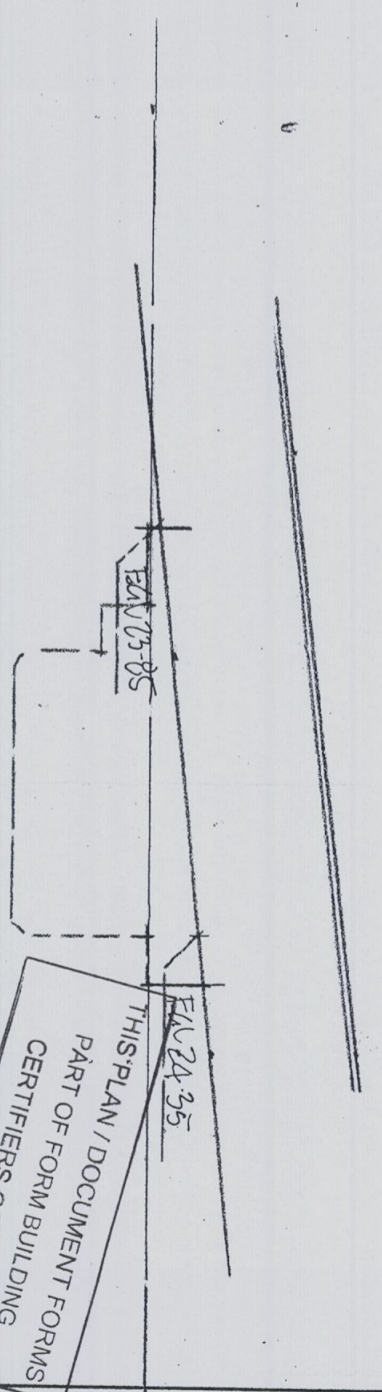
- NOTES:
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
  2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

- NOTE:
1. POOL FENCING IS TO BE DESIGNED, LOCATED AND MAINTAINED IN ACCORDANCE WITH THE SWIMMING POOL ACT 1992 AS AMENDED.
  2. AS 1926.1 - 2007 LOCATION OF SAFETY BARRIER FENCING FOR PRIVATE SWIMMING POOLS:
  3. A RESUSCITATION AND EXTERNAL CARDIAC COMPRESSION CHART IS TO BE AFFIXED AND MAINTAINED IN A PROMINENT LOCATION ADJACENT TO POOL AREA.
  4. ALL POOL OVERFLOW WATER AND WASTE WATER FROM THE FILTRATION PROCESS IS TO BE DIRECTED TO THE SEWER.

# SOUTH - WEST ELEVATION



# NORTH - WEST ELEVATION




# NORTH - EAST ELEVATION

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the 'TIMBER PRESERVE' code.
5. Any detailing in relation to steel is subject to be reviewed between the owner and the builder to the owner's approval, except for steel reinforcement which is to be supplied by a structural engineer.
6. Steel reinforcement design which is to be supplied by a structural engineer.
7. All electrical power & lighting to be installed in accordance with the requirements of the Australian Standards AS/NZS 3000:2007.
8. Make good and repair all existing finishes damaged by new work. Make existing materials visible where possible.

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J.D. EVANS AND COMPANY PTY. LTD.  
74 RIVIERA AVENUE, AVALON BEACH, NSW  
NSW 2107

No.	AMENDMENT	DATE



**J.D. EVANS and COMPANY**  
DESIGN AND BUILDING CONSULTANTS  
74 RIVIERA AVENUE, AVALON BEACH, 2107  
Phone: 9918 9206  
www.jdeco.com.au

PROJECT  
PROPOSED ALTERATIONS / ADDITIONS  
No. 64 DOLPHINE CRESCENT  
AVALON BEACH N.S.W. 2107  
CLIENT  
KATHRYN PARKER

DATE	9/18/2012	SCALE	1:100
DRAWN	JOE	CHECKED	
ISSUE	1476-8		

# BASIX<sup>®</sup> Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

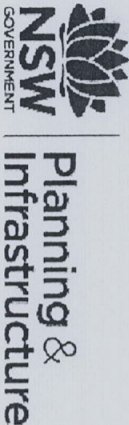
Certificate number: A151706

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Director-General

Date of issue: Wednesday, 21, November 2012

To be valid, this certificate must be lodged within 3 months of the date of issue.



## Description of project

Project address	
Project name	Kathryn Parker
Street address	64 Dolphin Crescent Avalon Beach 2107
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 28663
Lot number	55
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

**Certificate Prepared by** (please complete before submitting to Council or PCA)

Name / Company Name: J.D.Evans & Co Pty Ltd

ABN (if applicable): 72 001 636 693



J. D. EVANS & COMPANY P/L  
74 RIVIERA AVENUE  
AVALON BEACH NSW 2107

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Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 853 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 70 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 22 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: solar only.		✓	✓

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Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

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Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.					
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)				
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R2.75 (up), roof: thermocellular reflective	medium (solar absorptance 0.475 - 0.70)			
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			

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Glazing requirements					Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Windows and glazed doors</b>							
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.					✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:  Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.  Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.  For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.  Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.					✓	✓	✓
<b>Windows and glazed doors glazing requirements</b>							
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type	
W1	SW	0.72	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	✓
W2	NW	6.48	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)	✓
W3	NE	4.8	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	✓

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check	
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W4	NW	2.16	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W5	NW	1.62	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W6	NE	0.72	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W7	NE	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W8	SE	3.6	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W9	SW	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W10	NW	3.5	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
Skylights									
The applicant must install the skylights in accordance with the specifications listed in the table below.						✓	✓	✓	
The following requirements must also be satisfied in relation to each skylight:							✓	✓	
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.							✓	✓	
Skylights glazing requirements									
Skylight number	Area of glazing inc. frame (m2)	Shading device		Frame and glass type					
S1	0.9	no shading		timber, low-E internal/argon fill/clear external, (or					

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Glazing requirements			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type		
			U-value: 2.5, SHGC: 0.456)		
S2	0.9	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)		

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

GENERAL NOTES

GENERAL

- G1 - These drawings are to be read in conjunction with all architectural and other consultants drawings and specifications. Any discrepancies are to be referred to all parties and rectified before proceeding with the works.
- G2 - Dimensions shall not be obtained by scaling from these drawings.
- G3 - During construction the structure shall be kept in a stable condition and no part shall be over stressed.
- G4 - All materials and workmanship are to be in accordance with the current Australian Standards, OH&S requirements, and the by-laws and ordinances of any relevant statutory authority.

FOUNDATIONS

- F1 - The foundation material is to be NA bearing capacity.
- F2 - The foundation material is to be inspected, verified and approved by a Geotechnical Consultant as being in accordance with the above and that it is sound and consistent with minimal possibility of differential settlement across the development.
- F3 - Should variable foundation material be encountered the engineer is to be contacted and it is likely all foundations are to be placed to similar material of the greatest bearing capacity and that additional detailing of the foundation reinforcement will be required.
- F4 - Any excavation works are to include measures to ensure the temporary and long term stability of any existing structure within its vicinity.
- F5 - All foundations shall be a minimum 300mm into the approved material unless otherwise noted.
- F6 - Foundation depth dimensions are a minimum only and final depth will be dependent on the adequacy of the bearing material.
- F7 - All organic matter and top soil shall be removed from the underside of all slabs and foundations.
- F8 - Any soft or questionable excavated areas are to be brought to the attention of the Geotechnical Consultant and may require controlled filling.
- F9 - Any filling shall be to the approval of the Geotechnical Consultant and will generally be granular material compacted in not more than 150mm layers to a minimum dry density ratio of 98%.

CONCRETE

- C1 - All workmanship and materials shall be in accordance with AS3600.
- C2 - Concrete quality shall be verified by tests.
- C3 - All concrete shall have a slump of 80mm and maximum aggregate size of 20mm.
- C4 - Concrete strength and cover shall be as detailed on the plans.
- C5 - Size of concrete members do not include thickness of applied finishes.
- C6 - Beam depths are written first and include slab thickness if any.
- C7 - No penetrations are to be made to the concrete members without the written approval of the engineer.
- C8 - No water is to be added to the concrete prior to placement.
- C9 - All construction joints shall be located to the approval of the engineer.
- C10 - Fire rating requirements and adequacy is to be reviewed and specified by others.
- C11 - All concrete members are to be cured by keeping the surfaces continuously wet, for a period of 3 days followed by the prevention of loss of moisture for a further 7 days.
- C12 - All concrete elements shall be compacted to form a dense homogeneous mass using mechanical vibrators.

- C13 - All formwork shall be installed and stripped in accordance with AS3610.

- C14 - All formwork is to be free of debris prior to pouring of concrete.
- C15 - Exposed finished concrete surfaces (such as polished floors etc) will require additional reinforcement (SL 102 Top min) plus curing / shrinkage controlling additives as per the concrete suppliers recommendations.
- C16 - Exposed finished concrete surfaces (such as polished floors etc) will be susceptible to cracking.

REINFORCEMENT

- R1 - All reinforcement shall be Grade D600.
- R2 - Top reinforcement is to be continuous over supporting elements and lapped between supporting elements only.
- R3 - Bottom reinforcement is to be continuous between supporting elements and lapped at supporting elements only.
- R4 - Reinforcement is represented diagrammatically only and is not necessarily shown in its true position.
- R5 - Welding of reinforcement is not permitted.
- R6 - All reinforcement shall be supported on bar chairs at max 750mm spacing.
- R7 - Reinforcement shall be tied at alternate intersections.
- R8 - Reinforcement bars are to lap a minimum length equal to 40 times the bar diameter (e min 480mm for N12 bars, 540mm for N16 bars).
- R9 - Reinforcement fabric is to lap 1 complete square plus 25mm.

MASONRY

- M1 - All workmanship and materials shall be in accordance with AS3700.
- M2 - An approved slip joint material is to be placed over all load bearing masonry supporting a concrete slab and laid on smooth brick work or a trowled mortar finish, this material may constitute two layers of grouted metal.
- M3 - Masonry shall be constructed on suspended concrete structures only after all propping has been removed and the concrete has achieved its specified strength.
- M4 - Control joints are to be placed in all walls at a maximum of 8m centres and between new and existing structures or closer as deemed necessary by the engineer. The joints are to be 10mm wide and sealed with an approved flexible sealant, with ties at 600mm centres vertical.
- M5 - Concrete blocks shall have a minimum compressive strength of 15 MPa.
- M6 - Core filling shall be 20 MPa concrete with 10mm aggregate, 230mm slump and compacted adequately.
- M7 - Concrete blocks used in retaining wall construction are to be Double Web H blocks.
- M8 - Maximum pour height for unrestrained blockwork is 1.8m.
- M9 - All masonry components are to be tied at not more than 600mm centres to adjacent steel or concrete columns.

STEEL

- S1 - All workmanship and materials shall be in accordance with AS4100.
- S2 - Hot rolled plates shall comply with AS 3678.
- S3 - Hot rolled sections shall comply with AS3679.
- S4 - Cold formed sections shall comply with AS4600.
- S5 - Welded and seamless hollow sections shall comply with AS1163.
- S6 - Unless noted otherwise all welds shall be firm continuous fillet from EXXX electrodes, unless noted otherwise.
- S7 - Unless noted otherwise all bolts shall be M16 high strength structural bolts grade 8.8, snug tightened, uno.
- S8 - Unless noted otherwise all connections shall be SM16 bolts, 10mm plate and firm continuous weld.
- S9 - All structural steel work shall have the following level of corrosion protection (coatings listed below by ORICA Australia p1 maybe substituted with a certified

equivalent) All coatings/finishes shall be applied in accordance with the manufacturers specifications and recommendations including surface preparation.

- Internal elements not visible - a single coat (75 microns) of Zincanode 402.
- visible - a first coat (75 microns) of Zincanode 402 and a second coat (100 microns) of Weathermax HBR.
- External elements (> 100mm from waterline including members with an external cavity or within 1m of a significant opening) not visible - a first coat (90 microns) of Zincanode 402 a second coat (60 microns) of Ferreto No 5 and a third coat (60 microns) of Ferreto No 5.
- or Hot Dipped Galvanised to AS 4680.
- visible - a first coat (75 microns) of Zincanode 402 and a second coat (100 microns) of Ferreto No3 and a third coat (100 microns) of Ferreto No3.
- or Hot Dipped Galvanised to AS 4680 and a decorative coating.
- External elements (marine environment ie < 100mm from waterline) Specialist specification from paint manufacturers is to be applied to all members.
- S10 - All work shop drawings are to be reviewed and approved by the Engineer.

TIMBER

- T1 - All workmanship and materials shall be in accordance with AS1720 and AS1684.
- T2 - All exposed timber shall be H3 treated or of durability class 1.
- T3 - All timber in contact with the ground shall be H4 treated or of durability class 1.
- T4 - All exposed cuts shall be treated to achieve H3 or H4 requirements.
- T5 - All softwood shall be minimum F7.
- T6 - All hardwood shall be a minimum F14.
- T7 - All bolt hole s shall be exact size and washers shall be 2.5 x the bolt diameter.

INSPECTIONS

- I1 - Barrenjoey Consulting Engineers shall only inspect works within its capacity as an Engineering Consultancy and will not carry out Mandatory Critical Stage Inspections.
- I2 - Barrenjoey Consulting Engineers will not inspect or certify foundation material adequacy, see F2.
- I3 - All inspections are to be carried out at the request of the projects Principal Certifying Authority, or should independent certification be required at the request of the client or builder.
- I4 - Typical inspections include - Foundation reinforcement Slab on ground reinforcement Suspended concrete reinforcement Steel structures Timber structures Completed Stormwater Management systems
- I5 - The client shall be responsible for any fees for inspections regardless of whom requested them.
- I6 - All re inspection required due to no compliance with issued drawings or that deemed necessary by Barrenjoey Consulting Engineers shall be charged to the client.
- I7 - No certification will be given for works not inspected by Barrenjoey Consulting Engineers.
- I7-48 His notice is required for any inspection within the Sydney region and 72 His notice is required for any inspection outside of this region.

DESIGN LIFE OF THE STRUCTURE

- D1 - The design life of all elements as specified within these documents correspond to that required by the Building Code of Australia and the relevant Australian Standard.
- D2 - The Design life of elements relevant to slope stability may be extended to that required by Private Councils Interim Risk Management Policy by the implementation of a rigorous maintenance and inspection schedule together with additional concrete strength and cover specifications as detailed within these plans.

DRAWING SCHEDULE

- S1.00 - GENERAL NOTES
- S2.00 - STAGE 1 FLOOR FRAMING PLAN
- S2.01 - STAGE 1 FLOOR FRAMING DETAILING 1
- S3.00 - STAGE 1 ROOF FRAMING PLAN

Barrenjoey Consulting Engineers Pty Ltd

Stormwater Structural Civil

PO Box 672

Avalon NSW 2107

P: 9918 6264 F: 9918 3841

M: 0418 620 330

E: lucasbc@bigpond.com

ABN: 13124694917

ACN: 124694917

PROJECT:

PROPOSED

ALTERATIONS & ADDITIONS

64 DOLPHIN CRS

AVALON BEACH

for ~ K. PARKER

DRAWING:

GENERAL NOTES

Job No:

130108

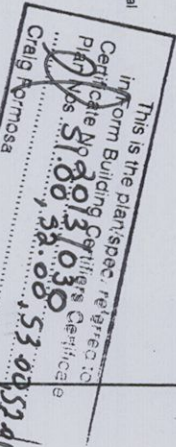
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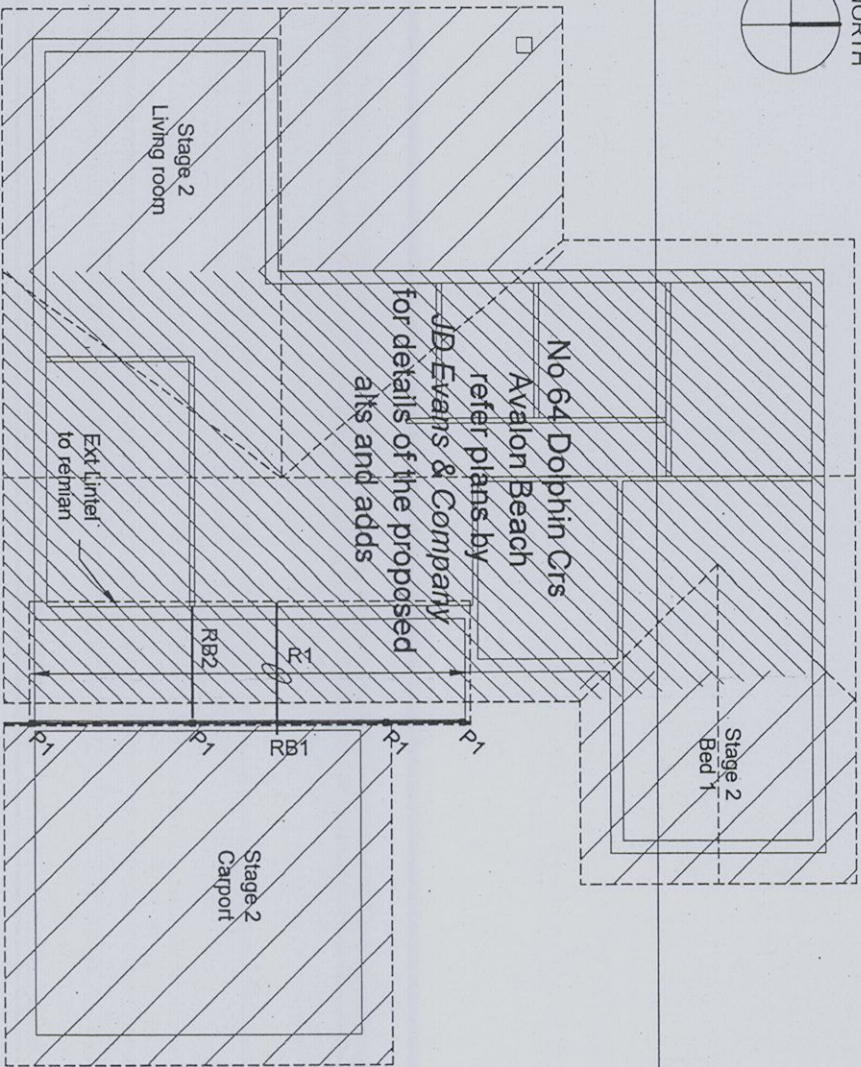
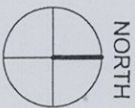
S1.00

Document Certification

Barrenjoey Consulting Engineers Pty Ltd per

LUCAS MOLLOY MEA CPEng NREB Designer






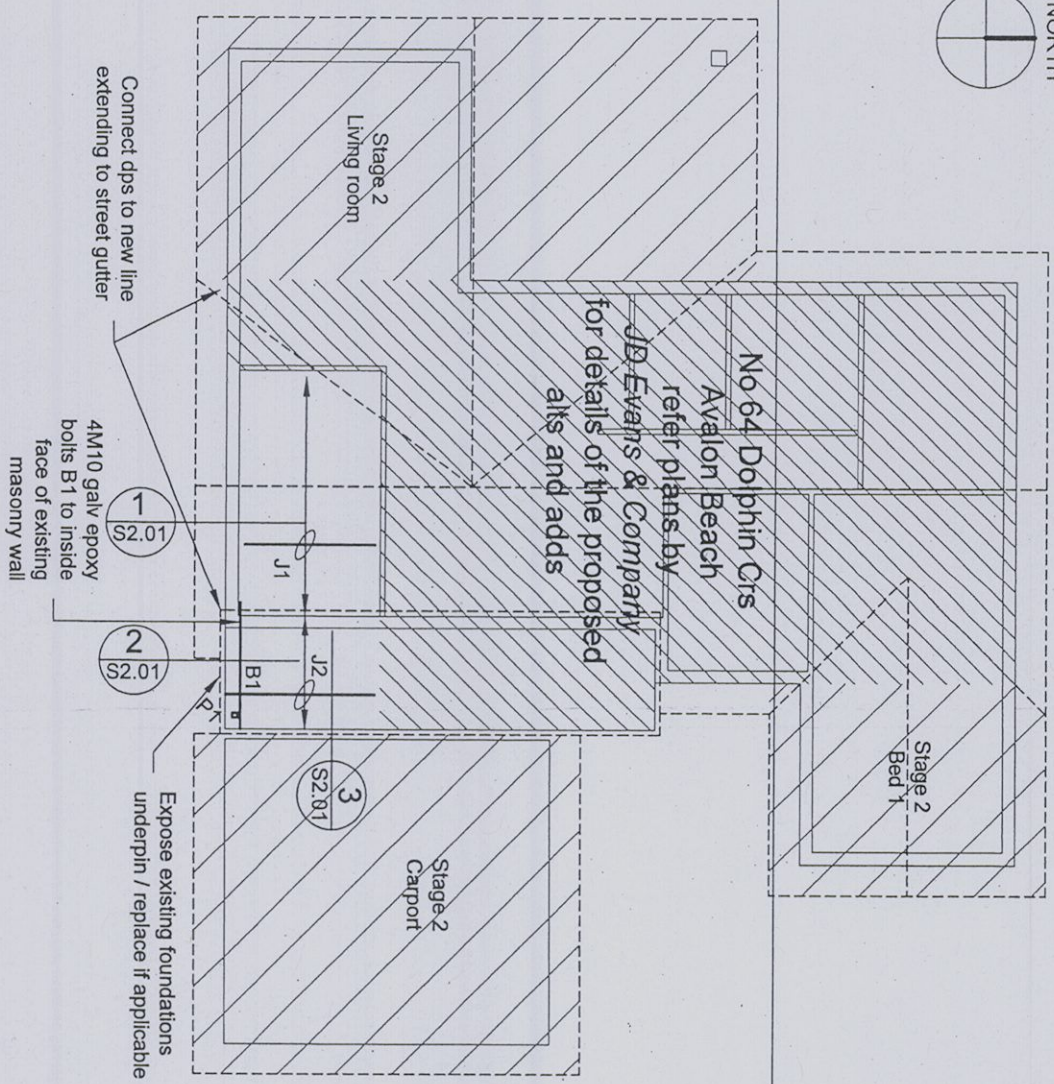
Roof Framing (use H3 timbers if external)  
R1 - 90x45 F7 Rafter @ 600 cts  
RB1 - 2x190x45 F7 H3 or 100 PFC galv Beam  
RB2 - 2x190x45 F7 H3 or 100 PFC galv Beam  
P1 - 90x90 F7 H3 Post  
to support existing framing

# STAGE 1 ROOF FRAMING PLAN

~ 1:100

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PART OF FORM BUILDING  
CERTIFIERS CC / CDC

<b>Barrenjoey Consulting Engineers Pty Ltd</b> Stormwater FO Box 672 Avalon NSW 2107 P: 9918 6264 F: 9918 9841 E: lucas@barrenjoey.com ABN: 13124694917 ACN: 124694917		<b>PROJECT:</b> <b>PROPOSED</b> <b>ALTERATIONS &amp; ADDITIONS</b> <b>64 DOLPHIN CRS</b> <b>AVALON BEACH</b> <b>for ~ K. PARKER</b>		<b>DRAWING:</b> <b>STAGE 1</b> <b>ROOF FRAMING PLAN</b>		<b>Job No:</b> <b>130108</b> <b>Drawing No:</b> <b>S3.00</b>		<b>Document Certification</b> Barrenjoey Consulting Engineers Pty Ltd per Lucas Molloy MBEA CPEng MPEng Director			
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## STAGE 1 FLOOR FRAMING PLAN

~ 1:100

- Floor Framing
- J1 - 190x45 F7 or 150x45 Hyspan M Joists @ 450 cts
  - J2 - 190x45 F7 H3 or 150x45 Hyspan M H3 Joists @ 450 cts
  - B1 - 140x45 F7 H3 Beam
  - P1 - 90x90 F7 H3 Post

NOTE - Verandah (new and ext) to be propped for Stage 2 excavation etc

THIS PLAN / DOCUMENT FORMS  
PART OF FORM BUILDING  
CERTIFIERS CC / CDC

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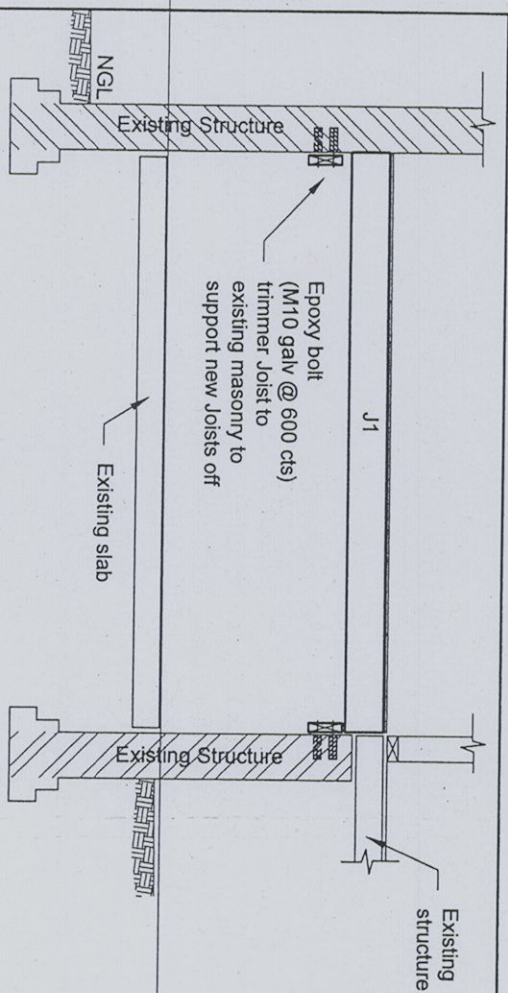
**PROJECT:**  
**PROPOSED**  
**ALTERATIONS & ADDITIONS**  
**64 DOLPHIN CRS**  
**AVALON BEACH**  
**for ~ K. PARKER**

**DRAWING:**  
**STAGE 1**  
**FLOOR FRAMING PLAN**

Job No: **130108** Drawing No: **S2.00**

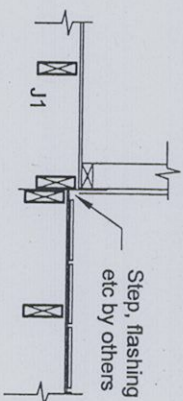
Document Certification  
per  
Barrenjocy Consulting Engineers Pty Ltd  
Lucas Molloy MEA CPENG NREER DIRECTOR

*[Signature]*  
13



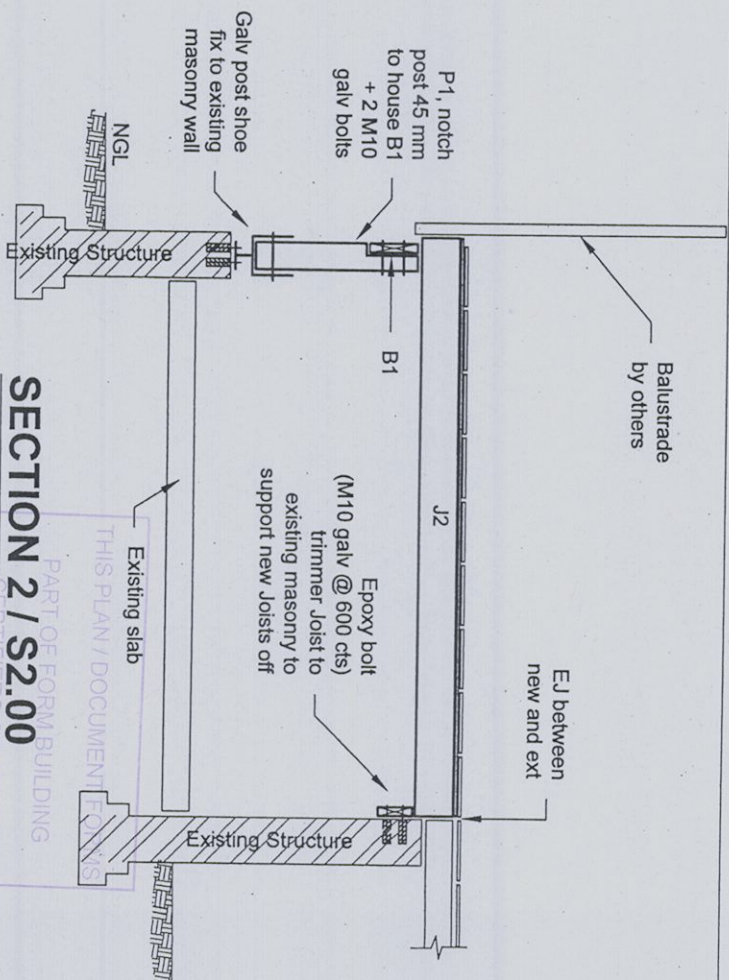
## SECTION 1 / S2.00

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## SECTION 3 / S2.00

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## SECTION 2 / S2.00

~ 1:20

THIS PLAN / DOCUMENT IS PART OF FORM BUILDING IDENTIFIERS CC / CDC

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ACN: 124694917

**PROJECT:**

**PROPOSED  
ALTERATIONS & ADDITIONS**  
64 DOLPHIN CRS  
AVALON BEACH  
for ~ K. PARKER

**DRAWING:**

**STAGE 1  
FLOOR FRAMING  
DETAILING 1**

**Job No: 130108**

**Drawing No: S2.01**

**Document Certification**  
Barrenjocy Consulting Engineers Pty Ltd  
per  
Lucas Molloy MEA CPENG WREB LKWBX

5/13

DEVELOPMENT CALCULATIONS		
SITE AREA	696.80 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
FLOOR	101.44	148.64
ROOF	110.80	148.64
DRIVEWAY	46.08	23.40
DECKING	48.40	23.40
CUBBY	4.86	4.86
CARPORT		39.68
SWIMMING POOL		13.50
FRONT VERANDAH	10.20	16.80
REAR VERANDAH		22.50
AWNING	20.00	
TOTAL HARD SURFACE	240.34 (34.49%)	292.78 (42.02%)

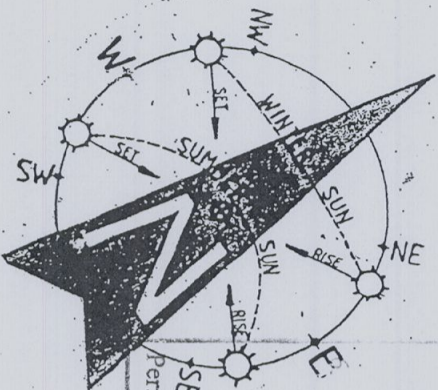
## SYDNEY WATER APPROVED

- Position of structure in relation to Sydney Water's assets is satisfactory.
  - Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drainier.
  - It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
  - Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice.
  - Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
- Property No. 3413507

*Reece, Brookvale,*  
*Quick Check Agent on behalf of*  
*SYDNEY WATER*

*Reece*  
*Approved Stage 1*  
*only*

- NOTES:
- THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
  - SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.



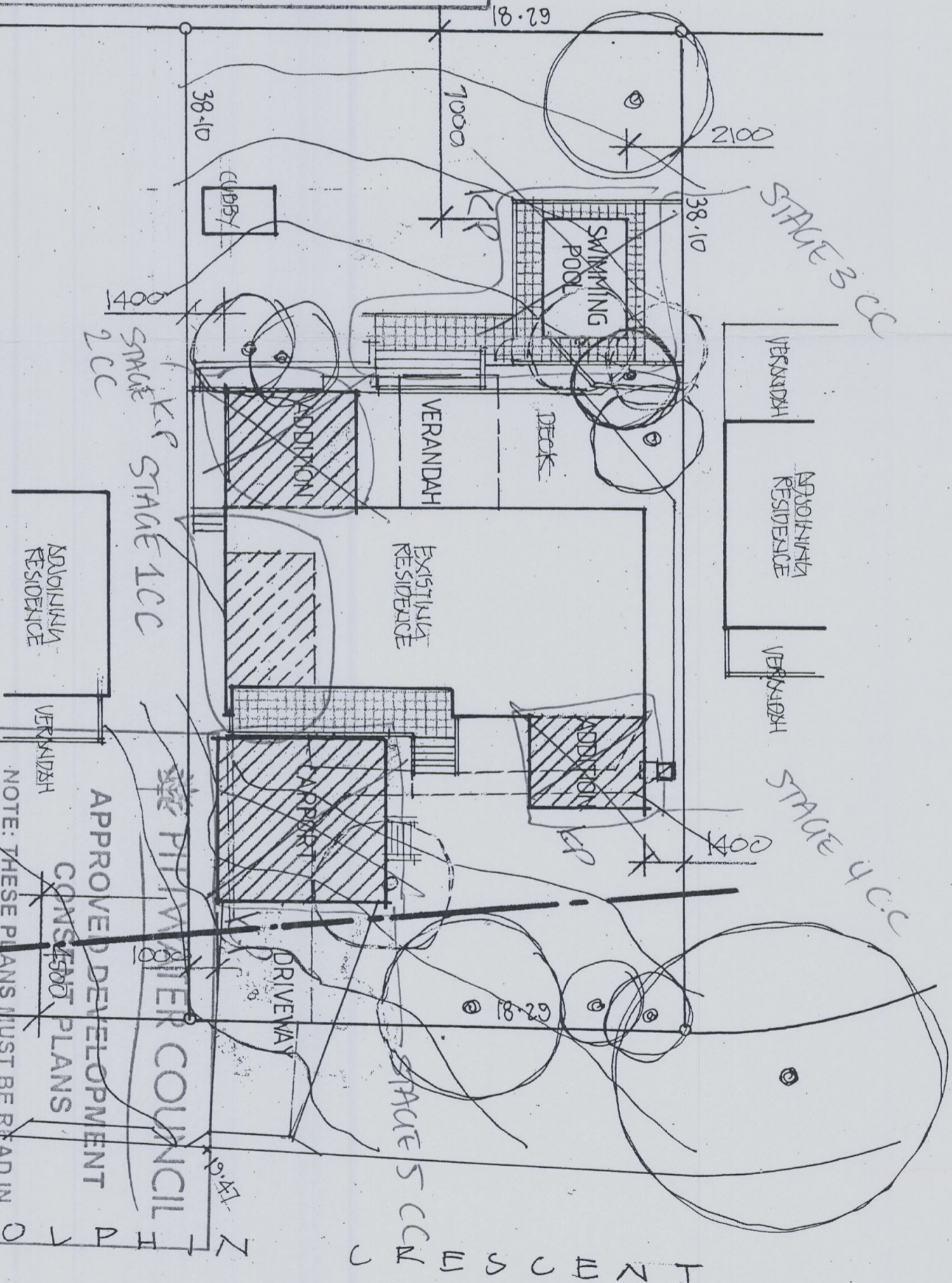
## SITE PLAN

LOT 55 IN D.P. 28663

APPROVED DEVELOPMENT  
CONSISTING OF  
PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.



- Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
- All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
- All work to be in accordance with BUILDING CODE of AUSTRALIA & is the reflection of local council requirements & other authorities.
- All timber construction to be in accordance with the Timber Framing code.
- Any detailing in relation to steel is subject to be reviewed between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a structural Engineer.
- Roof slope & sub-slab drainage to be determined by the approved plumber or as directed by local council inspectors.
- Approved power & light cables to be determined by the approved electrician.
- When erecting and/or demolishing structures, the owner is to ensure that the site is left in a safe condition.

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COPYING SAME, WHOLLY OR IN PART, WITHOUT  
PRIOR WRITTEN PERMISSION WILL RESULT IN  
LEGAL PROCEEDINGS.

No.	AMENDMENT	DATE

**J.D. EVANS and COMPANY**  
DESIGN AND BUILDING CONSULTANTS  
74 RIVERA AVENUE, AVALON BEACH 2107  
Phone: 9818 9208 mobile 0418 976 586  
www.jdeco.com.au email info@jdeco.com.au

PROJECT  
PROPOSED ALTERATIONS / ADDITIONS  
No. 64 DOLPHINE CRESCENT  
AVALON BEACH N.S.W. 2107  
CLIENT  
KATHRYN PARKER

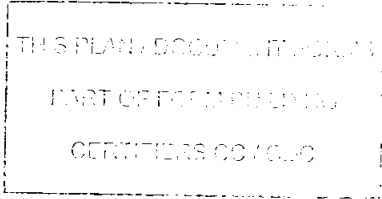
DATE 9/8/2012	SCALE 1:200
DRAWN JOE	CHECKED
ISSUE	1476-1

# Levy Online Payment Receipt



Thank you for using our Levy Online payment system. Your payment for this building application has been processed.

Applicant Name:	KATHRYN PARKER
Levy Application Reference:	5038848
Application Type:	DA
Application No.:	331/12
Local Government Area/Government Authority:	PITTWATER COUNCIL
Site Address:	64 DOLPHIN CRESCENT
	AVALON
	NSW
	2107
Value Of Work:	\$185,600
Levy Due:	\$649
Levy Payment:	\$649
Online Payment Ref.:	685916471
Payment Date:	29/01/2013 6:55:51 PM





# Home Warranty Insurance Fund

calliden  
group

NSWMBIS/145510-PermitAuthority

1/02/2013

Glen Allan McMichael  
8 Scotney Place  
COLLAROY NSW 2097

Calliden Insurance Ltd  
ABN 47 004 125 268 AFS Licence 234438  
Level 9, 11-33 Exhibition Street  
MELBOURNE VIC 3000  
Phone: (03) 9637 1300 FAX: 1300 662 215

## Certificate of Insurance RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with sections 92 and 96A of the Home Building Act 1989 has been issued by **Calliden Insurance Limited** (ABN 47 004 125 268) (AFSL 234438) as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for management of the Home Warranty Insurance Fund.

In respect of: Structural Alterations/Additions

At: 64 Dolphin Crescent  
AVALON NSW 2107

Carried out by: Glen Allan McMichael

Licence Number: 42303C

ABN: 17 836 685 017

For: Kathryn Parker

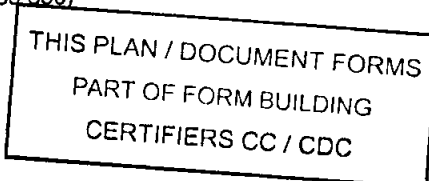
In the amount of: \$48,700.00

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to:

- a beneficiary described in the contract and successors in title to the beneficiary,
- OR
- the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

**Authorisation:** Signed by Calliden Insurance Ltd (ABN 47 004 125 268) (AFSL 234438) as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650)

Issued on the 1st day of February, 2013.



**NOTICE:** To download a copy of your insurance policy wording visit <http://www.policywording.com.au>.