

JOHN J BRIGGS

ASSOCIATES

ACCREDITED BUILDING CERTIFIERS
ABN 99 089 896 159

Mr J & Mrs D Owens
2 Milga Road
AVALON NSW 2107

Construction Certificate

Certificate

I certify that if the work is completed in accordance with the attached plans and specifications which have been approved, it will comply with the requirements of Section 81A (5) of the Environmental Planning and Assessment Act 1979. This certificate is issued without any conditions for the following premises:

Address of Property: 2 Milga Road Avalon

Plan Numbers Approved: WD-01E & WD-02E dated 4/3/02; S01/S05 dated 20/12/01; S02(A)/S03(B)/S04(A)/S06 dated 3/4/02; Dwg 1/2 (landscape detail)

Construction Certificate No: 0358CC2

Date of this Decision and Certificate: 10th July 2002

Certifying Authority: John J Briggs Associates Pty Ltd

Signature: 

Name of accredited Certifier: John Briggs

Accreditation Body: BSAP

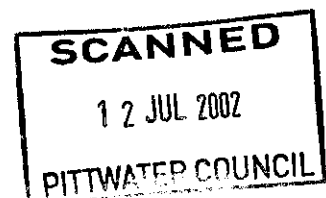
Accreditation No: 3825

Proposal: Amended garage and stair relocation, and modified landscaping details

Development Consent No: N0537/01(as modified 14/6/02)

Date of Determination: 30/8/2001

Council Area: Pittwater



Application for a construction certificate

John J Briggs Associates P/L
PO Box 800
Brookvale NSW 2100
Phone (02) 9907 1018
Fax (02) 9907 1344
jjbassoc@bigpond.com.au

If you want to carry out some building work or subdivision work (such as building roads or a stormwater drainage system), you need a construction certificate before you can start work. You can use this form to apply for a construction certificate. To complete the form, please place a cross in the boxes ☐ and fill out the white sections as appropriate. To minimise delay in receiving a decision about your application, please ensure you submit all relevant information. You need to apply to a certifying authority (either your council or a private certifier).

1. Details of the applicant

Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other ☐

First name

Mr J & Mrs D

Family name

Owens

Flat/street no.

2

Street name

Milga Road

Suburb or town

Avalon

State

NSW

Postcode

2107

Daytime telephone

Fax

Mobile

Email

2. Identify the land

Flat/street no.

2

Street name

Milga Road

Suburb or town

Avalon

Postcode

2107

Lot no.

Section

DP/MPS no.

Volume/folio

You can find the lot no., section, DP/MPS no. and volume/folio details on a map of the land or on the title documents for the land. If you need additional room, please attach a schedule and/or a map with these details.

3. Estimated cost of the development

\$

N/A
Amended plans

including GST

4. Describe the development

What type of work do you propose to carry out?

Building work ☐

Subdivision work ☐

Describe the work

Amended garage and stair relocation, and modified landscaping details

For building work, what is the class of the building under the Building Code of Australia?

10a

This can be found on the development consent

Has development consent been granted for the development?

No ☐

Yes ☒

What is the development application no.?

N0537/01

(as modified 14/6/02)

What date was development consent granted?

30/8/2001

4. Information to be attached to the application

You need to provide material with your application that is relevant to the type of work you propose to do. Please indicate the material you have attached by placing a cross in the appropriate boxes ☐.

1. If you are going to carry out **building work**:

- ☐ a copy of any compliance certificates on which you rely
- ☐ detailed plans of the building (4 copies)

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any), and their height, design and construction

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved, please mark the general plan (by colour or otherwise) to show the change you propose to make.

- ☐ detailed specifications of the building (4 copies)

The specifications are to:

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second-hand materials to be used.

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.

- ☐ a plan of the existing building, drawn to scale, where the application involves building work to alter, enlarge or extend that building

This plan will assist the certifying authority to assess whether the work will reduce the fire protection capacity of the building.

- ☐ where you propose to meet the performance requirements of the Building Code of Australia (BCA) by using an alternative solution to the deemed-to-satisfy provisions of the BCA:
- a list of the performance requirements you will meet by using the alternative solution
 - the details of the assessment methods you will use to meet those performance requirements
 - a copy of any compliance certificates on which you rely
- ☐ evidence of any accredited component, process or design on which you seek to rely
Components, processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2000.
- ☐ details of the fire safety measures, unless you are building a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool). These details are to include:
- a list of any fire safety measures you propose to include in the building or on the land
 - if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
- The lists must describe the extent, capability and the basis of design of each measure.*
- ☐ the attached schedule, completed for the development
The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy. Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services
- You may also need to pay a long service levy under section 34 of the Building and Construction Industry Long Service Payments Act 1986 (or where such a levy is payable by instalments, the first instalment of the levy) before the certifying authority can issue a certificate to you.**

2. If you are going to **carry out work to do a subdivision** (eg building roads or a stormwater drainage system):
- ☐ the details of the existing and proposed subdivision pattern (including the number of lots and the location of roads)
- ☐ the details of the consultation you have carried out with the public authorities who provide or will increase the services you will need (like water, road, electricity, sewerage)
- ☐ the existing ground levels and the proposed ground levels when the subdivision is completed
- ☐ copies of any compliance certificates on which you rely
- ☐ detailed engineering plans (4 copies). The detailed plans might include the following:
- earthworks
 - roadworks
 - road pavement
 - road furnishings
 - stormwater drainage
 - water supply works
 - sewerage works
 - landscaping works
 - erosion control works

Where you propose to modify plans that have already been approved, please mark the approved plans (by colour or otherwise) to show the modification.

5. continued

3. If you are going to **change the use of a building** or the classification of a building under the Building Code of Australia and you are doing building work (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool)):

- ☐ a list of any fire safety measures you propose to include in the building or on the land
- ☐ if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
- ☐ details as to how the building will comply with the Category One fire safety provisions of the Building Code of Australia

The lists of fire safety measures must describe the extent, capability and the basis of design of each measure.

6. Signatures

The owner(s) of the land must sign this application if:

- at the time the owner signed the development application, the owner did not give consent to the applicant to lodge a construction certificate, or
- the owner of the land has changed since the owner signed the development application.

As the owner(s) of the above property, I/we consent to this application:

Signature

See attached letter

Name

Date

Signature

Name

Date

The applicant, or the applicant's agent, must sign the application.

Signature

Name, if you are not the applicant

Date

In what capacity are you signing if you are not the applicant?

7. Privacy policy

The information you provide in this application will enable your application to be assessed by the certifying authority. If the information is not provided, your application may not be accepted. Please contact the council if the information you have provided in your application is incorrect or changes.

Schedule to application for a construction certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

1/2 -
 110.000 sqm
 110.000 sqm

Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

Yes ☐ No ☐

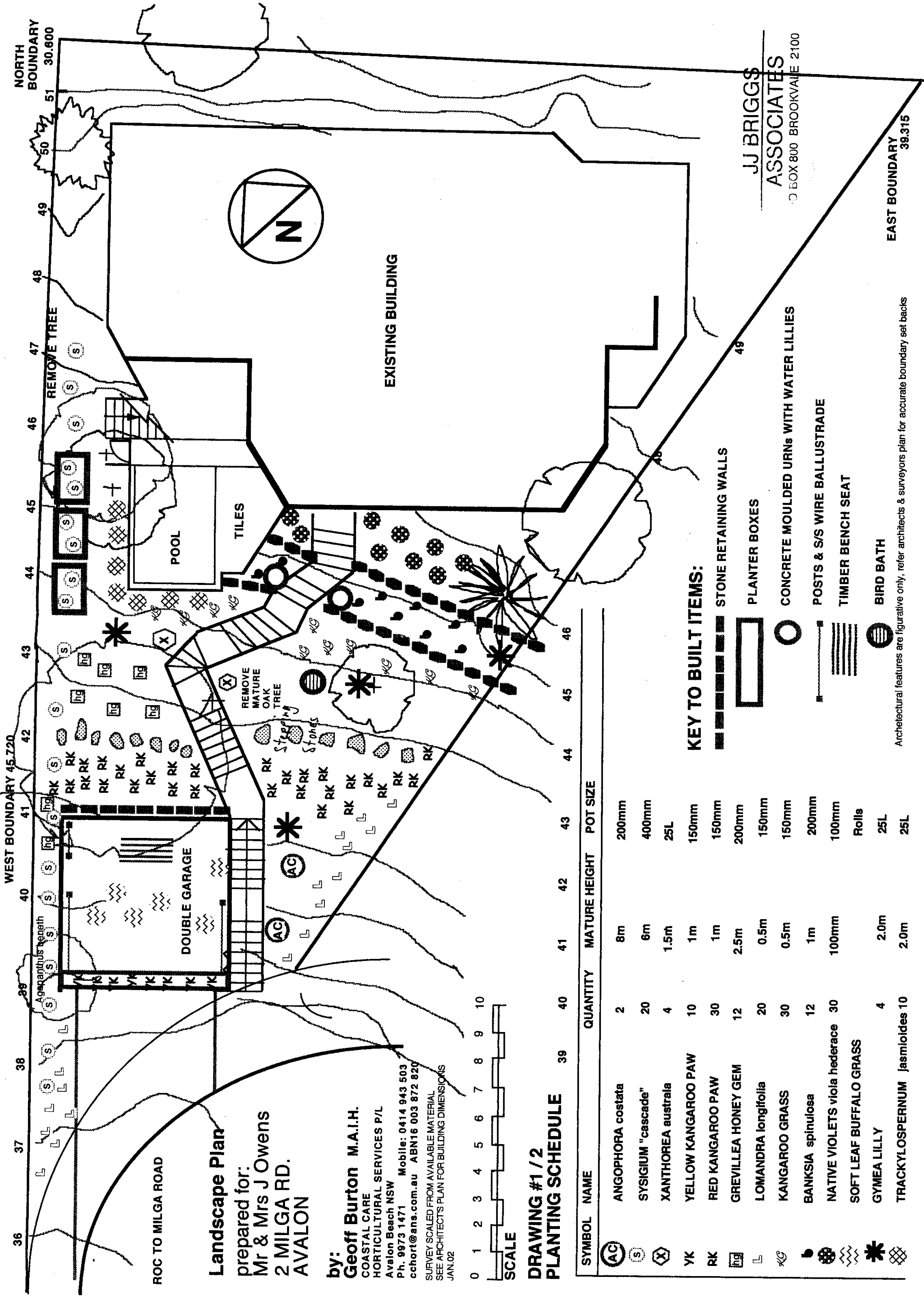
Yes ☐ No ☐

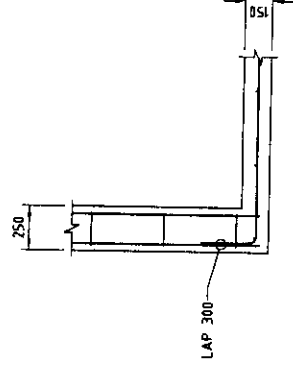
Yes ☐ No ☐

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☐ 10	Concrete or slate	☐ 20	Timber	☐ 40
Brick (veneer)	☐ 12	Concrete or slate	☐ 20	Timber	☐ 40	Steel	☐ 60
Concrete or stone	☐ 20	Fibre cement	☐ 30	Other	☐ 80	Aluminium	☐ 70
Fibre cement	☐ 30	Steel	☐ 60	Not specified	☐ 90	Other	☐ 80
Timber	☐ 40	Aluminium	☐ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☐ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not specified	☐ 90						





DETAIL A
SCALE = 1:20

**JJ BRIGGS
ASSOCIATES**
PO BOX 800 BROOKVALE 2100

DRAWING CERTIFICATION

I am a qualified **STRUCTURAL ENGINEER**

I hold the following qualifications **MPER**
ME(Aus) (PEng) **Membership No. 155043**

Further I am appropriately qualified to certify this component of the project.

I hereby state that this drawing structurally complies with the conditions of development consent, the provisions of the Building Code of Australia and relevant Australian standards.

Name **KARL HANSEN** Signature *Karl Hansen*

For Taylor and Herbert Consultants Pty Ltd Date **3-9-08**

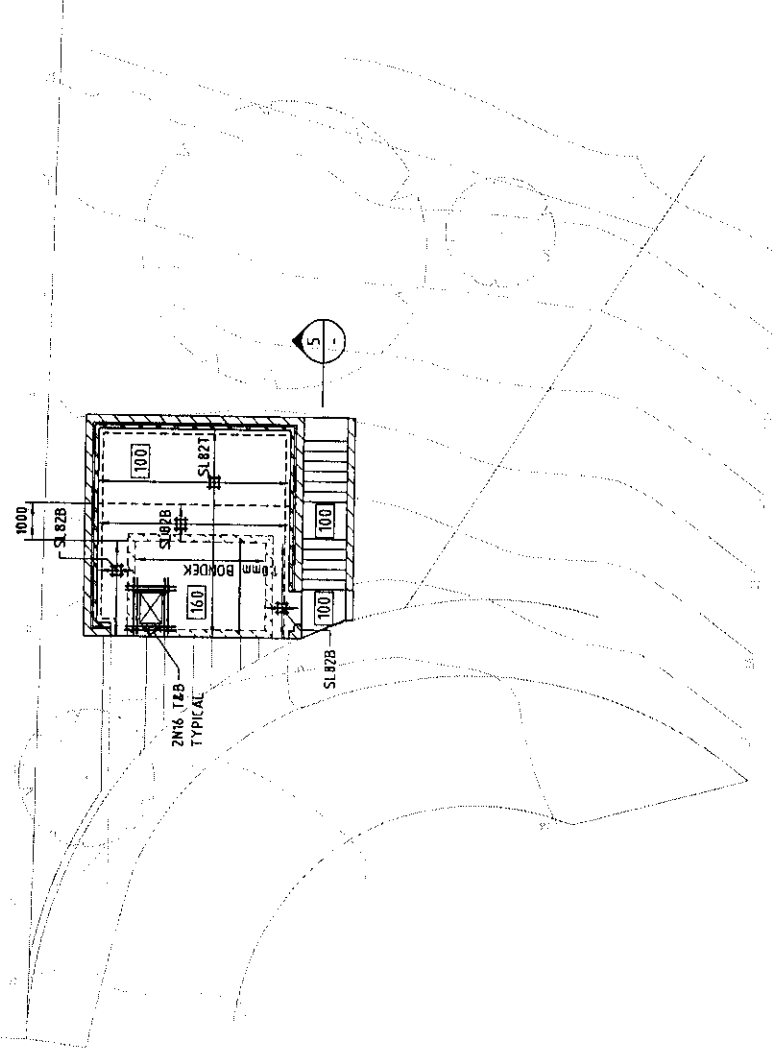
A	28-43-42	REVISED TO SUIT AMENDED GARAGE
REV.	DATE	DESCRIPTION
JOB		NEW GARAGE AT 2 MILGA ROAD AVALON
CLIENT		MR & MRS J OWENS
SHEET		FOOTING PLAN AND DETAILS

DESIGN	KFM	SCALES	1:100	REV. NO.	A
DRAWN	RJT	DATE	Dec '01	DWG. NO.	S02
A.C.N.	01 559 145	APP'D		DOP. NO.	010305

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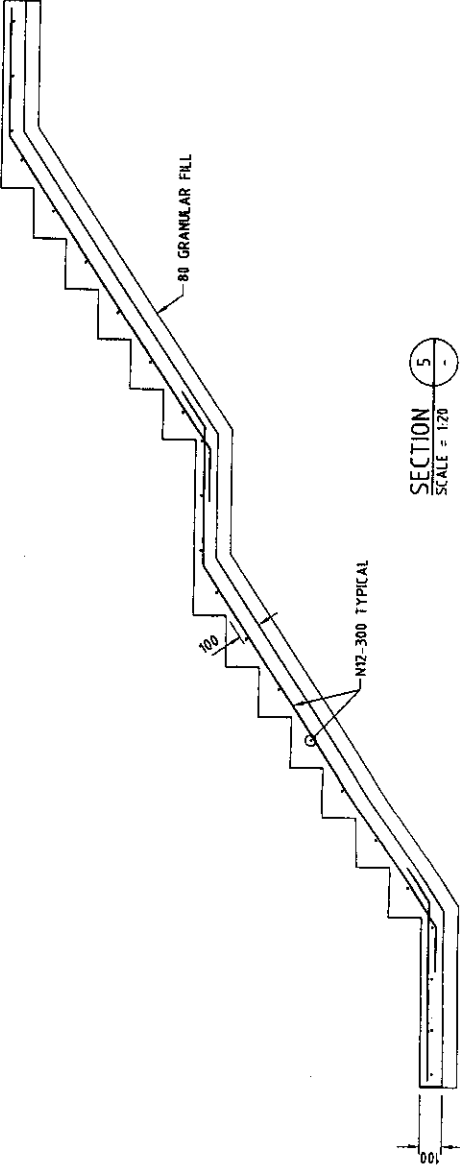


LOWER LEVEL PLAN
SCALE 1:100

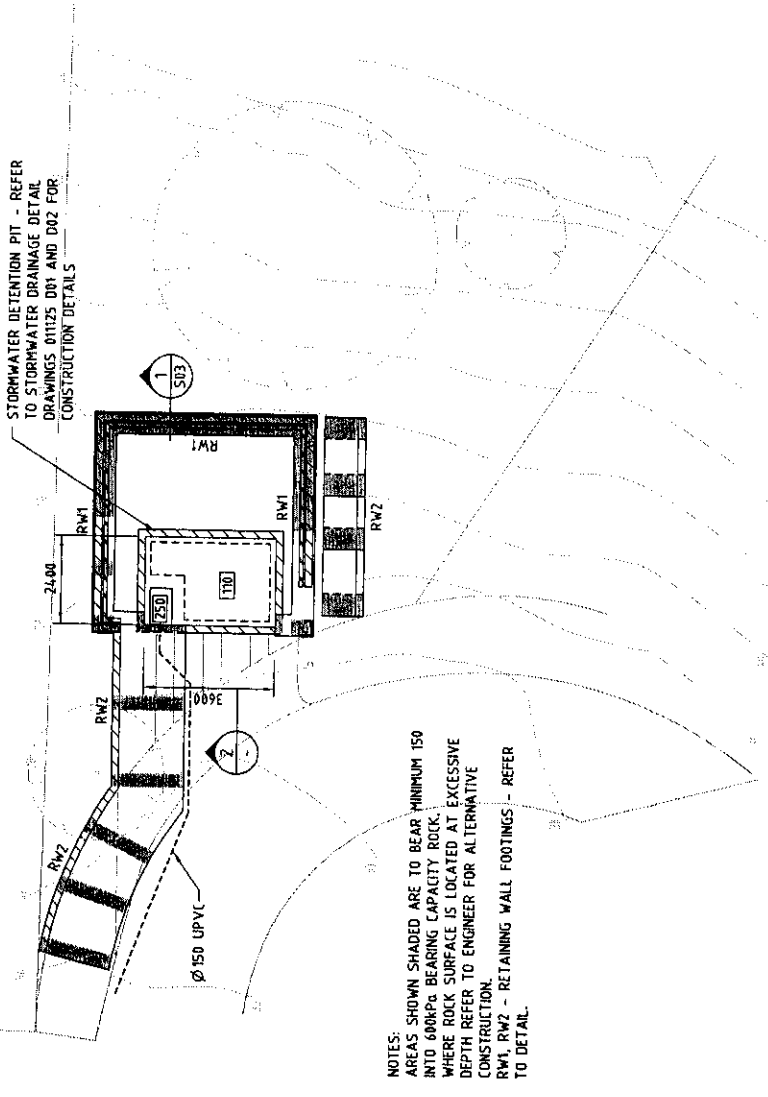
SCALE 1:100

SLAB THICKNESS SHOWN THUS 100

SLABS 100 THICK TO BE SUPPORTED ON CUT OR
COMPACTED GROUND. PROVIDE SL72 FABRIC TOP THROUGHOUT UNO.

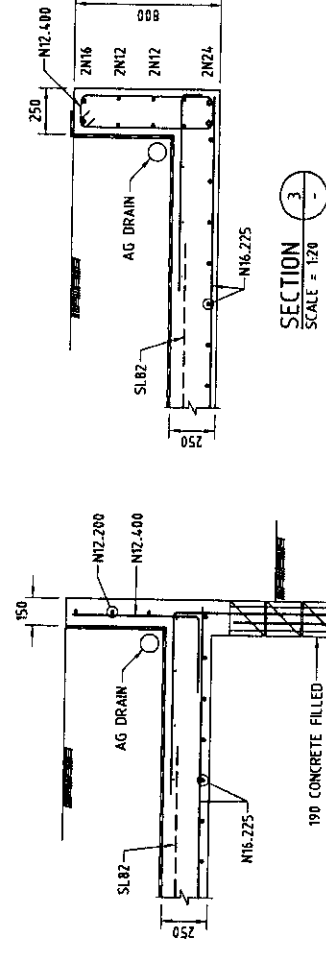


SECTION 5
SCALE = 1:20

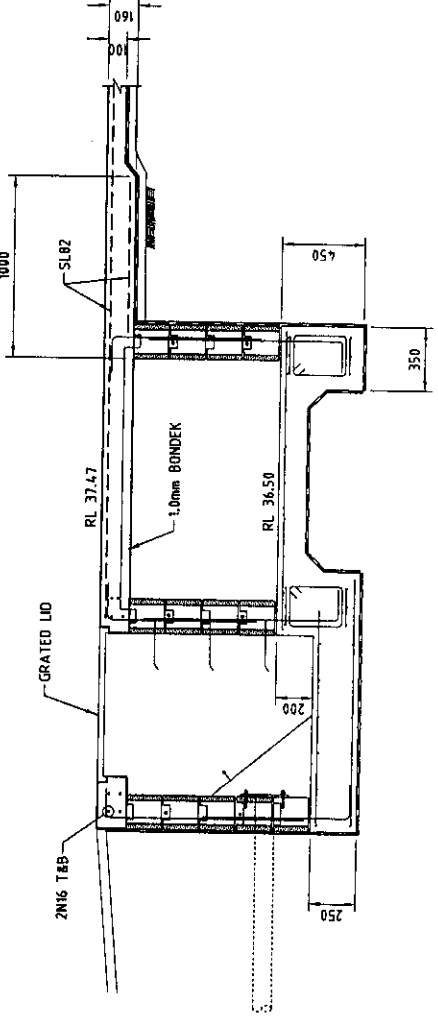


NOTES:
AREAS SHOWN SHADED ARE TO BEAR MINIMUM 1500
INTO 600kPa BEARING CAPACITY ROCK.
WHERE ROCK SURFACE IS LOCATED AT EXCESSIVE
DEPTH REFER TO ENGINEER FOR ALTERNATIVE
CONSTRUCTION.
RW1, RW2 - RETAINING WALL FOOTINGS - REFER
TO DETAIL.

FOOTING PLAN
SCALE 1:100



SECTION
SCALE = 1:20
3

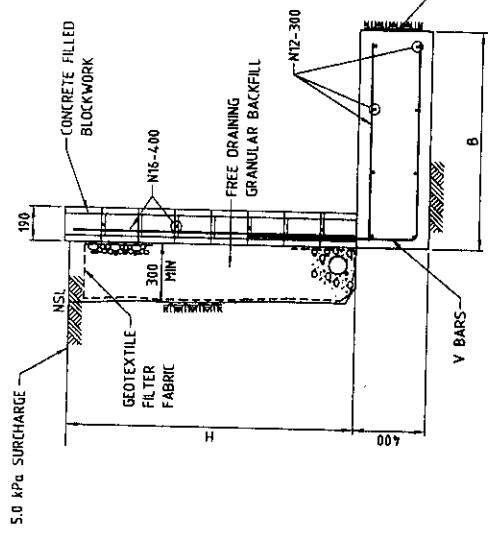


SECTION 2

SCALE = 1:20

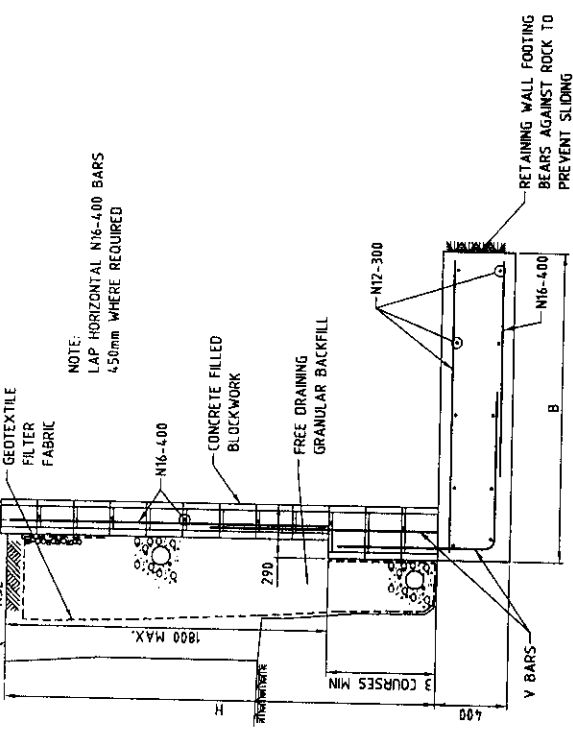


H (mm MAX)	B (mm MIN)	V BARS
2000	1400	N20-400
1600	1200	N16-400
1200	1000	N16-400



WALLS TO 2000 HIGH
SCALE 1:20

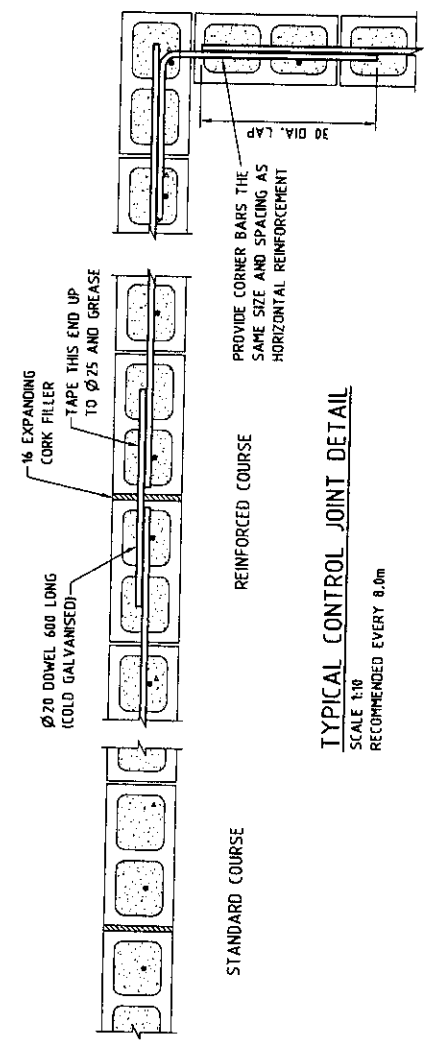
H (mm MAX)	B (mm MIN)	V BARS
3200	2500	N20-200
2800	2100	N16-200
2400	1700	N16-400
2000	1400	N16-400



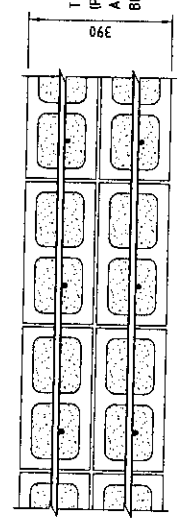
WALLS OVER 2000 HIGH
SCALE 1:20

RETAINING WALL SECTIONS

ALL REINFORCEMENT TO BE LAPPED 30x BAR DIAMETER MINIMUM
* MAYBE REDUCED TO 300 WHERE EXCAVATED INTO ROCK

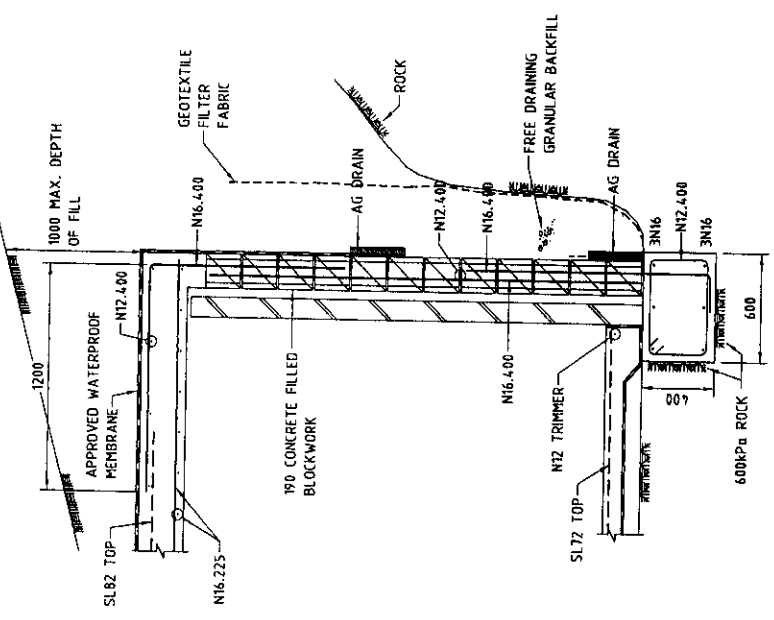
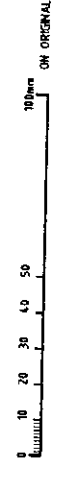


TYPICAL CONTROL JOINT DETAIL
SCALE 1:10
RECOMMENDED EVERY 8.0m



ALTERNATE CONSTRUCTION FOR
300 WIDE BLOCKWORK STEM

STANDARD BLOCKWORK DETAILS
SCALE 1:10



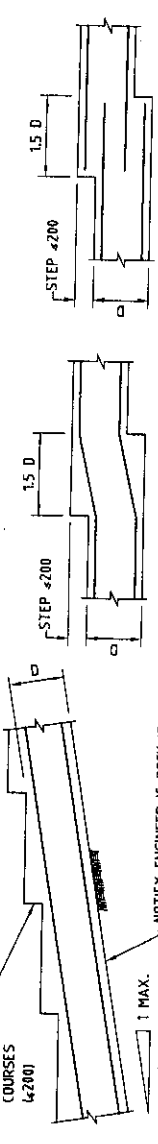
SECTION 1
SCALE = 1:20

GARAGE RETAINING WALL DETAIL R/W1
- DO NOT BACKFILL UNTIL ROOF SLAB IS CONSTRUCTED

BRICK RETAINING WALL

SCALE 1:10
J.J. BRIGGS ASSOCIATES

BOX 800 BROOKVALE 2100



ALTERNATIVE STEP DETAILS

TYPICAL RETAINING WALL FOOTING DETAILS
SCALE 1:20

NOTE: FOUNDATION TRENCHES ARE TO BE EXCAVATED
MINIMUM 50 INTO NATURAL GROUND

REV.	DATE	DESCRIPTION
B	26-03-02	SECTION 1 AMENDED
A	10-01-02	NOTE RE SHORING DELETED

NEW GARAGE AT
2 MILGA ROAD
AVALON

CLIENT
MR & MRS J OWENS

SHEET
RETAINING WALL DETAILS

DRAWING CERTIFICATION

I am a qualified STRUCTURAL ENGINEER

I hold the following qualifications: NER

NAME: KAREL MATSIN

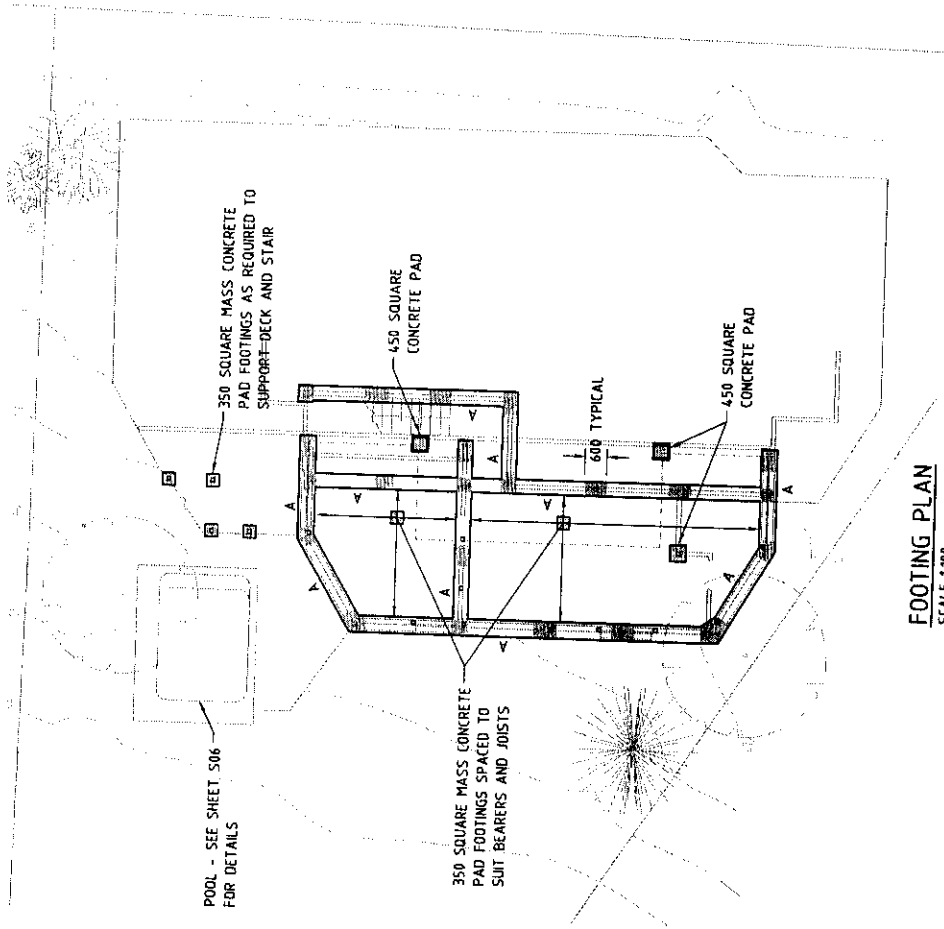
Signature: [Signature]

Date: 3-9-02

For Taylor and Herbert Consultants Pty Ltd

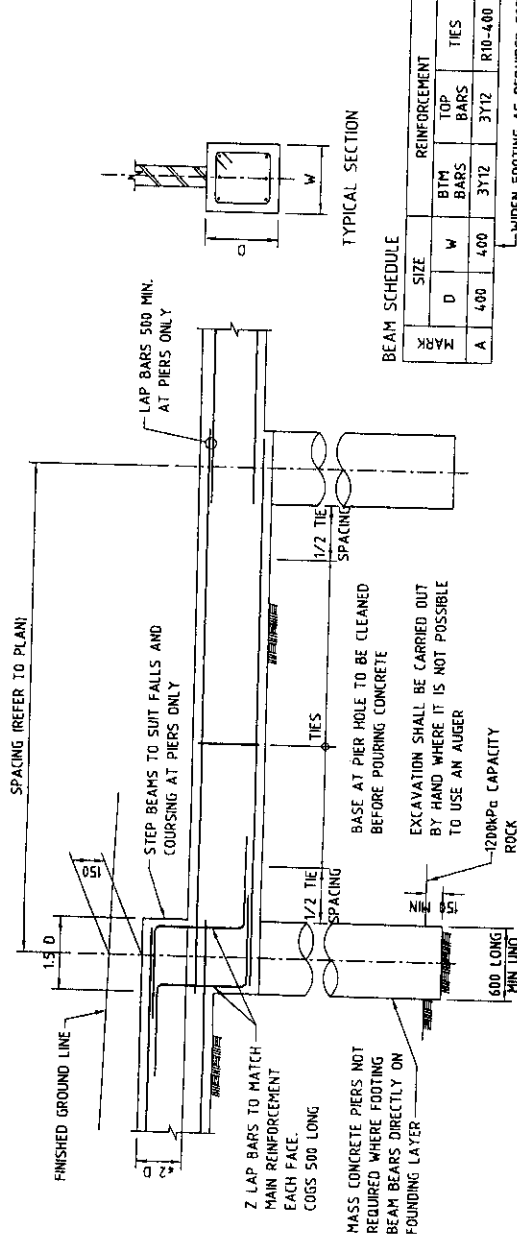
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DESIGN KFH SCALES 1:20 REV. NO. B
DRAWN RJT DATE Dec '01 DWG. NO. 503
A.C.N. 073 559 145 APP'D JOB NO. 010305
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FOOTING PLAN
SCALE 1:100

NOTES:
AREAS SHOWN SHADED ARE TO BEAR MINIMUM 150 INTO 600 kPa BEARING CAPACITY ROCK.
WHERE ROCK SURFACE IS LOCATED AT EXCESSIVE DEPTH REFER TO ENGINEER FOR ALTERNATIVE CONSTRUCTION.
A - TYPE A FOOTING BEAM.



TYPICAL PIER & BEAM DETAILS
SCALE 1:20

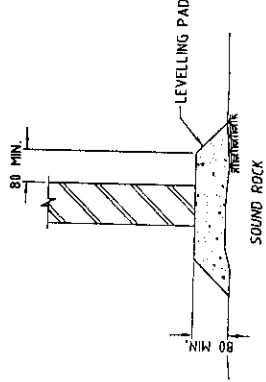
NOTE:
FOOTING BEAM DEPTHS CAN BE REDUCED TO MINIMUM 300 DEEP WHERE BEARING DIRECTLY ON ROCK FOR CONTINUOUS LENGTHS
SUPPORT OF WALLS ON SOUND ROCK VIA LEVELLING PADS MAYBE ACCEPTABLE - REFER TO ENGINEER FOR APPROVAL

BEAM SCHEDULE

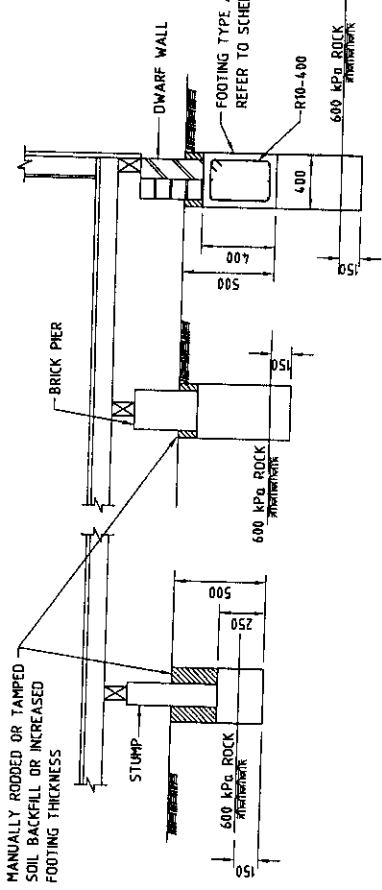
SIZE	W	BTM BARS	TOP BARS	TIES
D	400	3Y12	3Y12	R10-400
A	400	3Y12	3Y12	R10-400

WIDEN FOOTING AS REQUIRED FOR RETAINING WALL AND TO FULLY SUPPORT STRUCTURE OVER

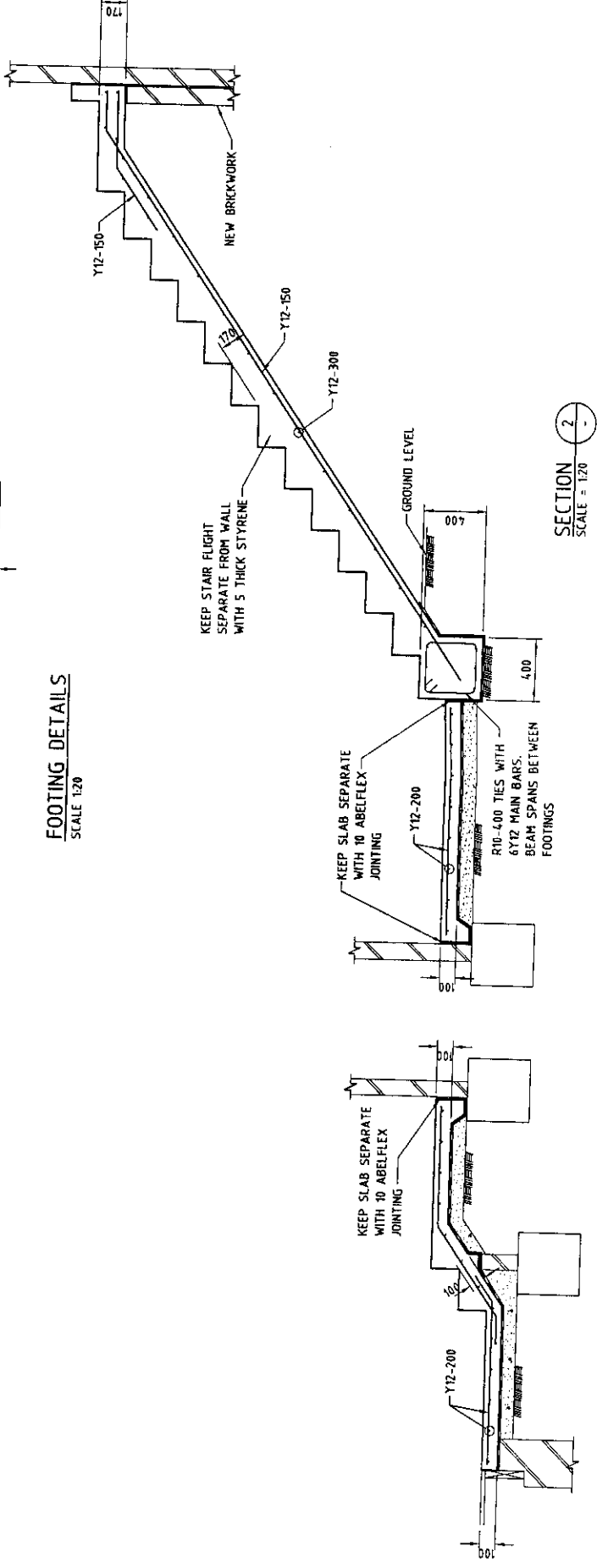
TYPICAL SECTION



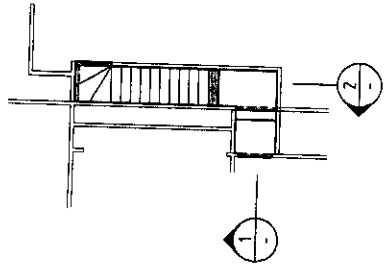
LEVELLING PAD DETAIL
SCALE 1:10
PROVIDE PIER AND BEAM FOOTING SYSTEM WHERE NO CONTINUOUS ROCK FOUNDATION MATERIAL IS PRESENT
USE LEVELLING PAD ONLY WHERE APPROVED BY THE ENGINEER



FOOTING DETAILS
SCALE 1:20



SECTION 2
SCALE = 1:20



STAIR PLAN
SCALE 1:100
SHADED AREAS ARE LOAD-BEARING



JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

DRAWING CERTIFICATION

I am a qualified STRUCTURAL ENGINEER
I hold the following qualifications: NPER
MEMBER: EPENg Membership No. 158443

Further I am appropriately qualified to certify this component of the project.
I hereby state that this drawing structurally complies with the conditions of development consent, the provisions of the Building Code of Australia and relevant Australian Standards.

Name: KAMIL MATYSZKA Signature: *Kamil Matyszka*
For Taylor and Herbert Consultants Pty Ltd Date: 3-9-09

REV. NO. A
REV. DATE 28-03-02
DESCRIPTION POOL REVISED

JOB 2 MILGA ROAD
ALTERATIONS AND ADDITIONS TO
AVALON

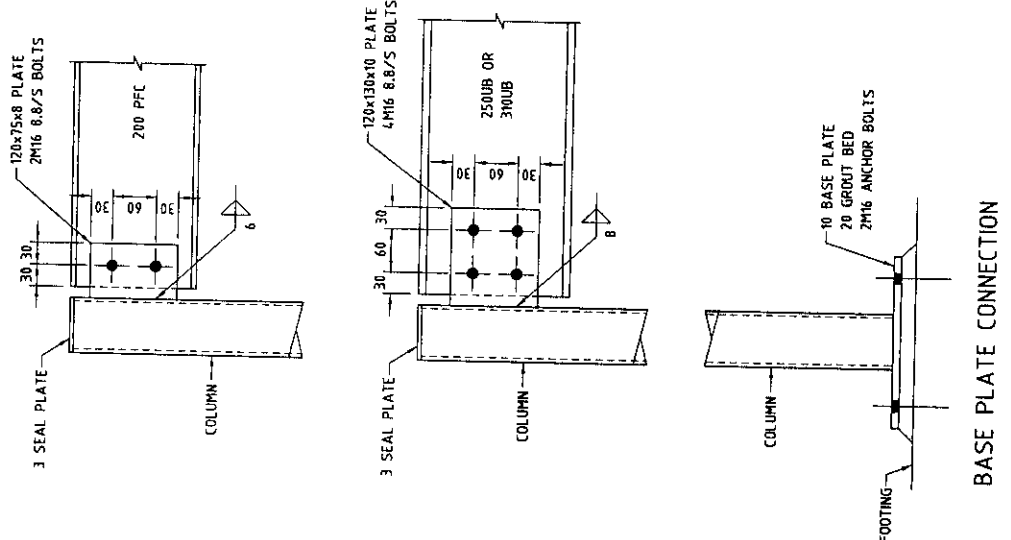
CLIENT MR & MRS J OWENS

SHEET FOOTING PLAN AND DETAILS

DESIGN KPM SCALES 1:100 REV. NO. A
DRAWN RJT DATE Dec '01 DWG. NO. S04
A.C.N. 073 559 145 APP'D JOB NO. 010305

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TYPICAL CONNECTION DETAILS
SCALE 1:5

DRAWING CERTIFICATION

I am a qualified **STRUCTURAL ENGINEER**
I hold the following qualifications **IPER**
ME Aust CPENG Membership No. **158043**

Further I am appropriately qualified to certify this component of the project.
I hereby state that this drawing structurally complies with the conditions of development consent, the provisions of the Building Code of Australia and relevant Australian standards.

Name **KARL MATSZEK** Signature *Karl Matszek*
For Taylor and Herbert Consultants Pty Ltd Date **20-12-91**

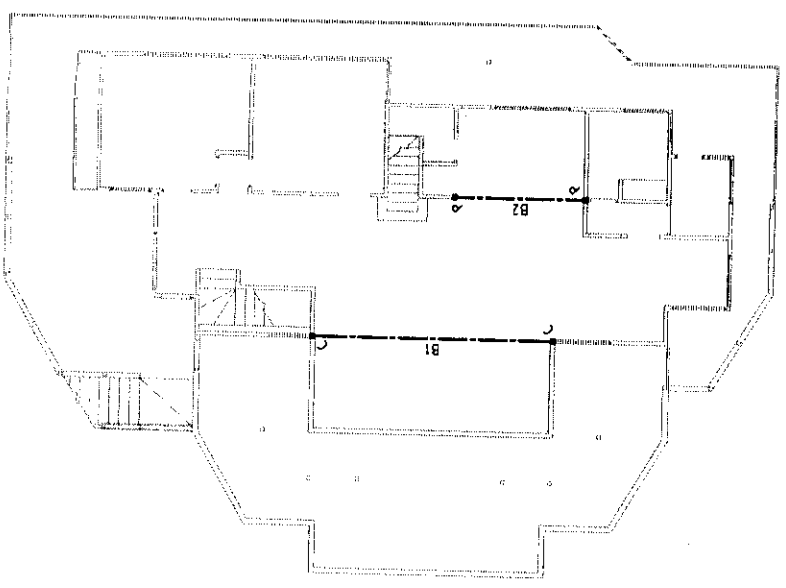
JJ BRIGGS ASSOCIATES
PO BOX 800 BROOKVALE 2100

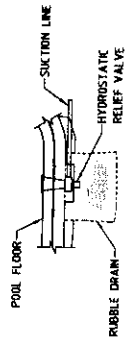
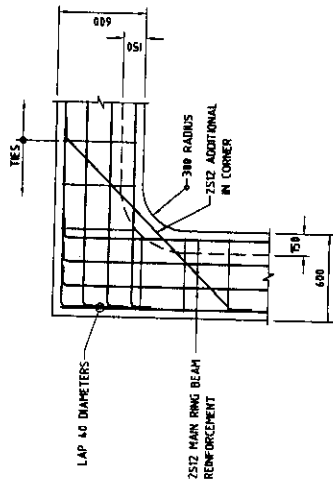
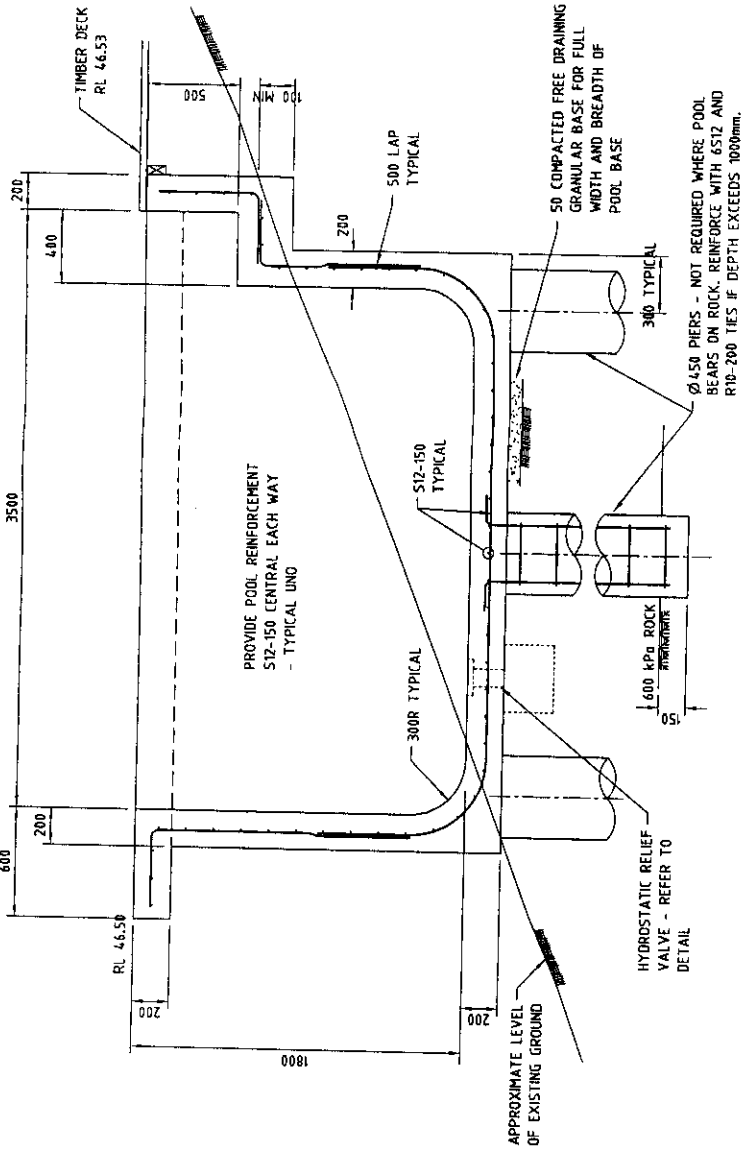
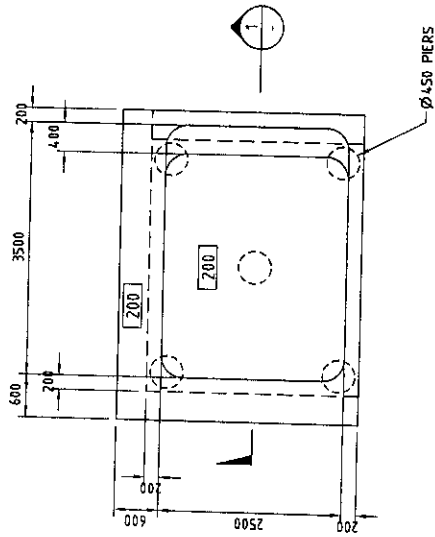
REV. DATE DESCRIPTION
JOB ALTERATIONS AND ADDITIONS TO
2 MILGA ROAD
AVALON
CLIENT MR & MRS J OWENS
SHEET SUPPORT PLANS AND DETAILS

DESIGN KFM SCALES 1:50 REV. NO.
DRAWN RJT DATE Dec '01 DWG. NO. S05
A.C.N. 873 559 145 APP'D JOB NO. 010305
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JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

DRAWING CERTIFICATION	
I am a qualified STRUCTURAL ENGINEER	
I hold the following qualifications: IMEP	
MEASUR LPEng Membership No. 158643	
Further I am appropriately qualified to certify the component of the project.	
I hereby state that the drawing structurally complies with the conditions of development consent, the provisions of the Building Code of Australia and relevant Australian standards.	
Name: KARL MATSZEK	Signature: <i>K. Matszek</i>
For Taylor and Herbert Consultants Pty Ltd Date: 3-1-02	

REV. DATE DESCRIPTION
JOB ALTERATIONS AND ADDITIONS TO
2 MILGA ROAD
AVALON
CLIENT MR & MRS J OWENS

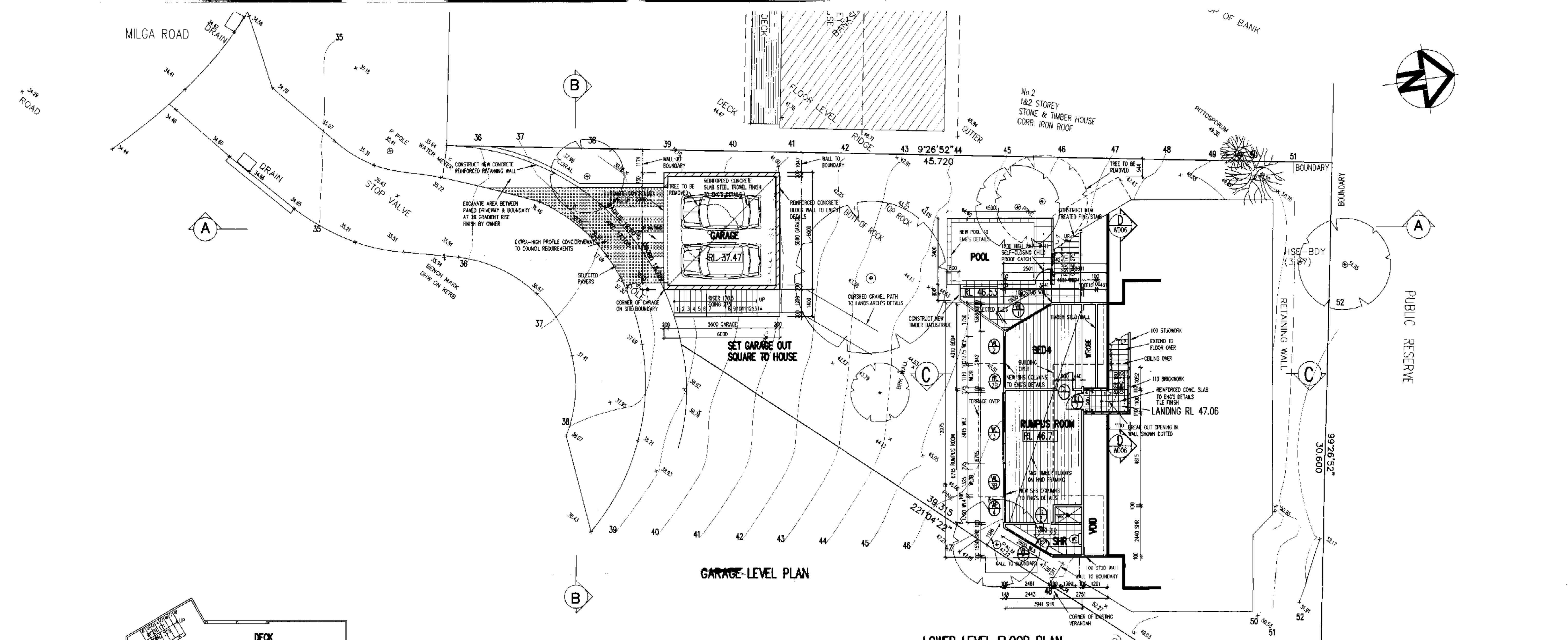
SHEET POOL PLAN AND DETAILS

DESIGN R/M SCALES 1:100 REV. NO.
DRAWN R/JT DATE Mar '02 DWG. NO. S06
A.C.N. 073 559 145 APP'D JOB NO. 010305



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Consentation & signature by 0358002 dated 10/7/02 -
 Includes WD-01E WD-02E dated 14/3/02, S&S 05
 Plans to be read in conjunction dated 14/3/02, S&S 05
 with consent N0837101 dated 31/10/02, S&S 05
 (as modified 14/6/02) dated 31/10/02, Aug 1/2
 dated 30/10/01 (landscape detail)

AMEND E: 4/3/2002; STAIR REVERSED.
 AMEND D: 27/2/2002; GARAGE LOCATION CHANGED.
 AMEND C: 19/12/2001; NEW WINDOWS ADDED TO LOWER LEVEL PLAN.
 AMEND B: 10/12/2001; INTERIOR STAIR & SHIR SPACE MODIFIED, GARAGE AWNING REMOVED.
 AMEND A: LOWER LEVEL EXTERNAL WALLS CHANGED TO TIMBER STUDS, WINDOWS AMENDED

Project **ALTERATIONS AND ADDITIONS TO**
2 MILGA ROAD, AVALON FOR MR & MRS J OWENS

Title **SITE & FLOOR PLANS**

Scale 1:100

Number WD-01E

SCANNED

Date MAR 2002

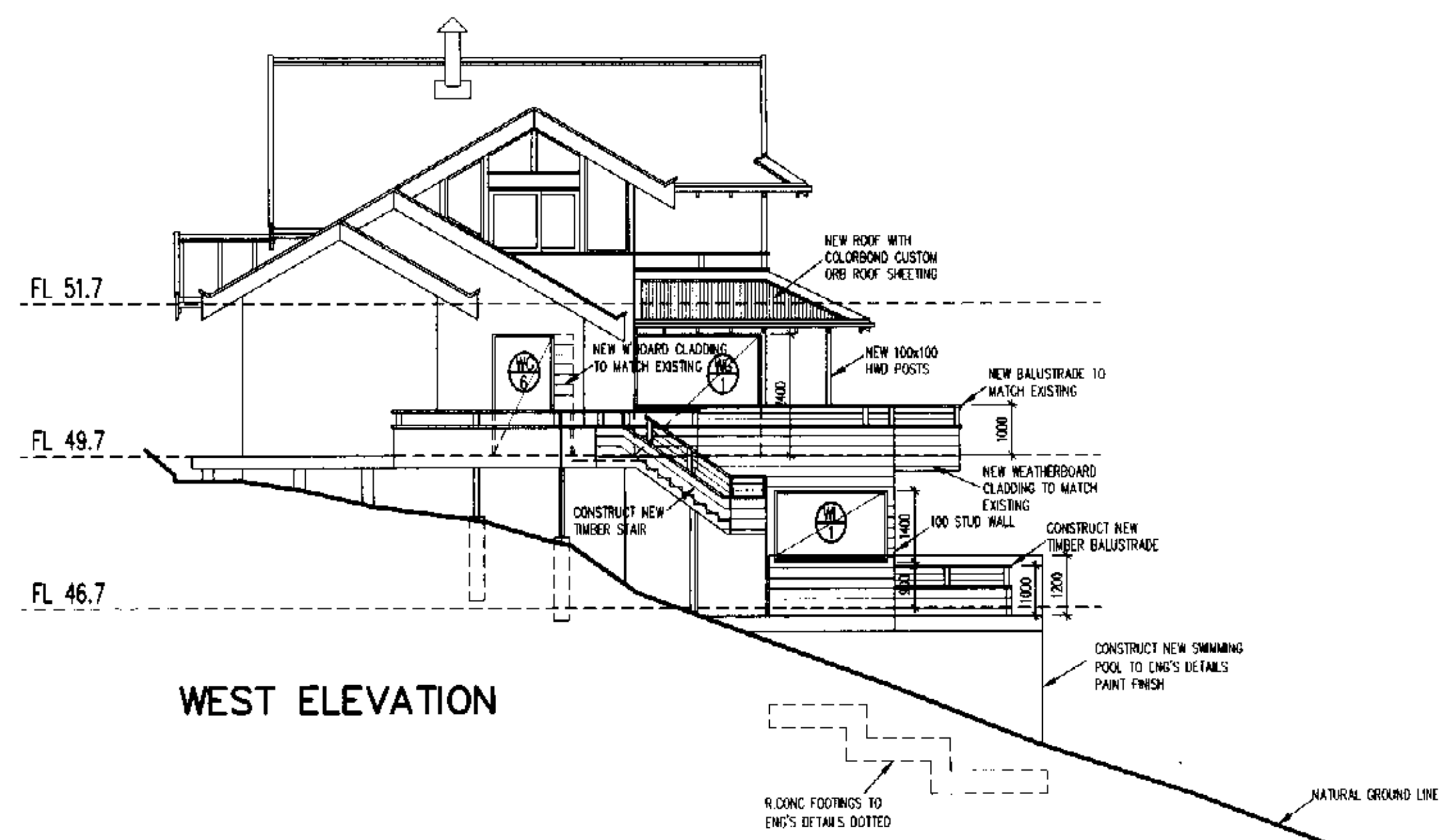
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12 JUL 2002

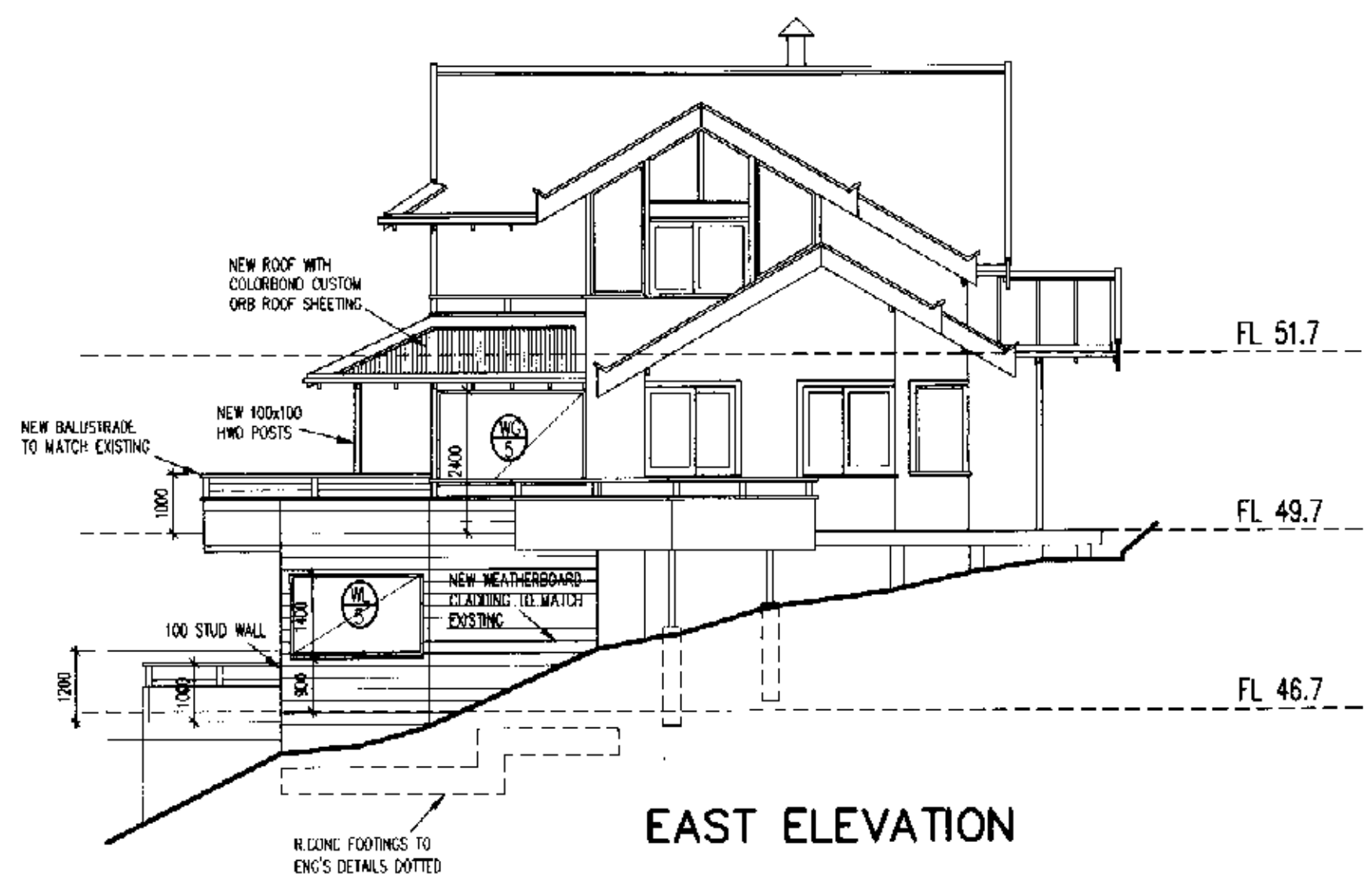
PITTSBURGH COUNCIL

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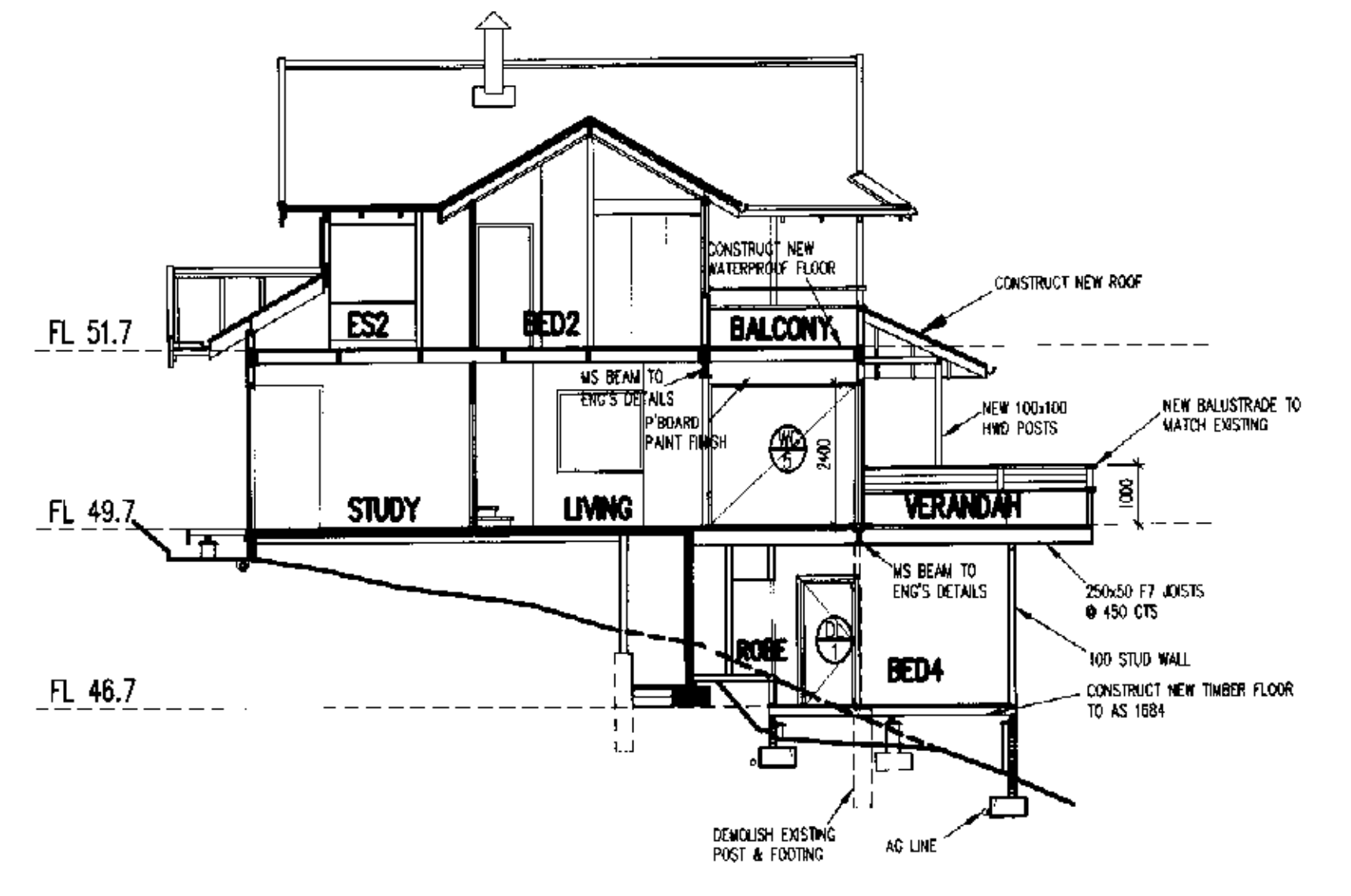
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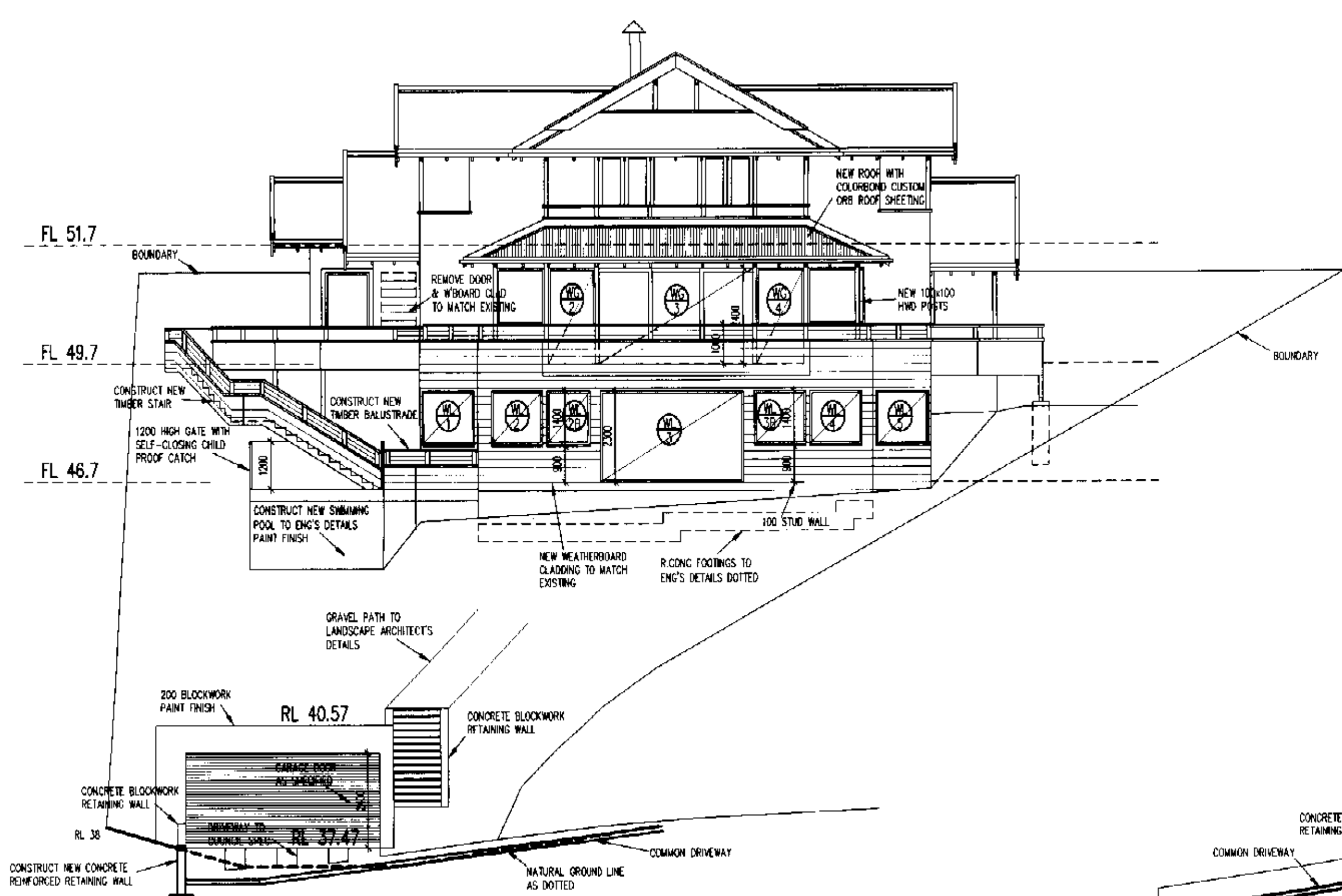
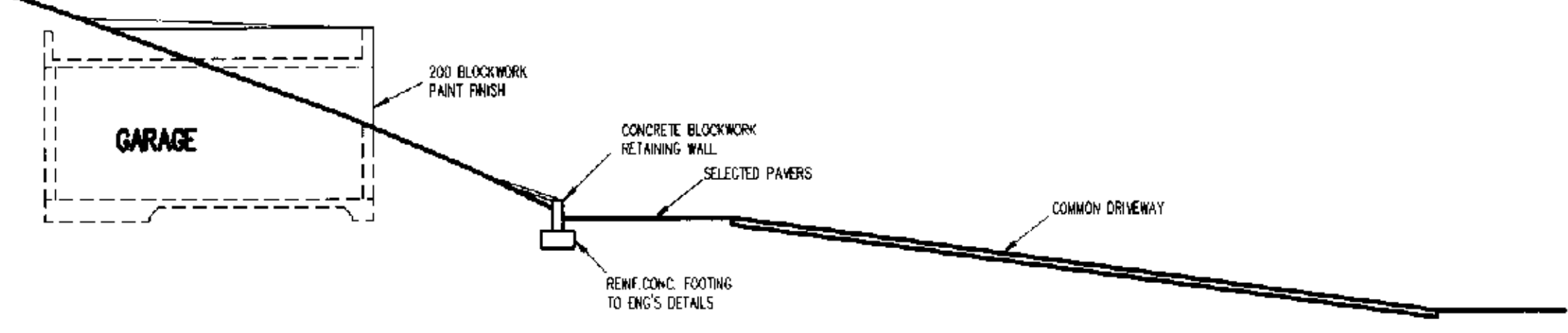
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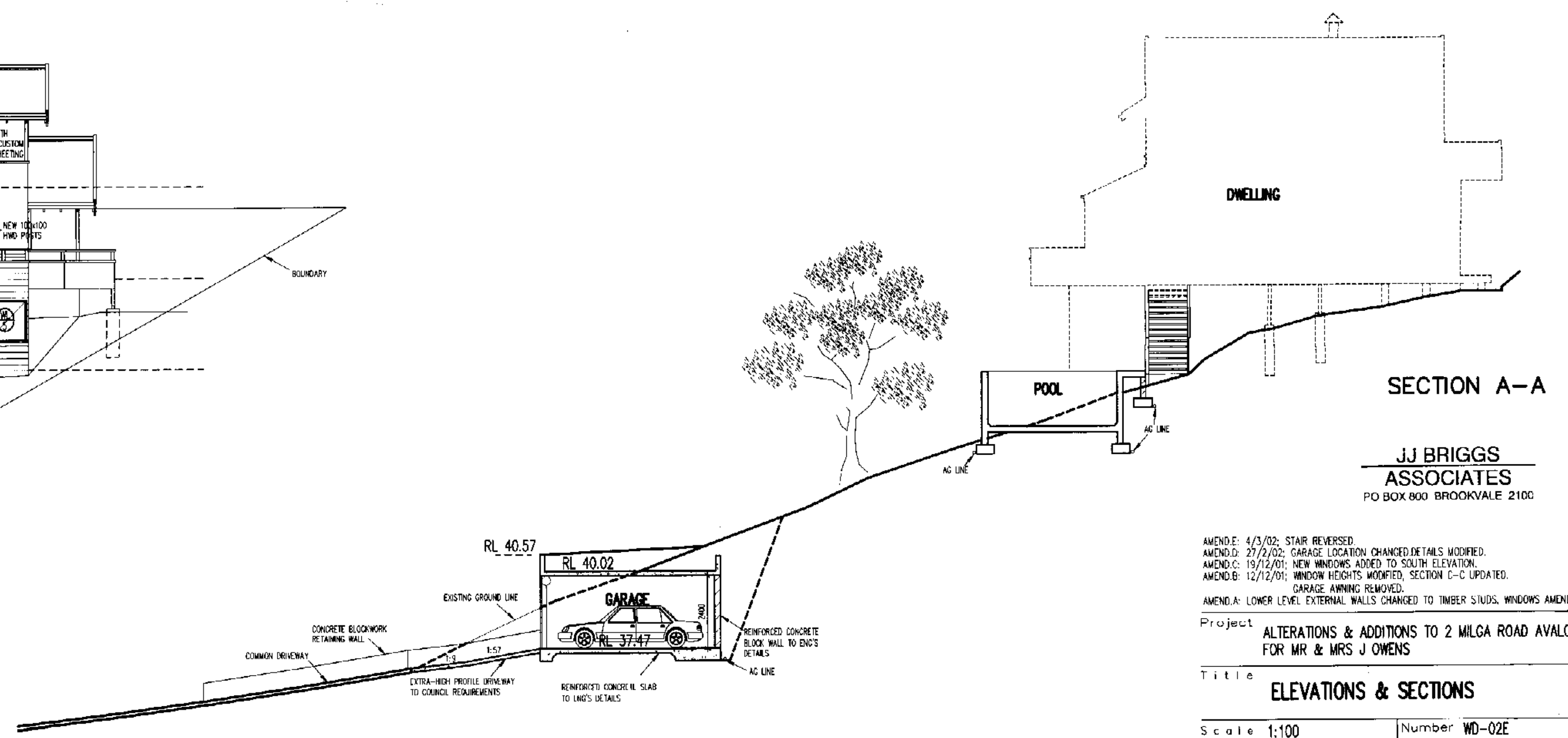
EAST ELEVATION



SECTION C-C



SECTION B-B (SOUTH ELEVATION)



SECTION A-A

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

AMEND E: 4/3/02: STAIR REVERSED.
AMEND D: 27/2/02: GARAGE LOCATION CHANGED DETAILS MODIFIED.
AMEND C: 19/12/01: NEW WINDOWS ADDED TO SOUTH ELEVATION.
AMEND B: 12/12/01: WINDOW HEIGHTS MODIFIED, SECTION C-C UPDATED.
AMEND A: LOWER LEVEL EXTERNAL WALLS CHANGED TO TIMBER STUDS, WINDOWS AMENDED.

Project: ALTERATIONS & ADDITIONS TO 2 MILGA ROAD AVALON FOR MR & MRS J OWENS

Title: ELEVATIONS & SECTIONS

Scale: 1:100 Number: WD-02E

Date: FEB 2002 Drawn: CDE

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