

NOTES
 34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.
 All Plans to be read in conjunction with Basix Certificate.
 New Works to be constructed shown in Blue.
 34 Robert Avenue North Manly is not considered a heritage item.

Construction
 Brick Veneer Walls, Timber Framed Floor & Roof, Roof Metal Deck to have min. R0.95 Insulation to External Framed & Brick Walls min. R1.7 Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA Timber framing to BCA and AS 1684. Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps.
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
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DA MOD Application

Only NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client: Selena Mohr & Gerry Daly
 Project Name: **Alterations & Additions**
 34 Robert Avenue North Manly
 2100

Lot 18 D.P.249823

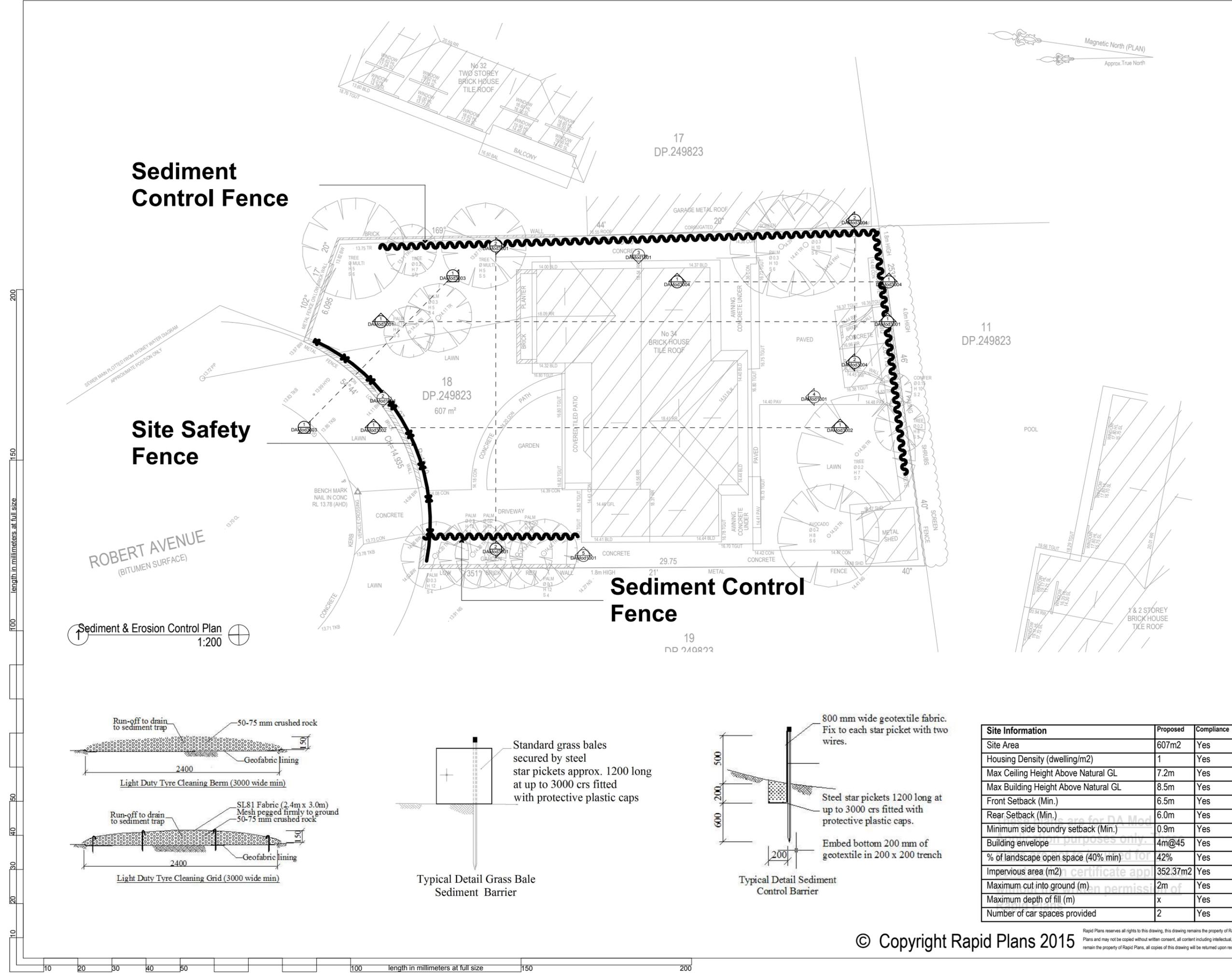
Drawing Title: **Site Plans - Sediment & Erosion Control Plan**
 Sediment & Erosion Control Plan

Scale: A3 as noted Date: 27-4-2015

Status: DA MOD2 Checked By: GBJ

Project No: Drawing No.:

RP0710DAL DAMod1007

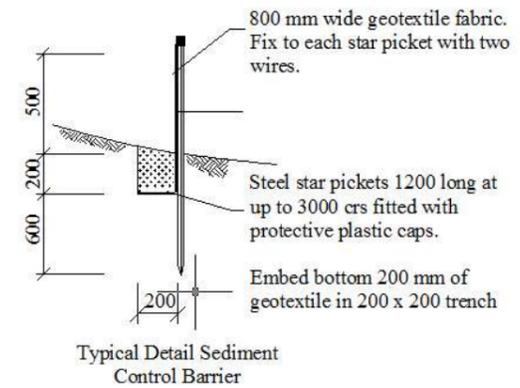
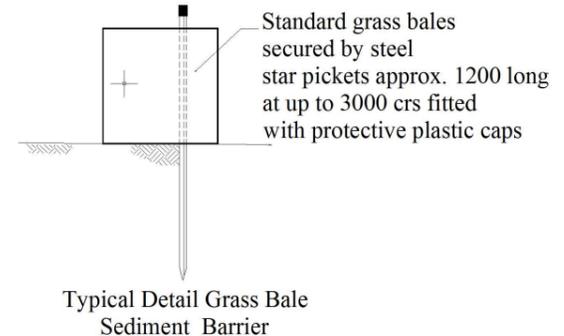
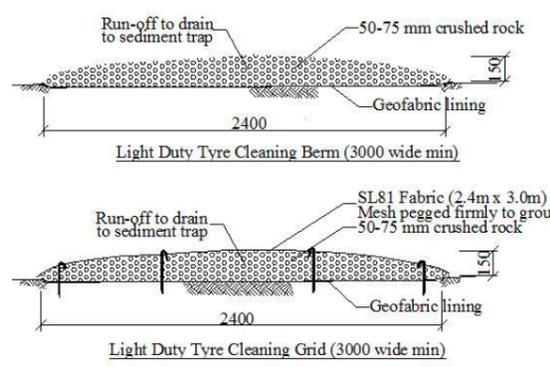


Sediment Control Fence

Site Safety Fence

Sediment Control Fence

Sediment & Erosion Control Plan 1:200



| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 607m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45 | Yes |
| % of landscape open space (40% min) | 42% | Yes |
| Impervious area (m ²) | 352.37m ² | Yes |
| Maximum cut into ground (m) | 2m | Yes |
| Maximum depth of fill (m) | x | Yes |
| Number of car spaces provided | 2 | Yes |

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DA MOD Application Only

NOT FOR CONSTRUCTION

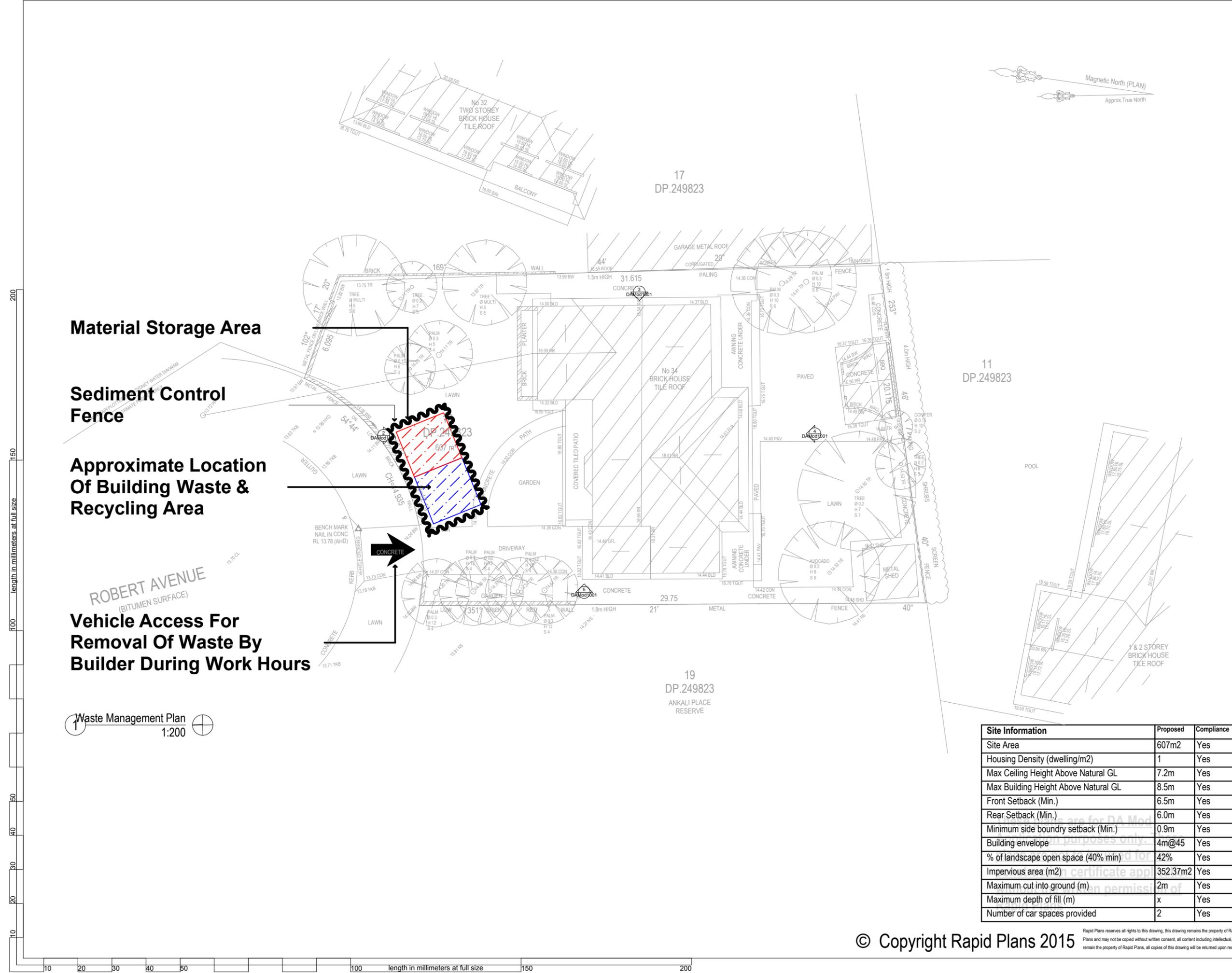
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Client
 Selena Mohr & Gerry Daly
 Project Name
Alterations & Additions
 34 Robert Avenue North Manly
 2100

Lot 18 D.P.249823
 Drawing Title:
Site Plans - Waste Management Plan
 Waste Management Plan

Scale: A3 as noted Date: 27-4-2015
 Status: DA MOD2 Checked By: GBJ

Project No:
RP0710DAL
 Drawing No.:
DAMod1008



| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 607m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
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| Building envelope | 4m@45 | Yes |
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Project North
N

DA MOD Application Only
NOT FOR CONSTRUCTION

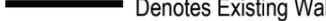
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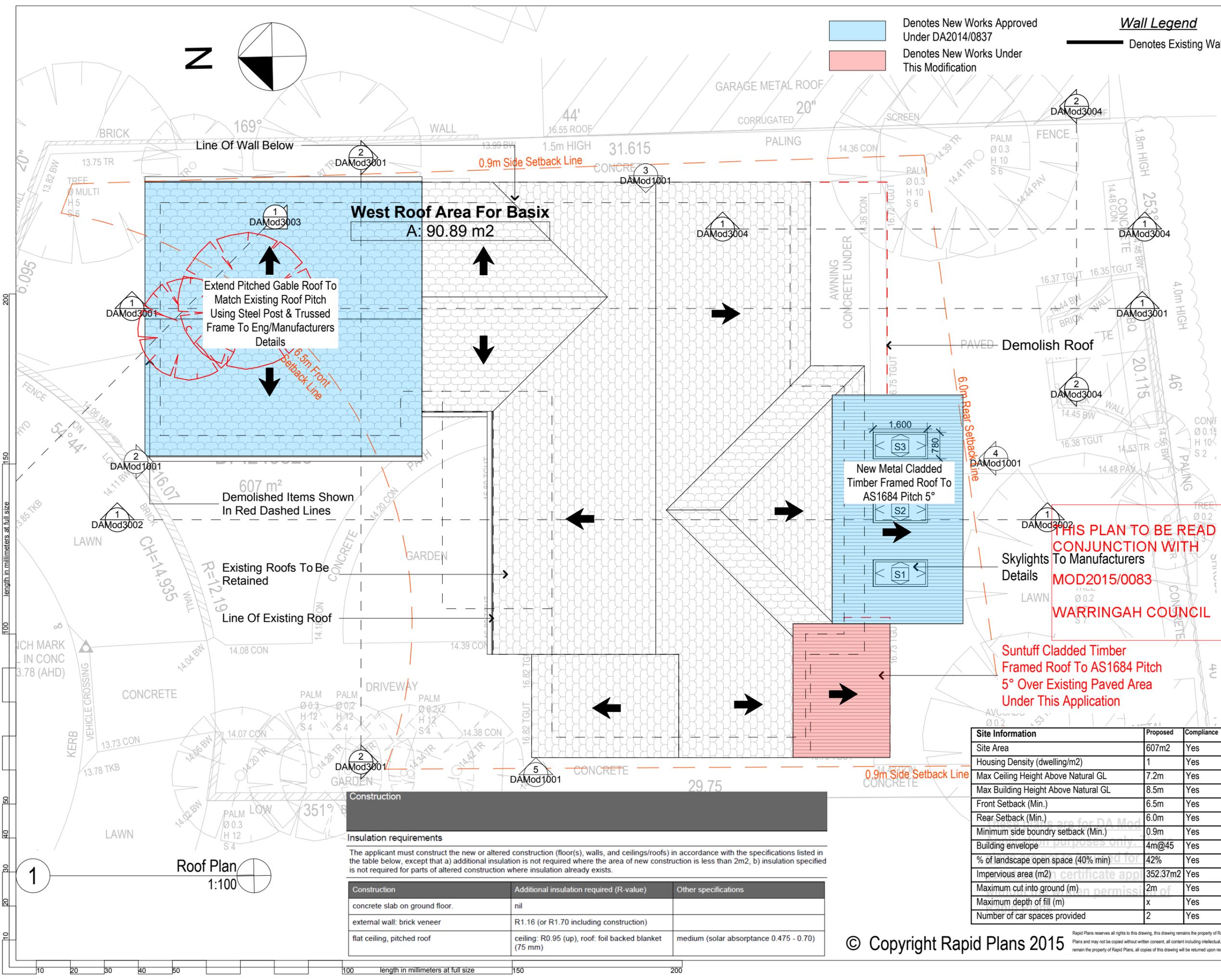
Client
Selena Mohr & Gerry Daly
Project Name
Alterations & Additions
34 Robert Avenue North Manly
2100

Lot 18 D.P.249823
Drawing Title:
Floor Plans - Roof
Roof Plan

Scale: A3 as noted Date: **27-4-2015**
Status: DA MOD2 Checked By: **GBJ**

Project No:
RP0710DAL
Drawing No.:
DAMod2002

Wall Legend
 Denotes New Works Approved Under DA2014/0837
 Denotes New Works Under This Modification
 Denotes Existing Wall



West Roof Area For Basix
A: 90.89 m²

Extend Pitched Gable Roof To Match Existing Roof Pitch Using Steel Post & Trussed Frame To Eng/Manufacturers Details

New Metal Cladded Timber Framed Roof To AS1684 Pitch 5°

THIS PLAN TO BE READ IN CONJUNCTION WITH MOD2015/0083 WARRINGAH COUNCIL

Suntuff Cladded Timber Framed Roof To AS1684 Pitch 5° Over Existing Paved Area Under This Application

Demolished Items Shown In Red Dashed Lines

Existing Roofs To Be Retained

Construction

Insulation requirements
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| Construction | Additional insulation required (R-value) | Other specifications |
|--------------------------------|--|--|
| concrete slab on ground floor. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| flat ceiling, pitched roof | ceiling: R0.95 (up), roof: foil backed blanket (75 mm) | medium (solar absorbance 0.475 - 0.70) |

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 607m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45 | Yes |
| % of landscape open space (40% min) | 42% | Yes |
| Impervious area (m ²) | 352.37m ² | Yes |
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| Maximum depth of fill (m) | x | Yes |
| Number of car spaces provided | 2 | Yes |

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Existing Porch To Remain Under This Application

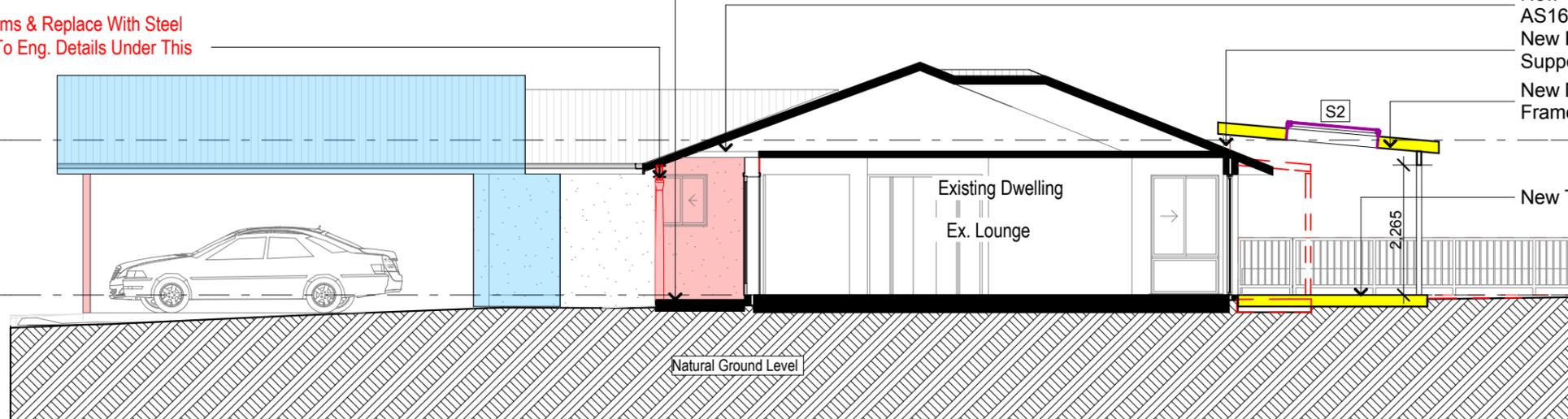
Demolish Post & Beams & Replace With Steel Beam Over & Posts To Eng. Details Under This Application

RL +17,210
Level 1 FL

RL +14,510
Ground FL

New Timber Framed Ceiling To AS1684 & Match Existing
 New High Framed Wall To Support Deck Roof
 New Metal Cladded Timber Framed Roof To AS1684 Pitch 5°
 RL +17,210
Level 1 FL

New Timber Deck To AS1684



Section 1
1:100

THIS PLAN TO BE READ IN CONJUNCTION WITH MOD2015/0083 WARRINGAH COUNCIL



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Client
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 Project Name
Alterations & Additions
 34 Robert Avenue North Manly
 2100

Lot 18 D.P.249823

Drawing Title:
Sections - Section 2
 Section 1

Scale: A3 as noted Date: 27-4-2015

Status: DA MOD2 Checked By: GBJ

Project No: Drawing No.:

RP0710DAL DAMod3002

- Denotes New Works Approved Under DA2014/0837
- Denotes New Works Under This Modification

Wall Legend

- Denotes Existing Wall/Floor/Roof
- Denotes New Timber Framed Wall/Floor/Roof
- Denotes New Masonry Wall

Construction

Insulation requirements

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| Construction | Additional insulation required (R-value) | Other specifications |
|--------------------------------|--|---|
| concrete slab on ground floor. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| flat ceiling, pitched roof | ceiling: R0.95 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

| Site Information | Proposed | Compliance |
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| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45 | Yes |
| % of landscape open space (40% min) | 42% | Yes |
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 Project Name
Alterations & Additions
 34 Robert Avenue North Manly
 2100

Lot 18 D.P.249823

Drawing Title:
Sections - Section Drive
 Section 3

Scale: A3 as noted Date: 27-4-2015

Status: DA MOD2 Checked By: GBJ

Project No: Drawing No.:

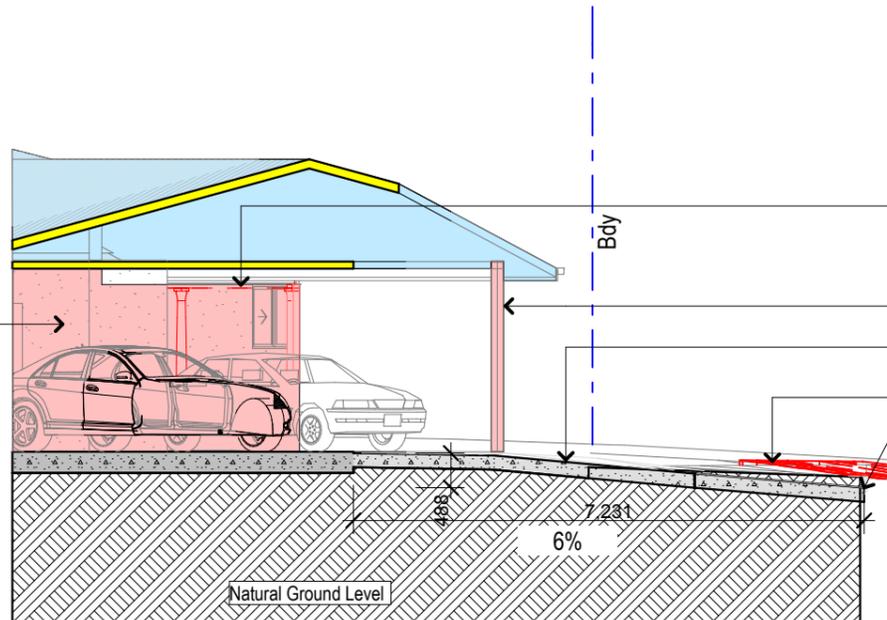
RP0710DAL DAMod3003

Approved Rend. Bk. Veneer Wall Line To Remain & Used For Lockable Carport Storage Under This Application

Demolish Post & Beams & Replace With Steel Beam Over & Posts To Eng. Details Under This Application

Steel Post

Concrete Drive To Engineering Details
 New Crossover To Warringah Council Regulations & Engineering Details
 Gutter Invert



1 Section 3 1:100

THIS PLAN TO BE READ IN CONJUNCTION WITH MOD2015/0083 WARRINGAH COUNCIL

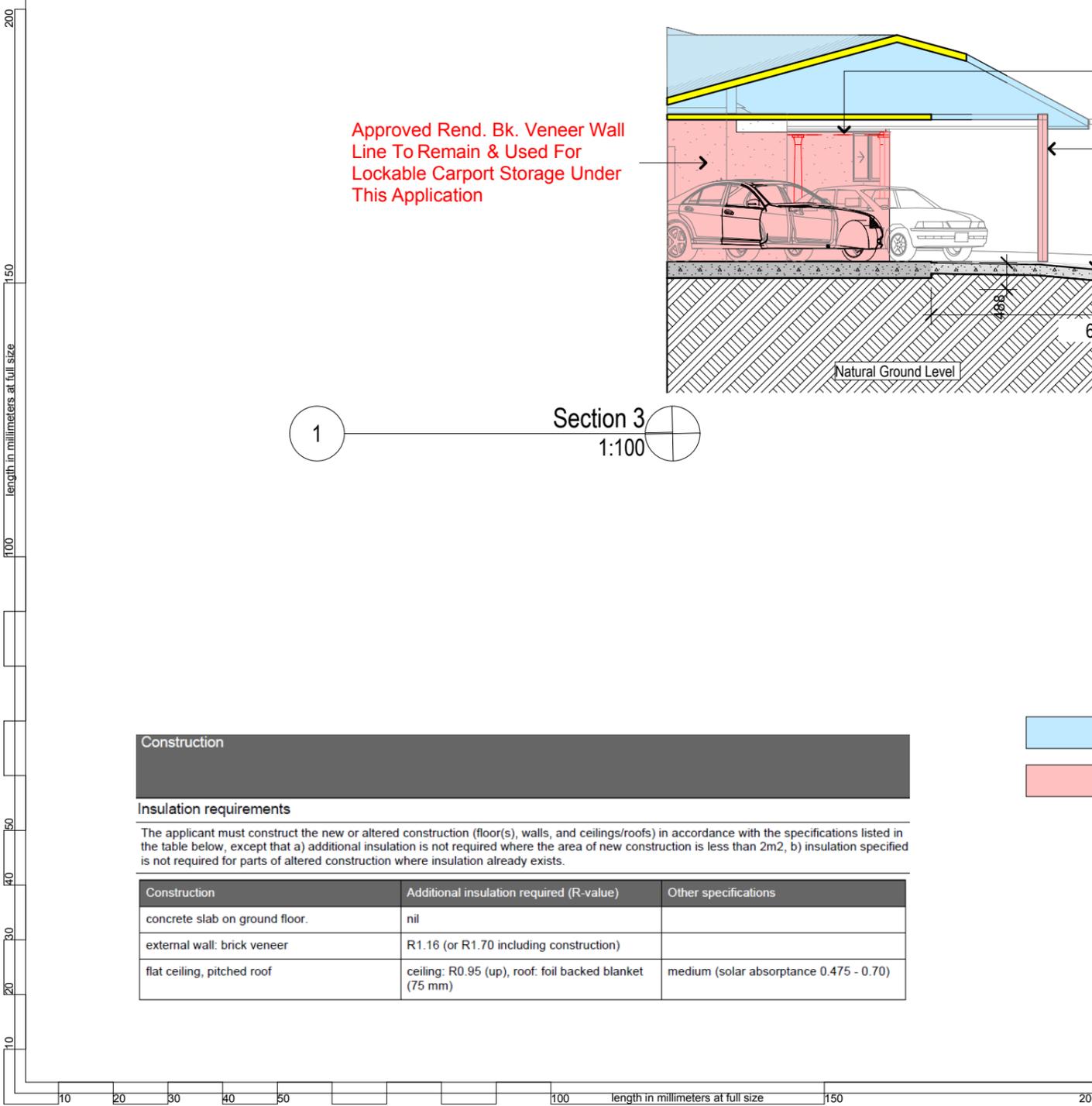
- Denotes New Works Approved Under DA2014/0837
- Denotes New Works Under This Modification

Construction

Insulation requirements
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Project North

DA MOD Application Only

NOT FOR CONSTRUCTION

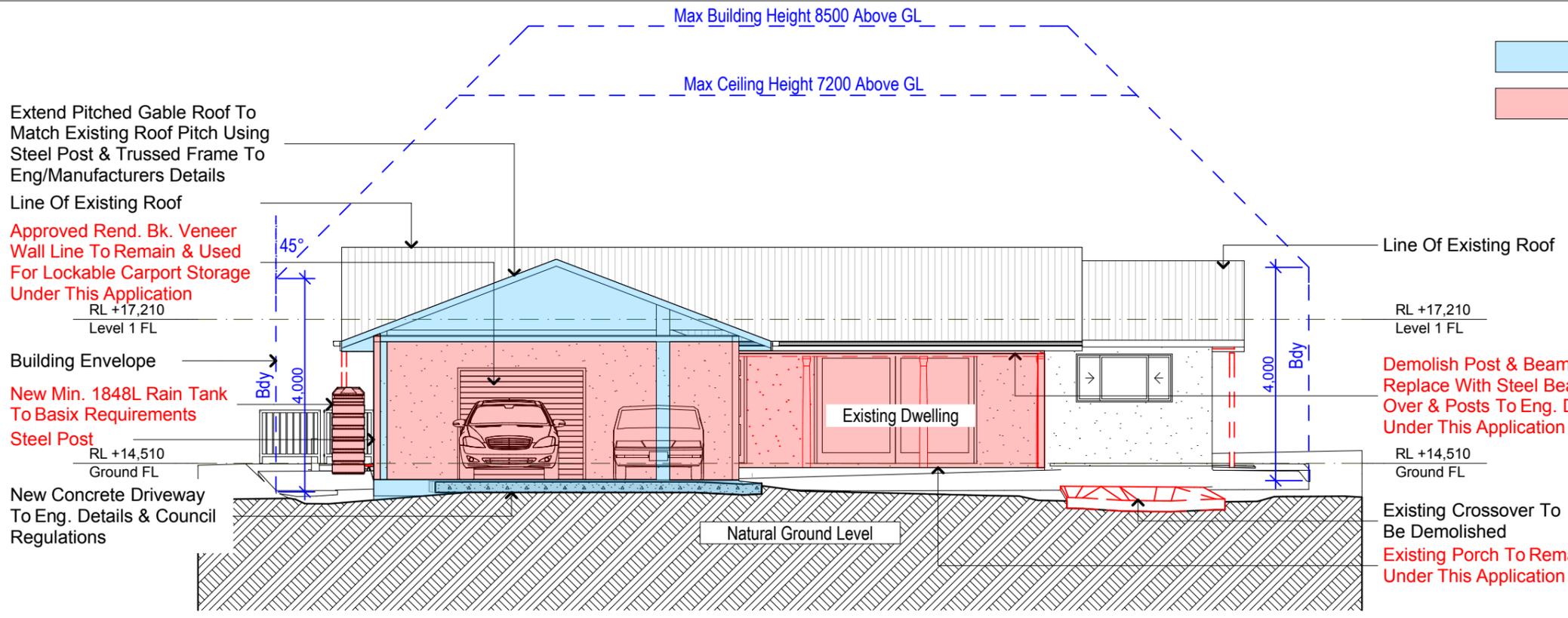
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Alterations & Additions
34 Robert Avenue North Manly
2100
Lot 18 D.P.249823
Drawing Title:
Elevations - Elevation 1
North, South

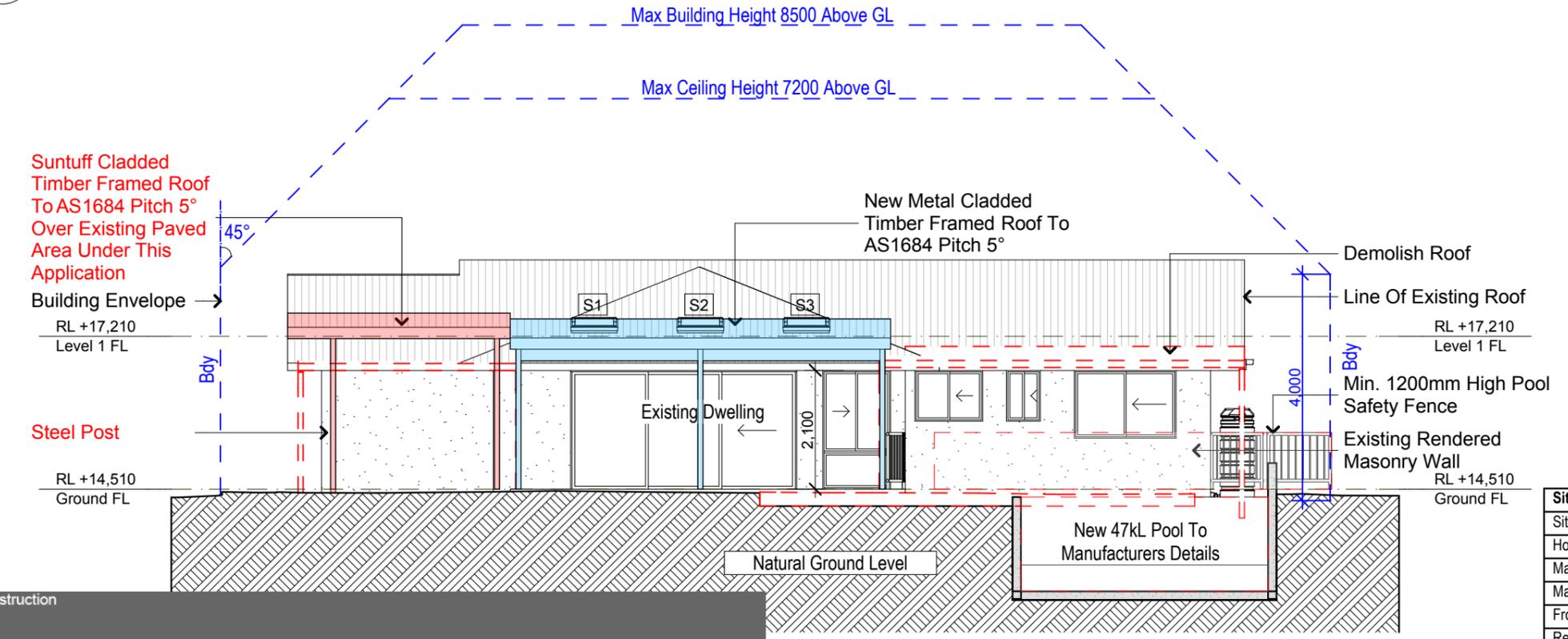
Scale: A3 as noted Date: 27-4-2015
Status: DA MOD2 Checked By: GBJ
Project No: Drawing No.:
RP0710DAL DAMod4001

Denotes New Works Approved Under DA2014/0837

Denotes New Works Under This Modification



1 North 1:100



2 South 1:100

THIS PLAN TO BE READ IN CONJUNCTION WITH MOD2015/0083 WARRINGAH COUNCIL

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
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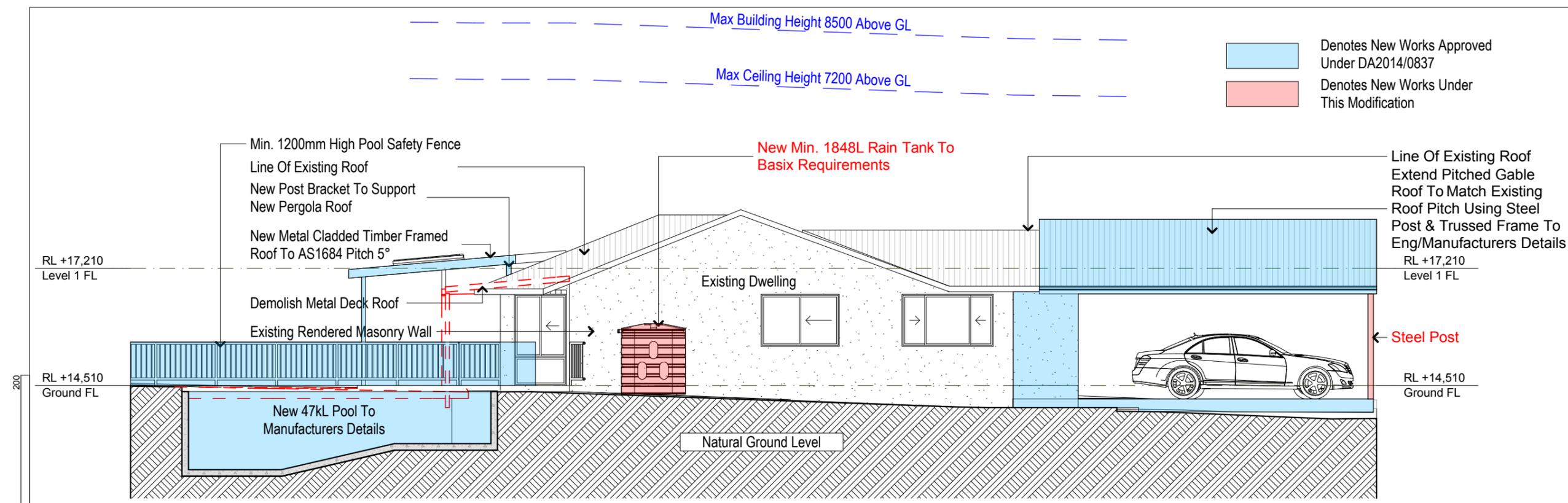
Client
 Selena Mohr & Gerry Daly
 Project Name
Alterations & Additions
 34 Robert Avenue North Manly
 2100

Lot 18 D.P.249823
 Drawing Title:
Elevations - Elevations 2
 West, East

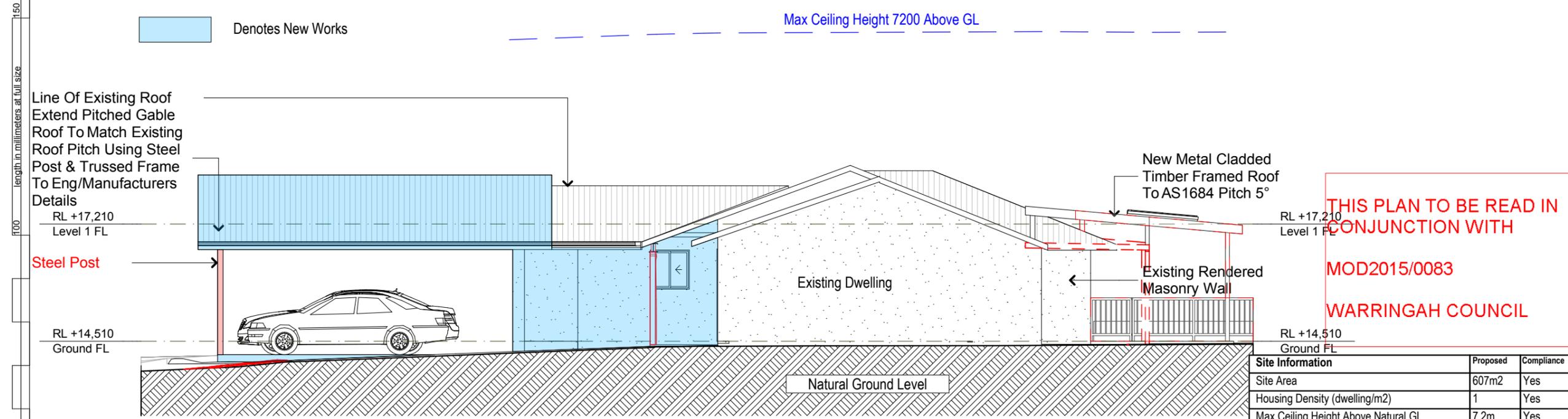
Scale: A3 as noted Date: 27-4-2015
 Status: DA MOD2 Checked By: GBJ

Project No:
RP0710DAL
 Drawing No.:
DAMod4002

Denotes New Works Approved Under DA2014/0837
 Denotes New Works Under This Modification



2 East 1:100



1 West 1:100

THIS PLAN TO BE READ IN CONJUNCTION WITH MOD2015/0083 WARRINGAH COUNCIL

Construction

Insulation requirements
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

| Construction | Additional insulation required (R-value) | Other specifications |
|--------------------------------|--|---|
| concrete slab on ground floor. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| flat ceiling, pitched roof | ceiling: R0.95 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 607m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45 | Yes |
| % of landscape open space (40% min) | 42% | Yes |
| Impervious area (m ²) | 352.37m ² | Yes |
| Maximum cut into ground (m) | 2m | Yes |
| Maximum depth of fill (m) | x | Yes |
| Number of car spaces provided | 2 | Yes |

NOTES
 34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.
 All Plans to be read in conjunction with Basix Certificate.
 New Works to be constructed shown in Blue.
 34 Robert Avenue North Manly is not considered a heritage item.

Construction
 Brick Veneer Walls, Timber Framed Floor & Roof.
 Roof Metal Deck to have min. R0.95 Insulation
 Insulation to External Framed & Brick Walls min. R1.7
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
 Basix Certificate Number A194619_02
 All Plans to be read in conjunction with Basix Certificate.

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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Typical Dark Brown Tiled Garage Roof To Match Existing



Typical Wall Render. Owner To Confirm Colour



Typical Concrete Slab For Garage



Typical Timber Deck. Owner To Confirm Timber Type & Colour



Typical Colorbond Roof Over Rear Deck. Owner To Confirm Colour

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

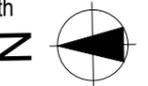
| Window / door no. | Orientation | Area of glass inc. frame (m ²) | Overshadowing | | Shading device | Frame and glass type |
|-------------------|-------------|--|---------------|--------------|--|---|
| | | | Height (m) | Distance (m) | | |
| W1 | E | 2.5 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W2 | W | 0.9 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W3 | W | 0.4 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W4 | N | 4 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W5 | W | 1.9 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |

THIS PLAN TO BE READ IN CONJUNCTION WITH

MOD2015/0083

WARRINGAH COUNCIL

Project North



DA MOD Application

Only

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
 Selena Mohr & Gerry Daly
 Project Name
Alterations & Additions
 34 Robert Avenue North Manly
 2100
 Lot 18 D.P.249823

Drawing Title:
Shadow Diagrams - Colours & Finishes Sample Board

Scale: A3 as noted Date: 27-4-2015

Status: DA MOD2 Checked By: GBJ

Project No: Drawing No.:

RP0710DAL DAMod5005

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length in millimeters at full size

10 20 30 40 50 100 150 200 length in millimeters at full size