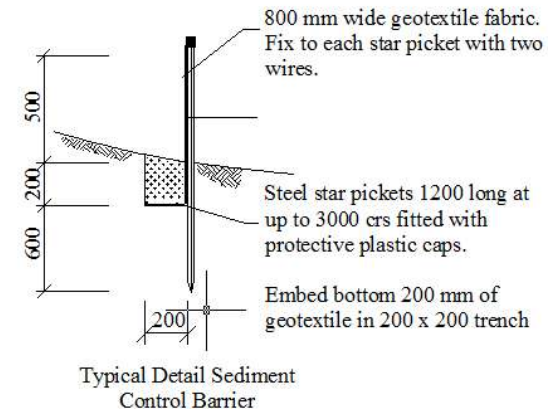
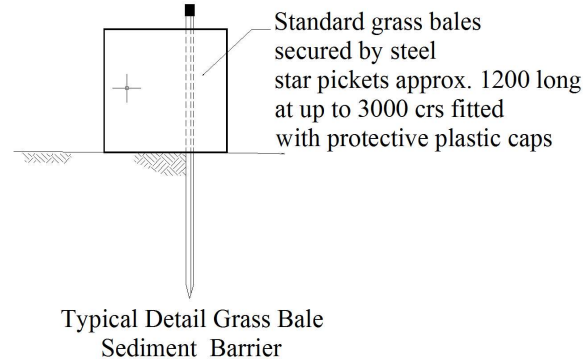
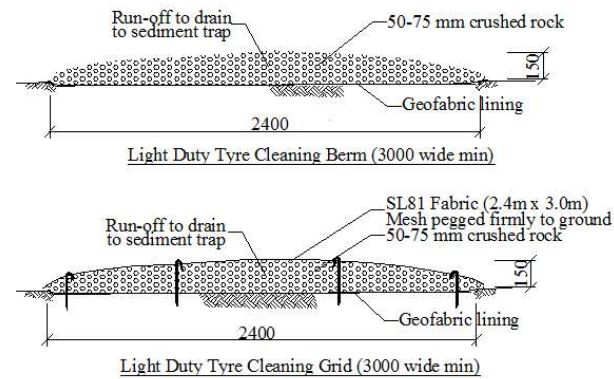


Sediment Control Fence

Site Safety Fence

Sediment Control Fence

Sediment & Erosion Control Plan
1:200



Site Information	Proposed	Compliance
Site Area	607m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m ²)	352.37m ²	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

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NOTES
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Blue.
34 Robert Avenue North Manly is not considered a heritage item.

Construction
Brick Veneer Walls, Timber Framed Floor & Roof.
Roof Metal Deck to have min. R0.95 Insulation
Insulation to External Framed & Brick Walls min. R1.7
Refer to Engineers Drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A194619_02
All Plans to be read in conjunction with Basix Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North
N

DA MOD Application
Only
NOT FOR CONSTRUCTION

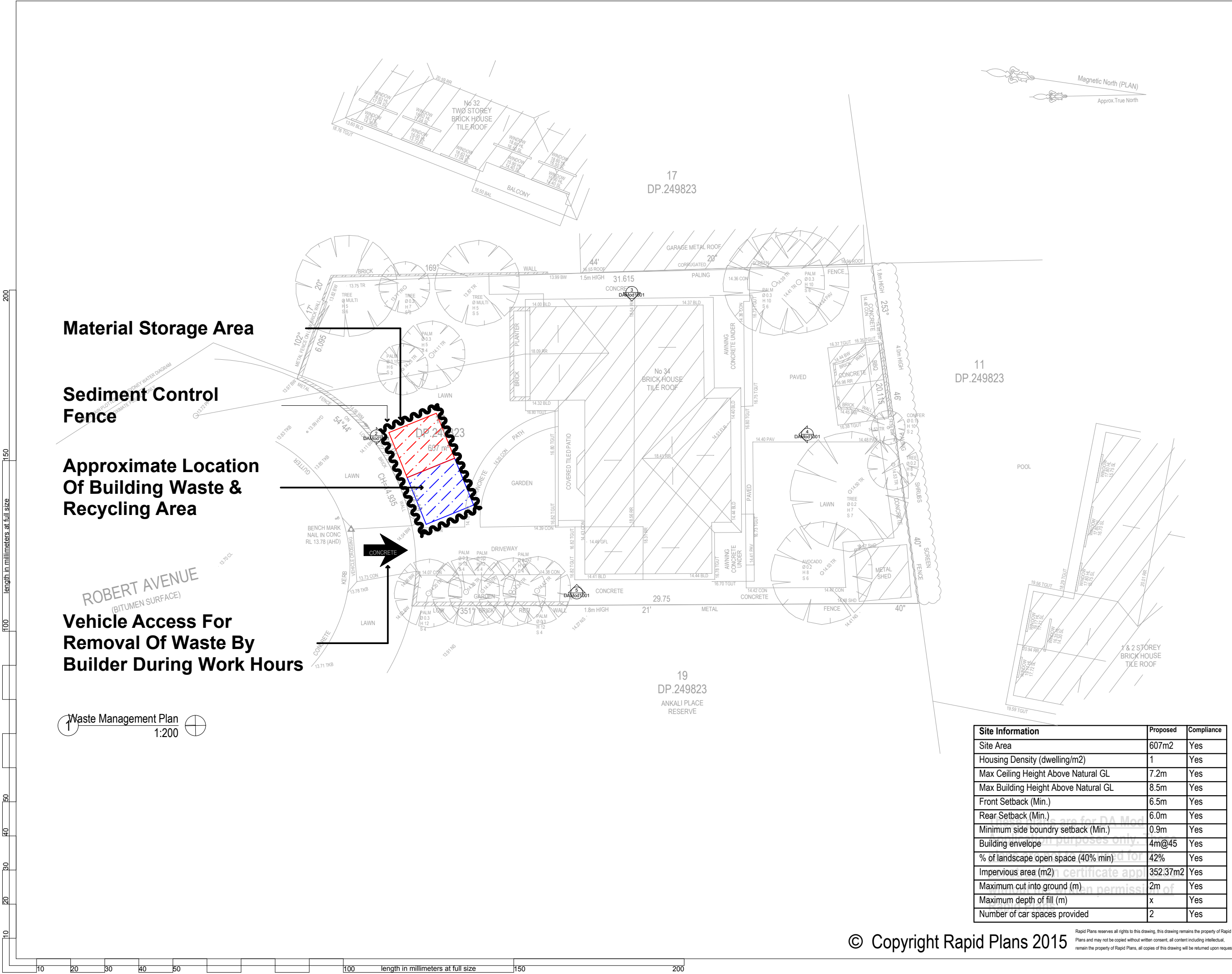
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Selena Mohr & Gerry Daly
Project Name
Alterations & Additions
34 Robert Avenue North Manly
2100

Lot 18 D.P.249823
Drawing Title:
Site Plans - Sediment & Erosion Control Plan
Sediment & Erosion Control Plan

Scale: A3 as noted Date: 27-4-2015
Status: DA MOD2 Checked By: GBJ

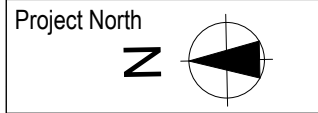
Project No:
RP0710DAL
Drawing No.:
DAMod1007



NOTES
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Blue
34 Robert Avenue North Manly is not considered a heritage item

Construction
Brick Veneer Walls, Timber Framed Floor & Roof.
Roof Metal Deck to have min. R0.95 Insulation
Insulation to External Framed & Brick Walls min. R1.7
Refer to Engineers Drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A194619_02
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



DA MOD Application Only
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

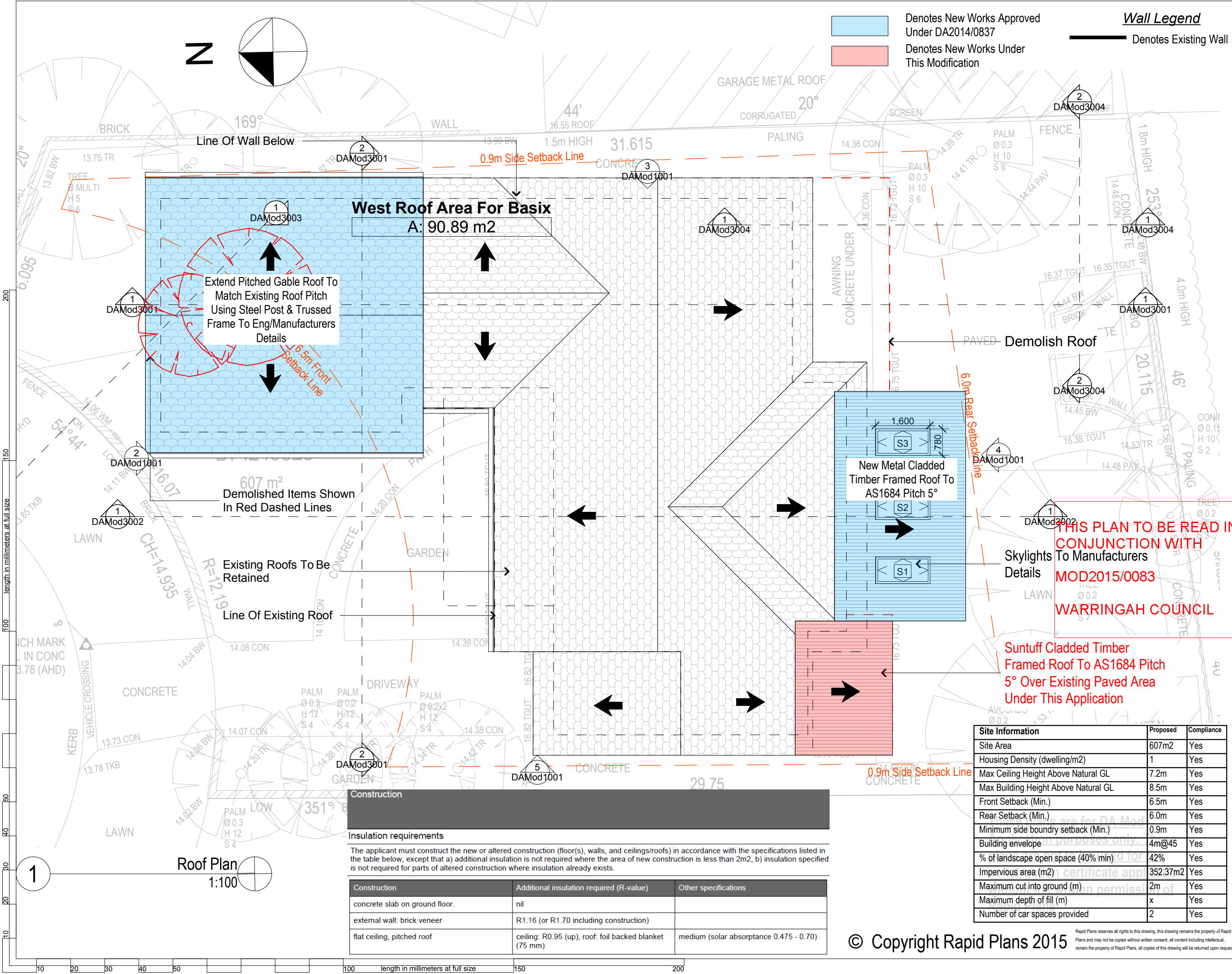
Client
Selena Mohr & Gerry Daly
Project Name
Alterations & Additions
34 Robert Avenue North Manly
2100

Lot 18 D.P.249823
Drawing Title:
Site Plans - Waste Management Plan
Waste Management Plan

Scale: A3 as noted Date: **27-4-2015**
Status: DA MOD2 Checked By: **GBJ**

Project No:
RP0710DAL
Drawing No.:
DAMod1008

Site Information	Proposed	Compliance
Site Area	607m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m ²)	352.37m ²	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes



Denotes New Works Approved Under DA2014/0837

Denotes New Works Under This Modification

Denotes Existing Wall

Rapid Plans
Building Design and Architectural Drafting

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Email : gregg@rapidplans.com.au

bda BUILDING DESIGNERS AUSTRALIA NSW

NOTES
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Blue.
34 Robert Avenue North Manly is not considered a heritage item.

Construction
Brick Veneer Walls, Timber Framed Floor & Roof. Roof Metal Deck to have min. R0.95 Insulation Insulation to External Framed & Brick Walls min. R1.7 Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA. Timber framing to BCA and AS 1684. Termite Management to BCA and AS 3660.1 Glazing to BCA and AS1288-2047. Waterproofing to BCA and AS 3740. New Lighting to have minimum of 40% compact fluorescent lamps. All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A194619_02
All Plans to be read in conjunction with Basix Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
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THIS PLAN TO BE READ IN CONJUNCTION WITH MOD2015/0083 WARRINGAH COUNCIL

Suntuff Cladded Timber Framed Roof To AS1684 Pitch 5° Over Existing Paved Area Under This Application

Site Information	Proposed	Compliance
Site Area	607m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundry setback (Min.)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	352.37m2	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

NOTES
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Blue
34 Robert Avenue North Manly is not considered a heritage item.

Construction
Brick Veneer Walls, Timber Framed Floor & Roof, Roof Metal Deck to have min. R0.95 Insulation Insulation to External Framed & Brick Walls min. R1.7 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A194619_02
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Project North
N

DA MOD Application Only
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Selena Mohr & Gerry Daly
Project Name
Alterations & Additions
34 Robert Avenue North Manly
2100

Lot 18 D.P.249823

Drawing Title:
Sections - Section 2
Section 1

Scale: A3 as noted Date: **27-4-2015**

Status: DA MOD2 Checked By: **GBJ**

Project No.: **RP0710DAL** Drawing No.: **DAMod3002**

Existing Porch To Remain Under This Application

Demolish Post & Beams & Replace With Steel Beam Over & Posts To Eng. Details Under This Application

RL +17,210
Level 1 FL

RL +14,510
Ground FL

New Timber Framed Ceiling To AS1684 & Match Existing
New High Framed Wall To Support Deck Roof
New Metal Cladded Timber Framed Roof To AS1684 Pitch 5°
RL +17,210
Level 1 FL

New Timber Deck To AS1684

Existing Dwelling
Ex. Lounge

Natural Ground Level

1 Section 1
1:100

THIS PLAN TO BE READ IN CONJUNCTION WITH

MOD2015/0083

WARRINGAH COUNCIL

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

- Denotes New Works Approved Under DA2014/0837
- Denotes New Works Under This Modification

Wall Legend

- Denotes Existing Wall/Floor/Roof
- Denotes New Timber Framed Wall/Floor/Roof
- Denotes New Masonry Wall

Site Information	Proposed	Compliance
Site Area	607m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m ²)	352.37m ²	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

NOTES
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Blue
34 Robert Avenue North Manly is not considered a heritage item

Construction
Brick Veneer Walls, Timber Framed Floor & Roof.
Roof Metal Deck to have min. R0.95 Insulation
Insulation to External Framed & Brick Walls min. R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A194619_02
All Plans to be read in conjunction with Basix Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



DA MOD Application Only
NOT FOR CONSTRUCTION

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Client
Selena Mohr & Gerry Daly
Project Name
Alterations & Additions
34 Robert Avenue North Manly
2100

Lot 18 D.P.249823

Drawing Title:
Sections - Section Drive
Section 3

Scale: A3 as noted Date: **27-4-2015**
Status: DA MOD2 Checked By: **GBJ**

Project No:
RP0710DAL
Drawing No.:
DAMod3003

Approved Rend. Bk. Veneer Wall Line To Remain & Used For Lockable Carport Storage Under This Application

Demolish Post & Beams & Replace With Steel Beam Over & Posts To Eng. Details Under This Application

Steel Post

Concrete Drive To Engineering Details
New Crossover To Warringah Council Regulations & Engineering Details
Gutter Invert

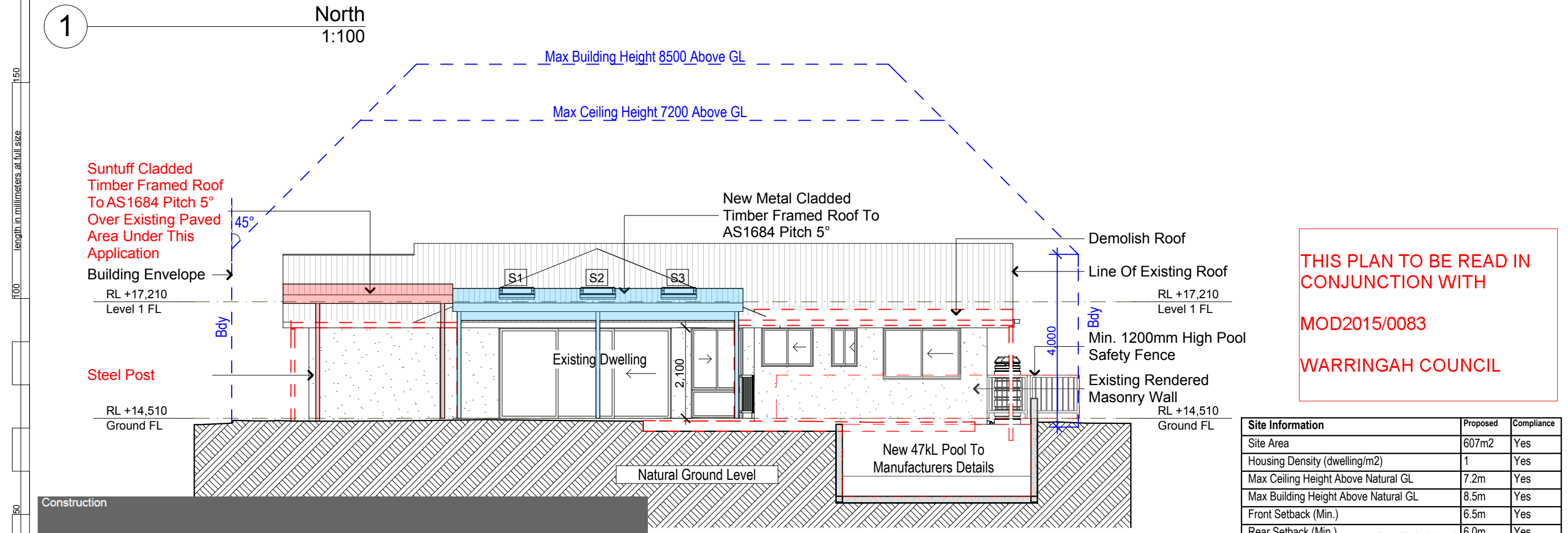
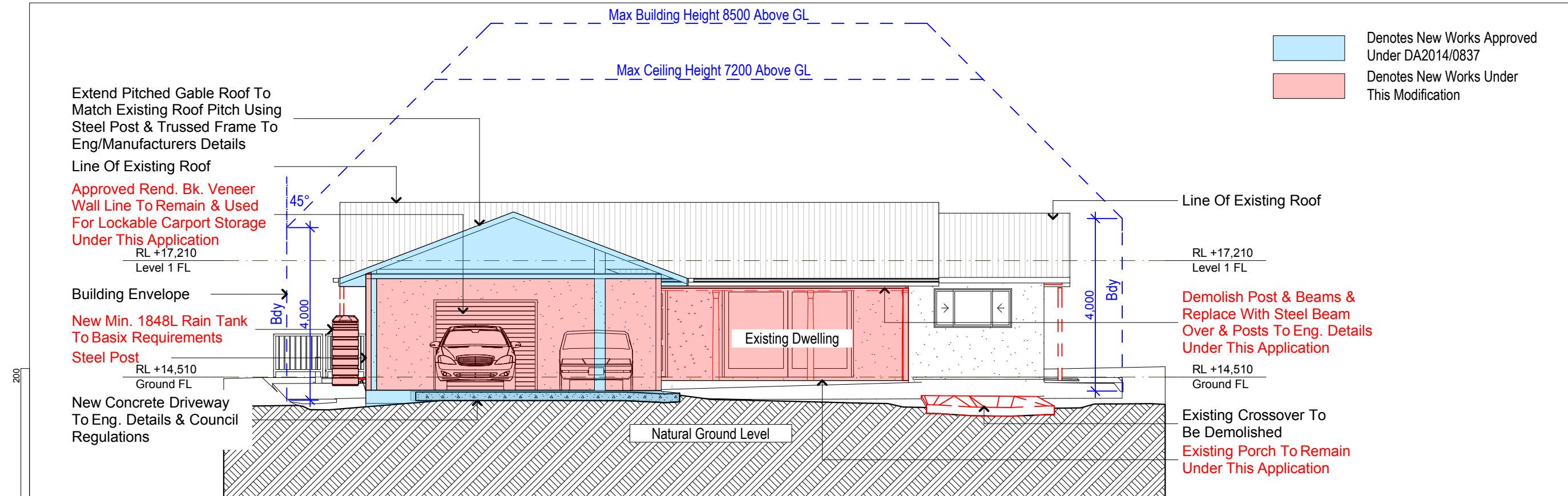
Section 3
1:100

- Denotes New Works Approved Under DA2014/0837
- Denotes New Works Under This Modification

THIS PLAN TO BE READ IN CONJUNCTION WITH
MOD2015/0083
WARRINGAH COUNCIL

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Site Information	Proposed	Compliance
Site Area	607m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m ²)	352.37m ²	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Site Information	Proposed	Compliance
Site Area	607m2	Yes
Housing Density (dwelling/m2)	1	Yes
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Rear Setback (Min.)	6.0m	Yes
Minimum side boundry setback (Min.)	0.9m	Yes
Building envelope	4m@45	Yes
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Impervious area (m2)	352.37m2	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

Rapid Plans
Building Design and Architectural Drafting

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PO Box 6193 Frenchs Forest DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au

BUILDING DESIGNERS AUSTRALIA NSW

NOTES

34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Blue.
34 Robert Avenue North Manly is not considered a heritage item.

Construction

Brick Veneer Walls, Timber Framed Floor & Roof.
Roof Metal Deck to have min. R0.95 Insulation
Insulation to External Framed & Brick Walls min. R1.7
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Basix

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Project North

DA MOD Application Only

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Selena Mohr & Gerry Daly
Project Name
Alterations & Additions
34 Robert Avenue North Manly
2100

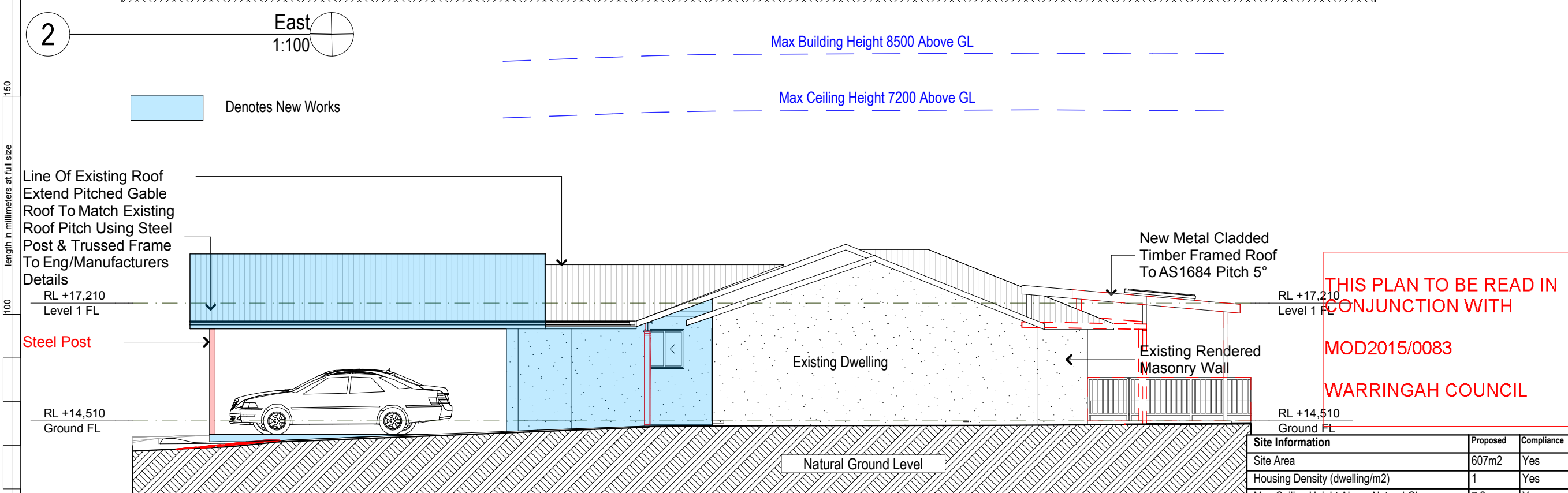
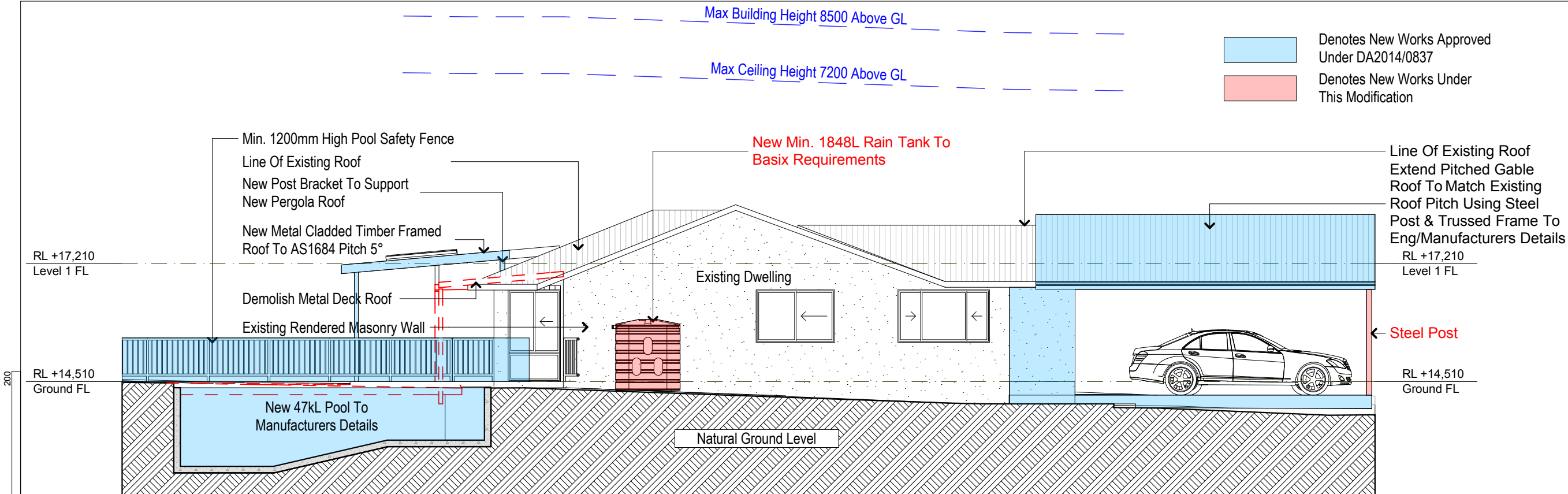
Lot 18 D.P.249823

Drawing Title:
Elevations - Elevation 1
North, South


Scale: A3 as noted Date: 27-4-2015
Status: DA MOD2 Checked By: GBJ

Project No:
RP0710DAL

Drawing No.:
DAMod4001



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



Rapid Plans
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Email : gregg@rapidplans.com.au

Denotes New Works Approved Under DA2014/0837

Denotes New Works Under This Modification

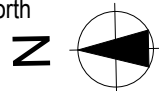
NOTES
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Blue.
34 Robert Avenue North Manly is not considered a heritage item.

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Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1288-2047.
Waterproofing to BCA and AS 3740.
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Basix
Basix Certificate Number A194619_02
All Plans to be read in conjunction with Basix Certificate.
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Site Information		
Site Area	Proposed	Compliance
Site Area	607m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	352.37m2	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

Project North



DA MOD Application Only

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
Selena Mohr & Gerry Daly

Project Name
Alterations & Additions

34 Robert Avenue North Manly
2100

Lot 18 D.P.249823

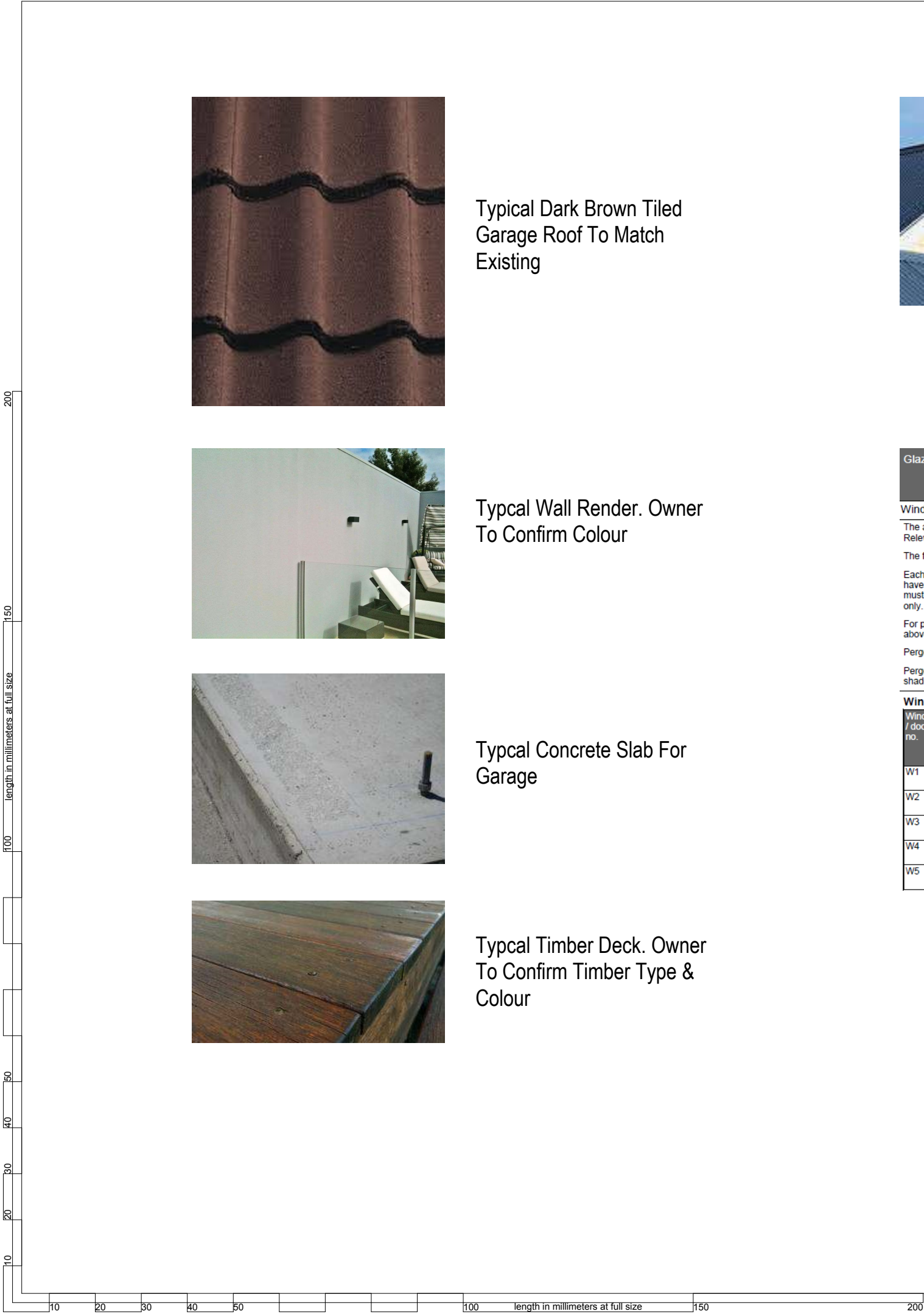
Drawing Title:
Elevations - Elevations 2
West, East

Scale: A3 as noted Date: 27-4-2015

Status: DA MOD2 Checked By: GBJ

Project No:
RP0710DAL

Drawing No.:
DAMod4002



Typical Dark Brown Tiled
Garage Roof To Match
Existing



Typcal Wall Render. Owner
To Confirm Colour



Typcal Concrete Slab For
Garage



Typcal Timber Deck. Owner
To Confirm Timber Type &
Colour



Typcal Colorbond Roof Over
Rear Deck. Owner To Confirm
Colour

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	E	2.5	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	W	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	0.4	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	N	4	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	W	1.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

THIS PLAN TO BE READ IN
CONJUNCTION WITH

MOD2015/0083

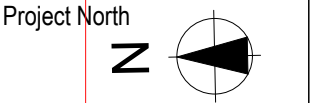
WARRINGAH COUNCIL

Site Information	Proposed	Compliance
Site Area	607m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45	Yes
% of landscape open space (40% min)	42%	Yes
Impervious area (m2)	352.37m2	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

NOTES
34 Robert Avenue, North Manly is in Locality R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Blue
34 Robert Avenue North Manly is not considered a heritage item

Construction
Brick Veneer Walls, Timber Framed Floor & Roof
Roof Metal Deck to have min. R0.95 Insulation
Insulation to External Framed & Brick Walls min. R1.7
Refer to Engineers Drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A194619_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



**DA MOD Application
Only**

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Client
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Project Name
Alterations & Additions
34 Robert Avenue North Manly
2100

Lot 18 D.P.249823

Drawing Title:
Shadow Diagrams - Colours & Finishes Sample Board

Scale: A3 as noted Date: **27-4-2015**

Status: DA MOD2 Checked By: **GBJ**

Project No.:
RP0710DAL Drawing No.:
DAMod5005