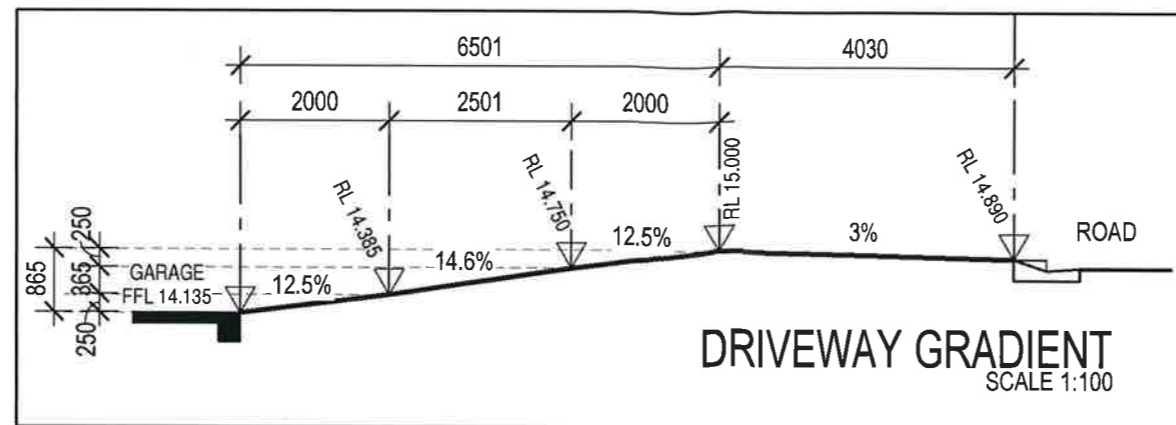




L.G.A. : NORTHERN BEACHES
PARISH : NARRABEEN
COUNTY : CUMBERLAND

AREA LOT 9
VIDE DP 1206507: 410.8 m²
BY CALC : 410.8 m²



STORMWATER TO HYDRAULIC ENG'S DETAILS

B.A.S
POSSIBLE ENCASEMENT REQUIRED
ADDITIONAL SEWER INFO. REQUIRED

SITE DETAILS
LOT NUMBER: 9
DP NUMBER: 1206507

AREAS
SITE AREA: 410.08m²
GROUND FLOOR 128.65 m²
FIRST FLOOR 101.78 m²
GARAGE 37.32 m²
PORCH 4.63 m²
Grand total 272.37 m²

DRIVEWAY: 33.37m²

SITE COVERAGE: 169.86m² - 41.42%
PRIVATE OPEN SPACE: 93.09m²

PROJECT DETAILS:
GROUND & FIRST FLOOR LIVING TOTAL: 230.67m²
ROOF AREA: 199.69m²
NO. OF BEDROOMS: 4

LANDSCAPE:
TOTAL AREA OF VEGETATION: 207.06m² - 50.49%

STORMWATER:
RAINWATER TANK SIZE: = 3000 litre
ROOF AREA CONNECTED TO RAINWATER
TANK: (62) % MIN MIN- 125.00m² (to eng's details)
RAINWATER USES: GARDEN/TOILET/LAUNDRY

SITE NOTES & CONDITIONS:
-HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.
-EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER
-EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION AND TO REMAIN OUTSIDE OF BUILDING PLATFORM.
-EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.
-WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.
-DIMENSIONS SHOWN ARE TO FRAME, UNDERSIDE OF ROOF TRUSSES AND FROM WINCREST FFL (CONCRETE) TO UNDERSIDE OF FLOOR JOIST
-FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY AND WILL VARY ON SITE
-ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER
- ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS

FSR CALCULATIONS
SITE AREA: 410.08m²
HOUSE AREAS:
INTERNAL GROUND FLOOR LIVING: 156.59m²
INTERNAL FIRST FLOOR LIVING: 93.57m²
INTERNAL TOTAL: 250.16m²
FLOOR SPACE RATIO: 0.61:1

NOTE:
FSR CALCULATED TO INTERNAL FACE OF EXTERNAL WALLS AS PER LEP DEFINITION

THE SUBJECT PROPERTY WAS AFFECTED BY THE FOLLOWING
-RESTRICTION(S) ON THE USE OF LAND VIDE THE 88B INSTRUMENT REGISTERED DP1206507

(O) - THAT PART LOT 12 BENEFITED BY EASEMENT FOR ELECTRICITY VARIABLE WIDTH (N) & BURDENED BY POSITIVE COVENANT No 11 VIDE DP1206507
(O) - EASEMENT TO DRAIN WATER 2 WIDE VIDE DP1206507

THE SUBJECT PROPERTY WAS BENEFITED BY THE FOLLOWING

-EASEMENT TO DRAIN WATER 2.5 WIDE VIDE DP1206507
-EASEMENT TO DRAIN WATER VARIABLE WIDTH VIDE DP1206507
-EASEMENT TO DRAIN WATER 1.5 WIDE VIDE DP1206507
(V) - EASEMENT TO DRAIN WATER 2 WIDE VIDE DP1206507
(W) - EASEMENT FOR ACCESS, MAINTENANCE & SUPPORT 0.9 WIDE VIDE DP1206507

SEVERE MARINE CLASSIFICATION SL1

ALL TRADES & SUPPLIERS TO COMPLY
WITH THE BCA AND ALL RELEVANT AUST STANDARDS

ACID SULFATE EFFECTED SITE REQUIREMENTS (CLASS 5)

PROVIDE 32 MPa CONCRETE TO SLAB WITH
SULFATE RESISTING CEMENT
PROVIDE 0.3mm HIGH IMPACT VAPOUR MEMBRANE

SITE PLAN

ISSUE	AMENDMENT	DATE
A	PFD & SV1 (EB)	14.08.19
B	VARY B (EC)	29.08.19
C	VARY C (EC)	02.09.19
D	VARY D (EC)	25.09.19
E	POOL AMENDED (EC)	26.09.19
F	FFD (EB)	30.09.19

LOCATION: T:\First draft\17398_CATLIN & KALOUS\Drawings\17398_CATLIN.rvt

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WINCREST

BESPOKE
Wincrest Group Pty Ltd.
ACN 135 562 873
Builders License No. 213 442C
18 Pitt St, Paramatta NSW 2150
Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:

CLIENT: MR CATLIN & MRS KALOUS

ADDRESS:

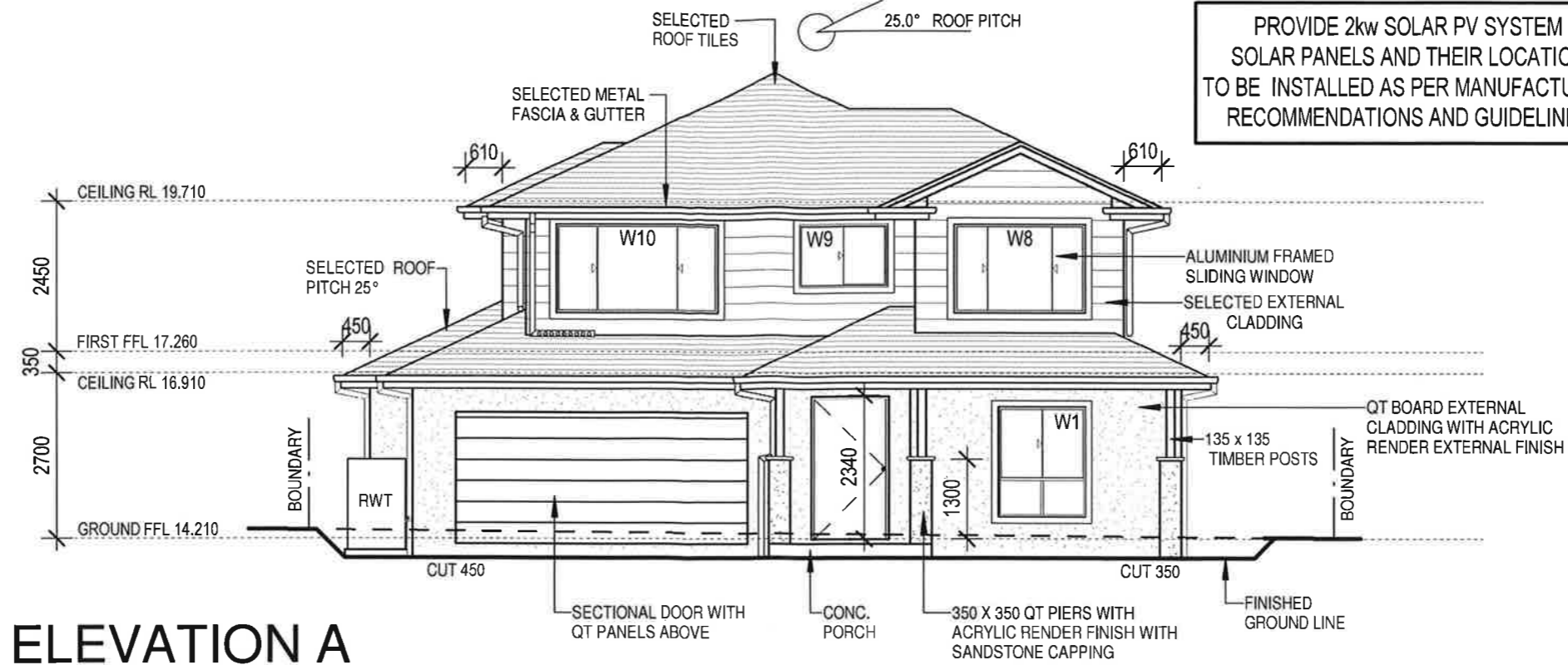
LOT 9, No 41 WARRIEWOOD ROAD
WARRIEWOOD
NORTHERN BEACHES COUNCIL

CASA BELA INCLUSIONS

JOB NO: 17398	DATE: 26.09.19
DRAWN: EB	CHECKED: .
SCALE: As indicated	SHEET NO: 01

PLEASE DISCARD ALL OTHER PLANS

DO NOT SCALE DRAWING



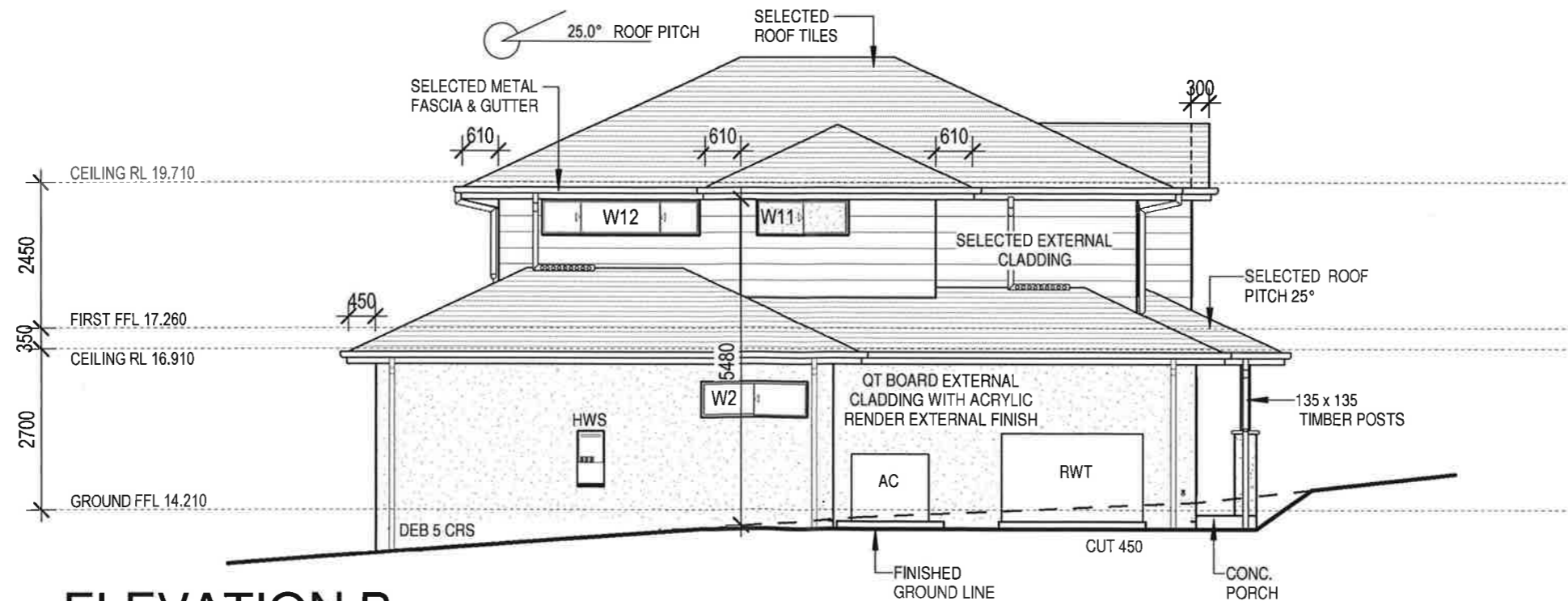
PROVIDE 2kw SOLAR PV SYSTEM
SOLAR PANELS AND THEIR LOCATION
TO BE INSTALLED AS PER MANUFACTURES
RECOMMENDATIONS AND GUIDELINES

NOTE:

- FIRST FLOOR WINDOW HEADS TO BE PLACED DIRECTLY UNDER EAVES OR AT EQUAL HEIGHT
- GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL
- ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.

ELEVATION A

1 : 100



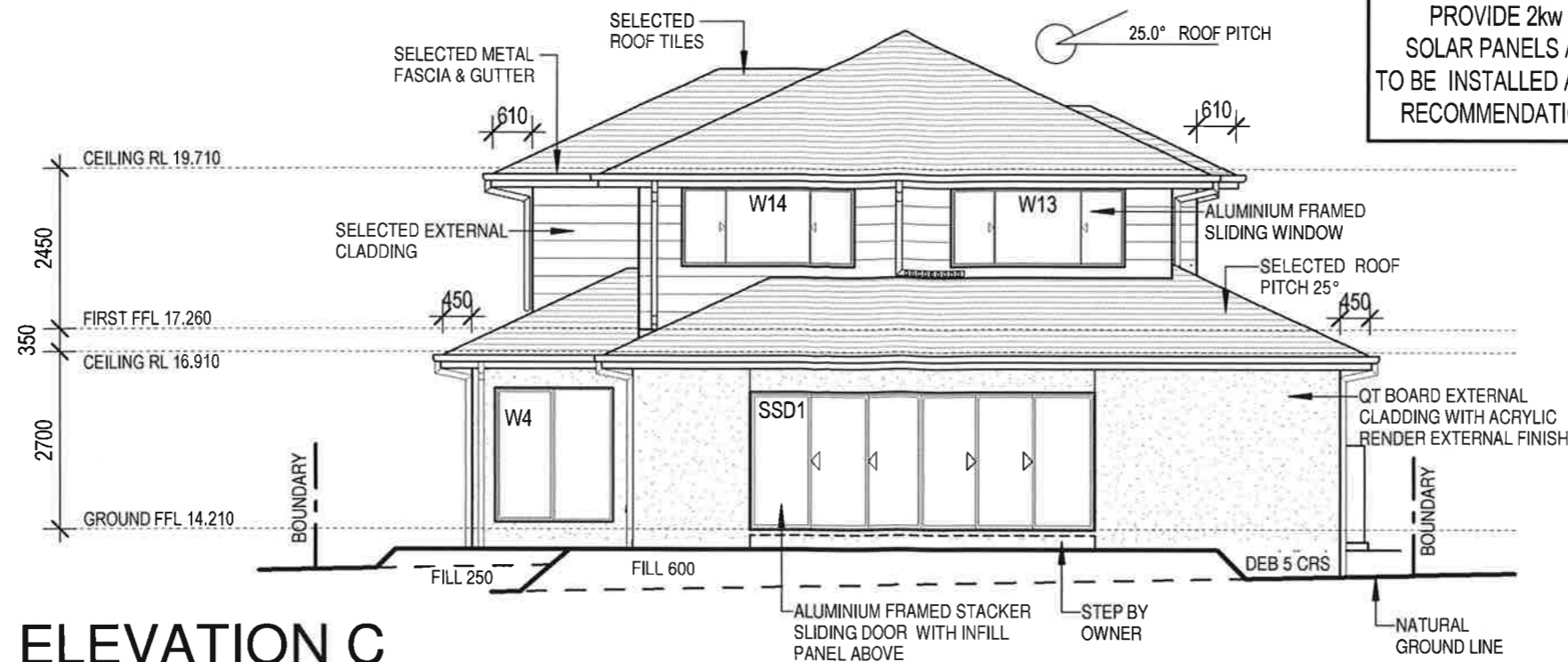
ELEVATION B

1 : 100

ELEVATIONS

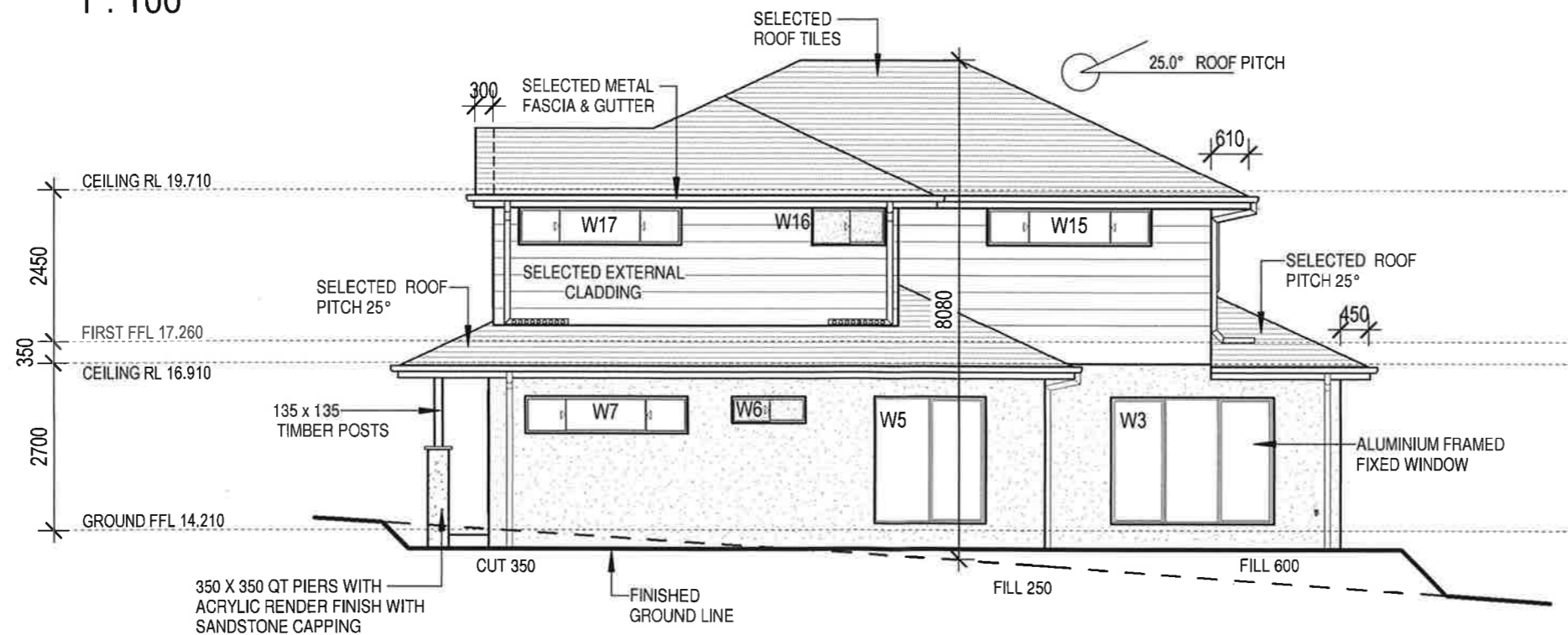
ISSUE	AMENDMENT	DATE	<p>Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.</p>		<p>WINCREST</p> <p>BESPOKE</p> <p>Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806</p>		<p>PROPOSED RESIDENCE FOR: CLIENT: MR CATLIN & MRS KALOUS</p> <p>ADDRESS: LOT 9, No 41 WARRIEWOOD ROAD WARRIEWOOD NORTHERN BEACHES COUNCIL</p>		<p>CASA BELA INCLUSIONS</p> <p>JOB NO: 17398 DATE: 26.09.19</p> <p>DRAWN: EB CHECKED: .</p> <p>SCALE: 1 : 100 SHEET NO: 04</p> <p>PLEASE DISCARD ALL OTHER PLANS</p> <p>DO NOT SCALE DRAWING</p>	
A	B	C								
A	PFD & SV1 (EB)	14.08.19								
B	VARY B (EC)	29.08.19								
C	VARY C (EC)	02.09.19								
D	VARY D (EC)	25.09.19								
E	POOL AMENDED (EC)	26.09.19								
F	FFD (EB)	30.09.19								

LOCATION: T:\First drafts\17398_CATLIN & KALOUS\Drawings\17398_CATLIN.rvt



ELEVATION C

1 : 100



ELEVATION D

1 : 100

ELEVATIONS

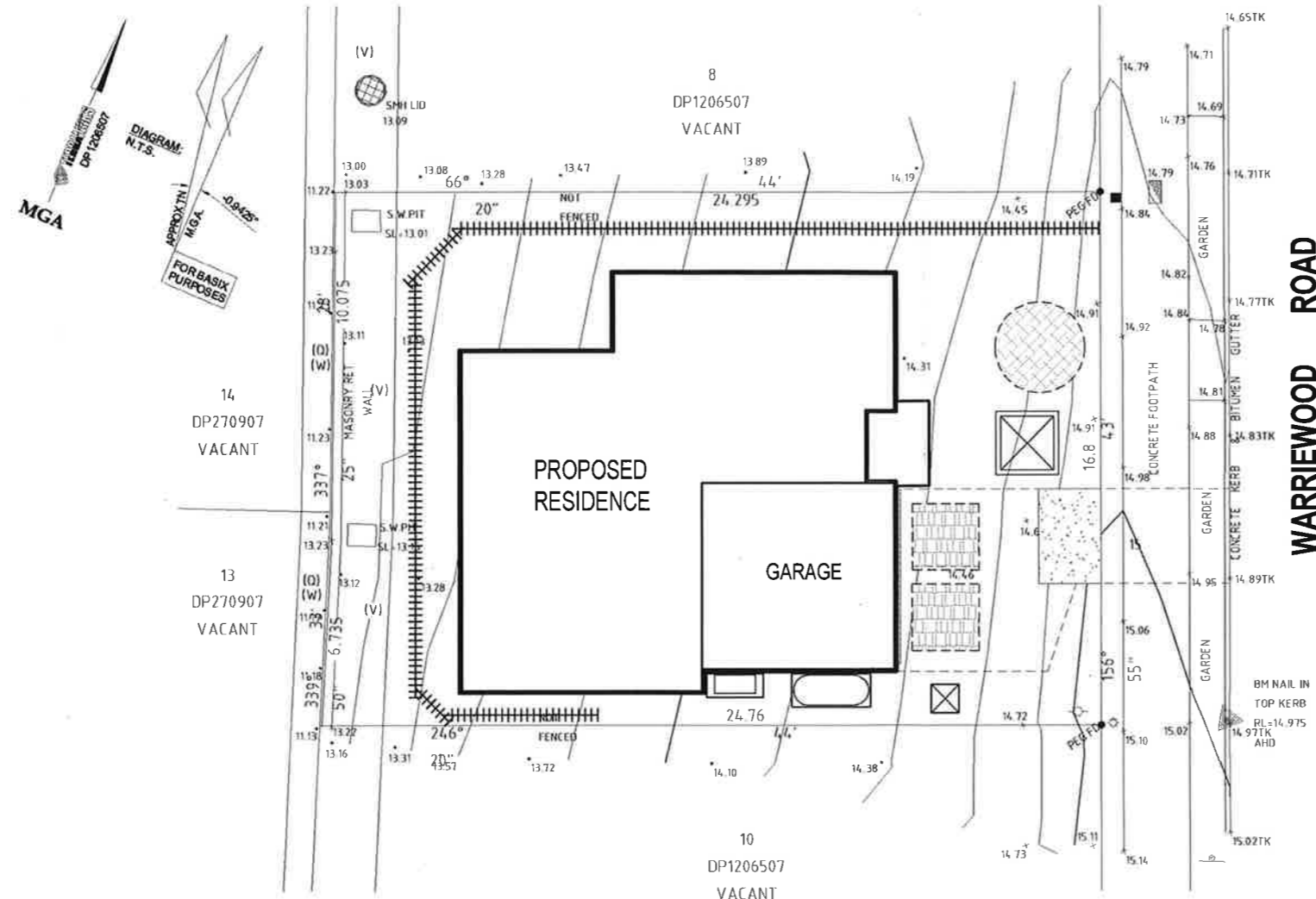
ISSUE	AMENDMENT	DATE	<p>Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.</p>	<div><p>BESPOKE Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806</p></div>	PROPOSED RESIDENCE FOR: CLIENT: MR CATLIN & MRS KALOUS	CASA BELA INCLUSIONS	
A	PFD & SV1 (EB)	14.08.19			ADDRESS: LOT 9, No 41 WARRIEWOOD ROAD WARRIEWOOD NORTHERN BEACHES COUNCIL	JOB NO: 17398	DATE: 26.09.19
B	VARY B (EC)	29.08.19				DRAWN: EB	CHECKED: .
C	VARY C (EC)	02.09.19				SCALE: 1 : 100	SHEET NO: 05
D	VARY D (EC)	25.09.19				PLEASE DISCARD ALL OTHER PLANS	
E	POOL AMENDED (EC)	26.09.19				DO NOT SCALE DRAWING	
F	FFD (EB)	30.09.19					
LOCATION: T:\First draft\17398 CATLIN & KALOUS\Drawings\17398 CATLIN.rvt							

LOCATION: T:\First draft\17398_CATLIN & KALOUS\Drawings\17398_CATLIN.rvt

NOTE:

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- GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL
- ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.

PROVIDE 2kw SOLAR PV SYSTEM
SOLAR PANELS AND THEIR LOCATION
TO BE INSTALLED AS PER MANUFACTURES
RECOMMENDATIONS AND GUIDELINES



LEGEND

- Material Stockpile area.
- Waste stockpile & material sorting area.
- Storage recycling bins for segregated waste.
- Chemical toilets.
- Temporary builders d/way to E.P.A. requirements.
- Fit standard 600 high green silt fence (refer to detail).
- Trees to be removed.

NOTE: All waste materials to be taken to an approved waste disposal site.

SOIL , SEDIMENT AND SITE MANAGEMENT PLAN

ISSUE		AMENDMENT	DATE	Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.	<div> BESPOKE Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806</div>	PROPOSED RESIDENCE FOR:		CASA BELA INCLUSIONS	
A		PFD & SV1 (EB)	14.08.19			CLIENT: MR CATLIN & MRS KALOUS		JOB NO: 17398	DATE: 26.09.19
B		VARY B (EC)	29.08.19			ADDRESS: LOT 9, No 41 WARRIEWOOD ROAD WARRIEWOOD NORTHERN BEACHES COUNCIL		DRAWN: EB	CHECKED: Checker
C		VARY C (EC)	02.09.19					SCALE: 1 : 200	SHEET NO: 15
D		VARY D (EC)	25.09.19					PLEASE DISCARD ALL OTHER PLANS	
E		POOL AMENDED (EC)	26.09.19					DO NOT SCALE DRAWING	
F		FFD (EB)	30.09.19						
LOCATION: Tel:02 9635 1644 CATLIN & KALOUS Pty Ltd 17398 CATLIN & KALOUS									

LOCATION: T:\First draft\17398_CATLIN & KALOUS\Drawings\17398_CATLIN.rvt

3S12-100. EXTEND 600 INTO MAIN POOL WALL

MAX 1000 HIGH FENCE

900 MAX

60 COVER

S12-200 IN WALL

S12-300, LAP 300 WITH MAIN POOL BARS

S12-300 IN FLOOR

HYDROSTATIC RELIEF VALVE AND MAIN DRAIN

5500

(REFER TO THE ENGINEER IF LENGTH EXCEEDS 15000)

1500

1500

100

1000

R4.50

150

14.00 APPROX

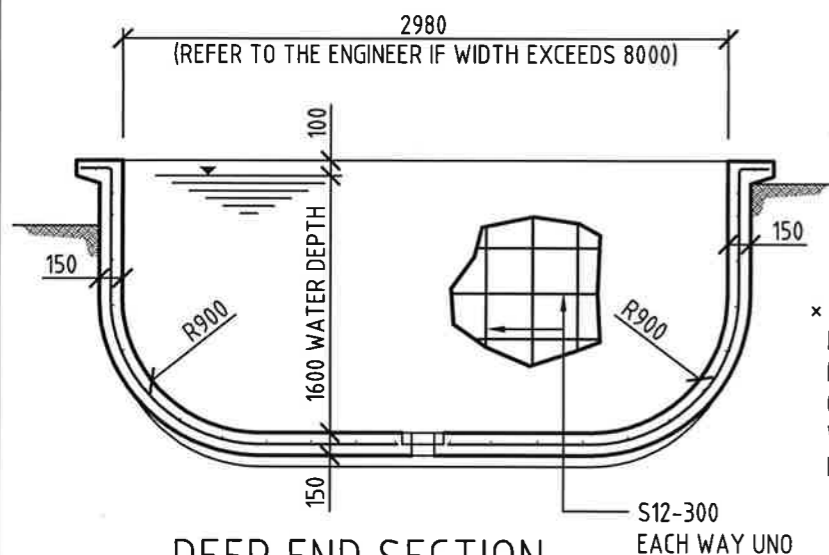
14.00 APPROX

S12-300 EACH WAY UNO

200µm POLYTHENE MEMBRANE ON MIN 50 THICK LAYER OF CRUSHED STONE, COURSE AGGREGATE OR OTHER MATERIAL AS APPROVED BY THE ENGINEER. DRAIN TO RELIEF VALVE

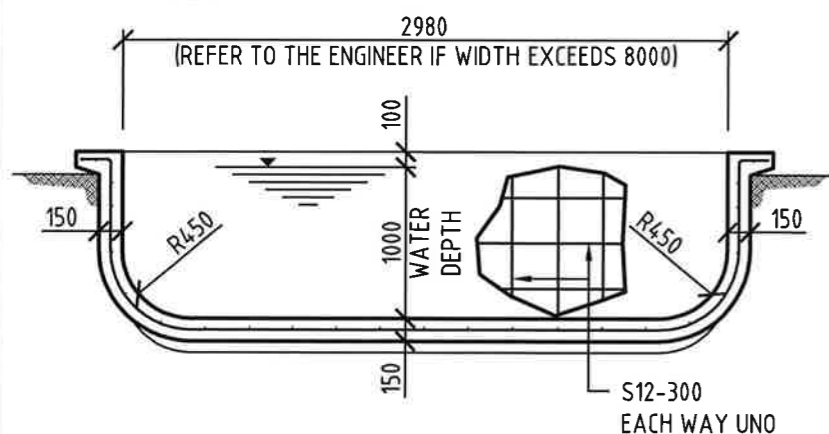
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WITH OPTIONAL OVERFLOW TANK
BASE OF OVERFLOW TANK TO BEAR
ON SAME MATERIAL AS POOL SHELL



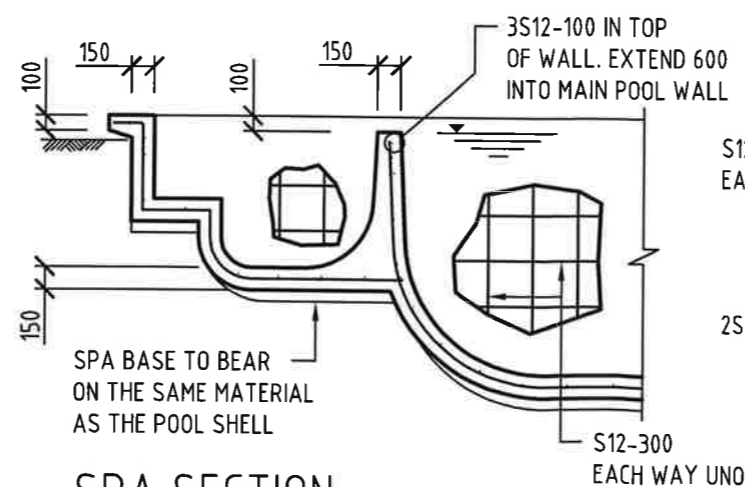
DEEP END SECTION

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SHALLOW END SECTION

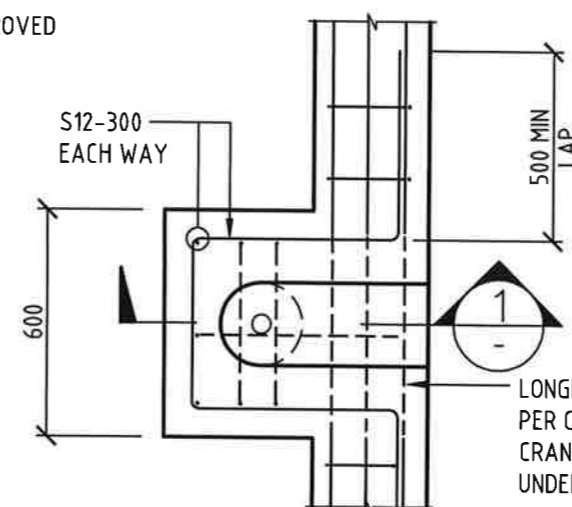
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SPA SECTION

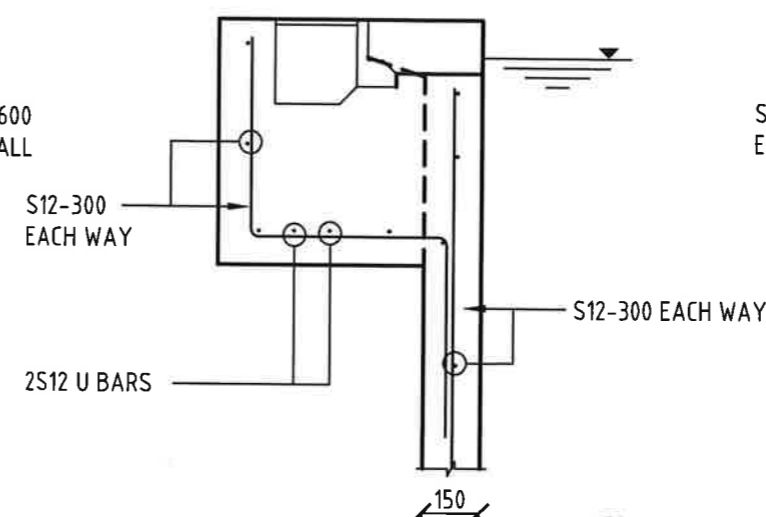
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Structural details only certified by:



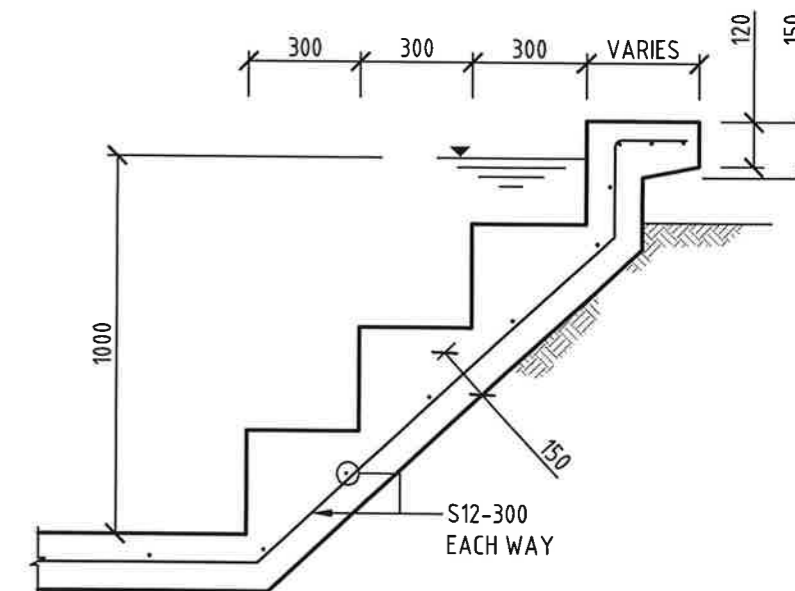
PLAN OF SKIMMER

1:20



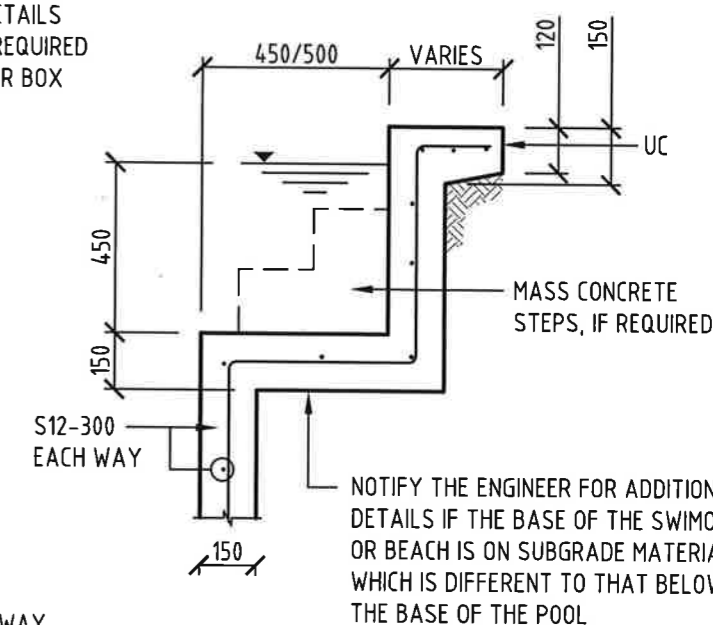
SECTION

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STEPS CAST AGAINST GROUND

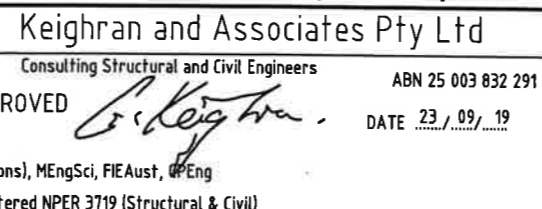
1:20



SWIMOUT OR BEACH

1:20

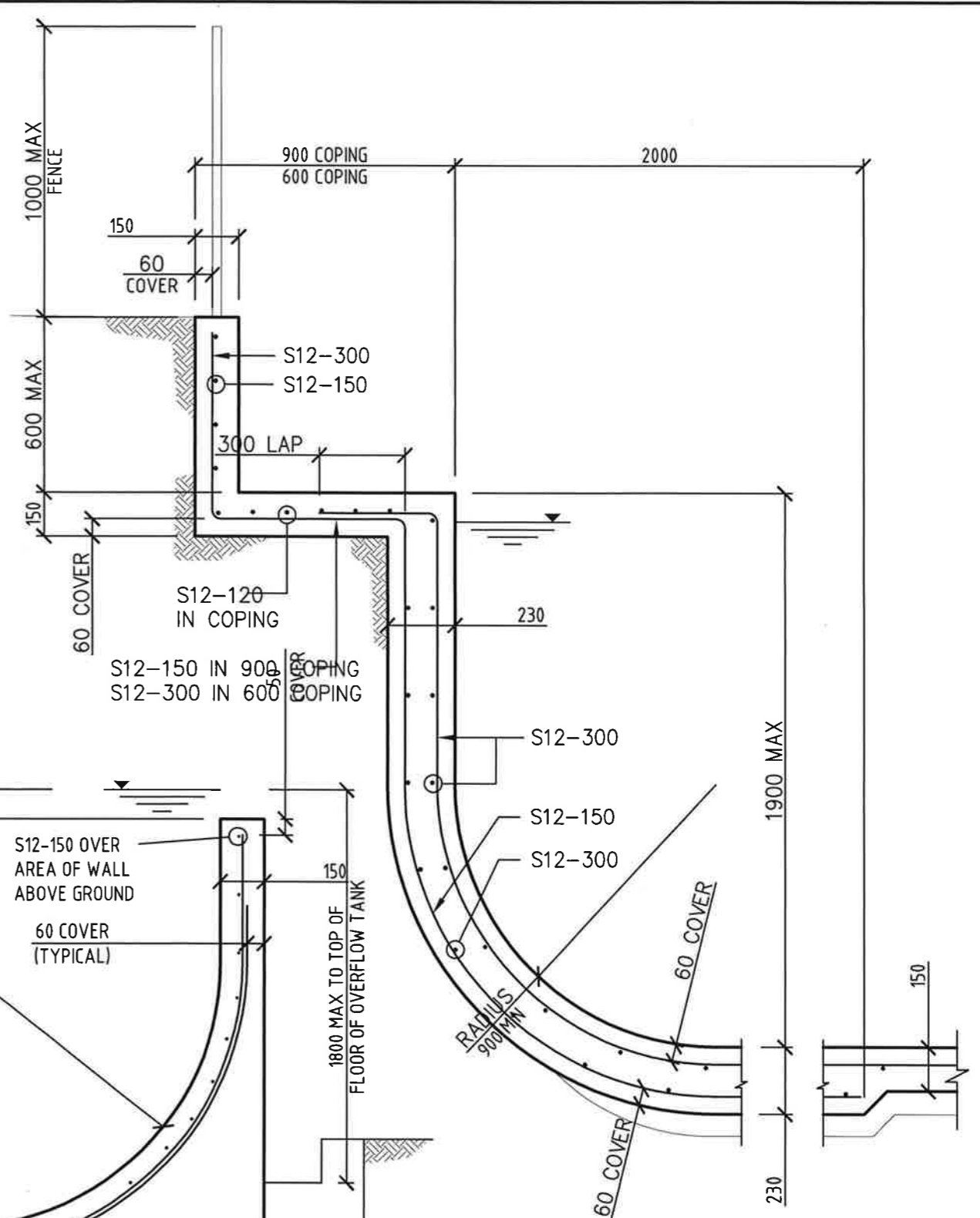
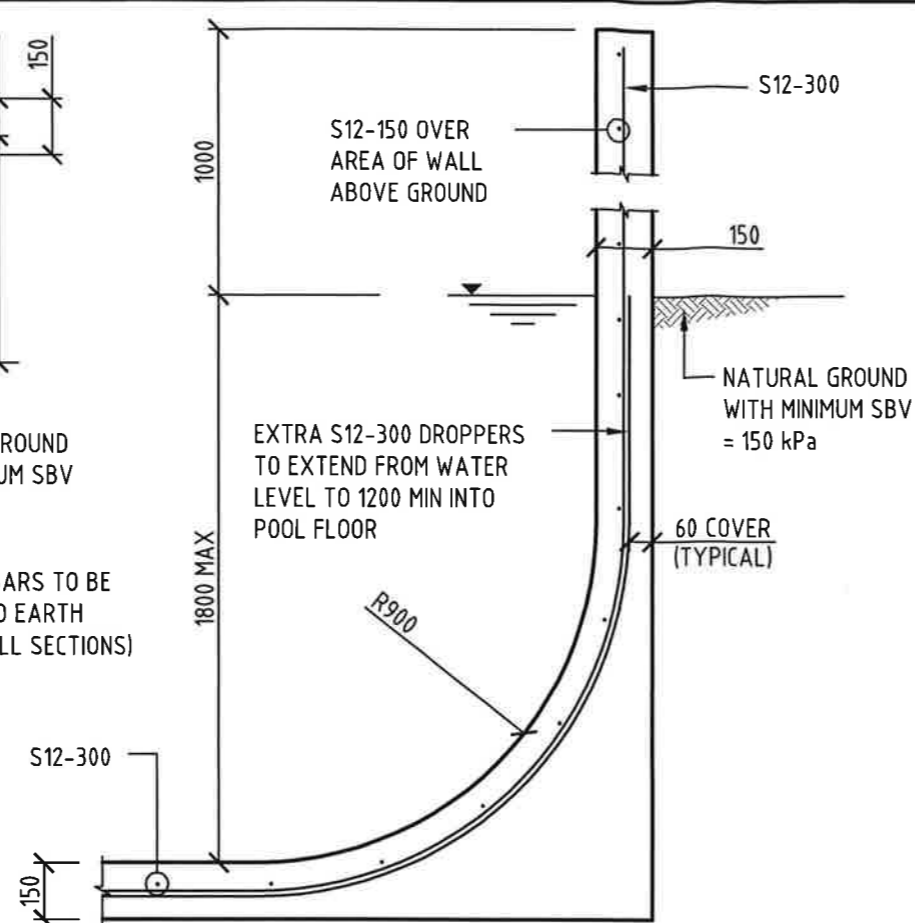
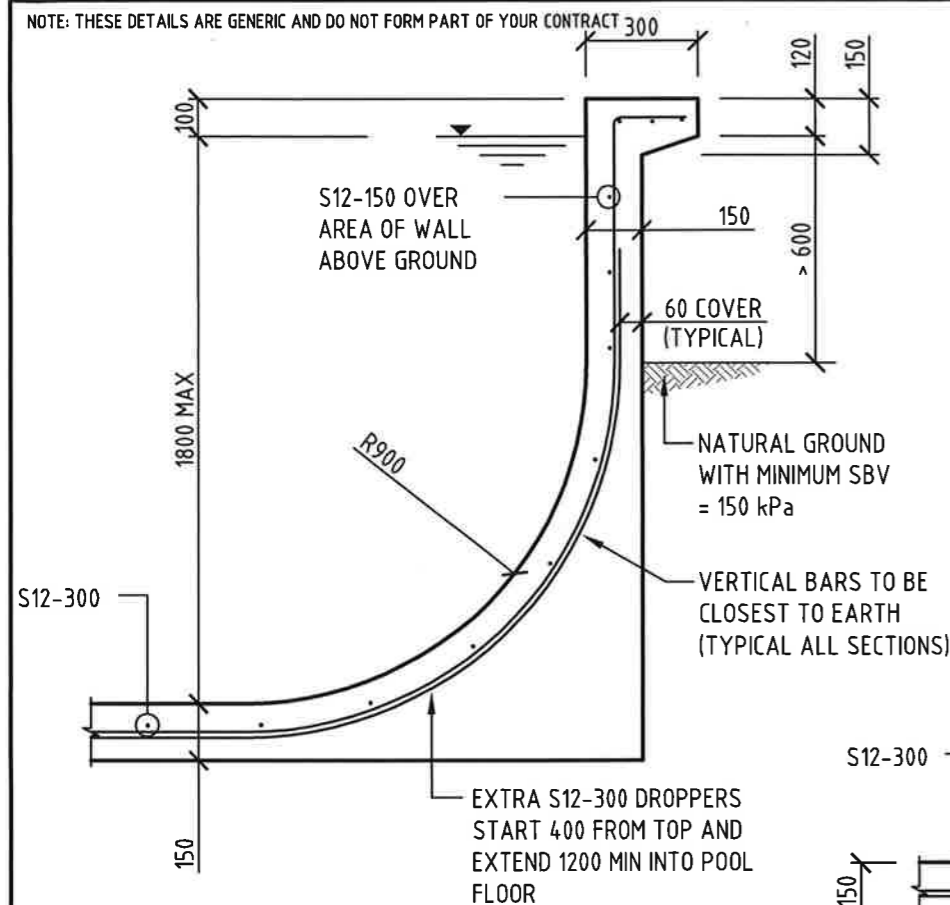
Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd
68 Hume Highway Lansvale NSW 2166
Telephone: (02) 9728 0444 Fax: (02) 9754 2906
Licence Number - 237620C ABN 78 133 909 369



FOR: CATLIN AND KALOUS
AT: 41 WARRIEWOOD ROAD
WARRIEWOOD

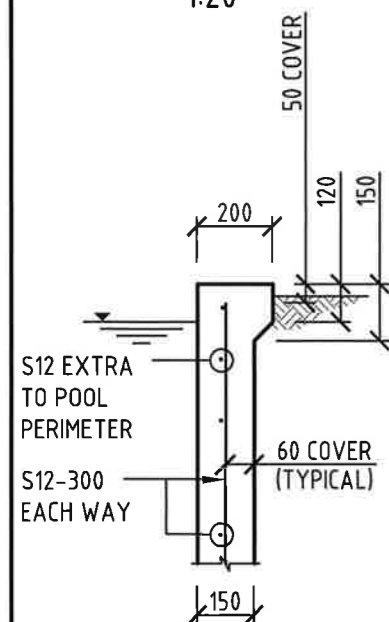
REV	DATE	DESCRIPTION	DWG/CONTRACT	
A	23.09.19	INITIAL ISSUE	19S3850	
			SHEET	REV
			2 OF 4	A

NOTE: THESE DETAILS ARE GENERIC AND DO NOT FORM PART OF YOUR CONTRACT 300

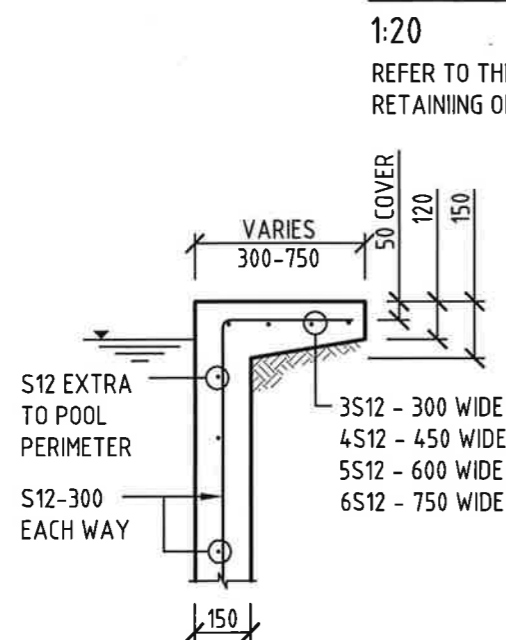


POOL WALL DETAIL

1:20



200 COPING



300 - 750 COPING

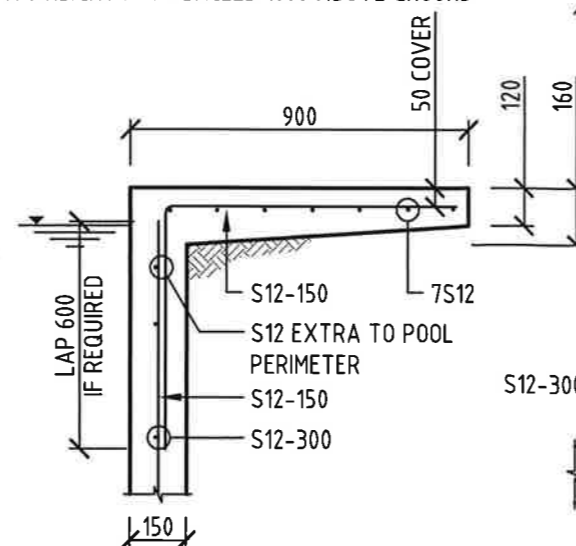
COPING DETAILS

1:20

FEATURE WALL DETAIL TO 1000 HIGH

1:20

REFER TO THE ENGINEER IF THE FEATURE WALL IS TO BE PART
RETAINING OR IF ITS HEIGHT IS TO EXCEED 1000 ABOVE GROUND



900 COPING

NOTIFY ENGINEER IF FENCE
IS PROPOSED TO BE ERECTED
AT OUTER EDGE OF COPING

Structural details only certified by:

Keighran and Associates Pty Ltd

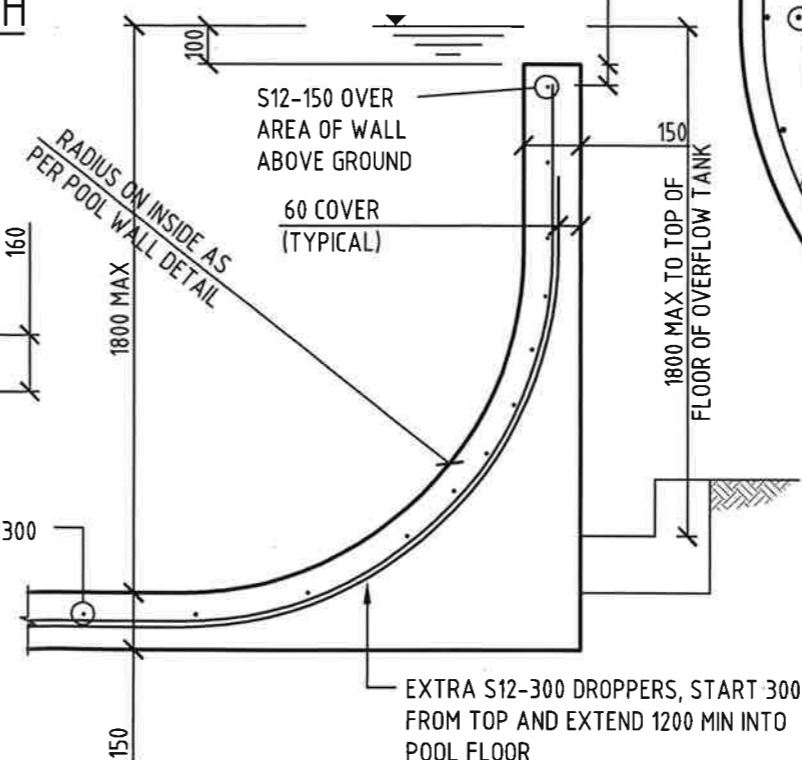
Consulting Structural and Civil Engineers

ABN 25 003 832 291

APPROVED 

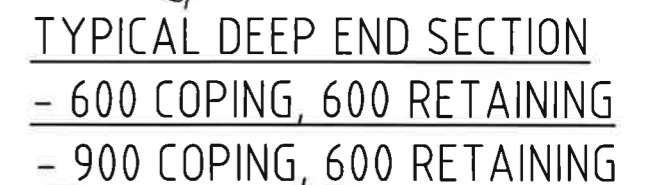
BE (Hons), MEngSci, FIEAust, CEng

Registered NPER 3719 (Structural & Civil)



INFINITY EDGE DETAIL

1:20



1:20

BLUE HAVEN POOLS SOUTH PTY LTD

Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd
68 Hume Highway Lansvale NSW 2166
Telephone: (02) 9728 0444 Fax: (02) 9754 2906
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Keighran and Associates Pty Ltd

Consulting Structural and Civil Engineers

ABN 25 003 832 291

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Registered NPER 3719 (Structural & Civil)

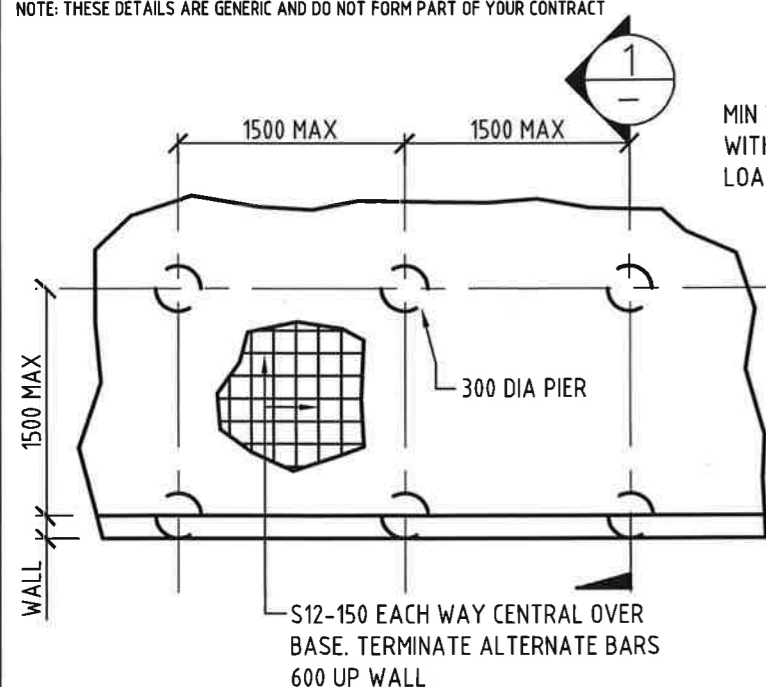


PROPOSED SWIMMING POOL STRUCTURAL DETAILS

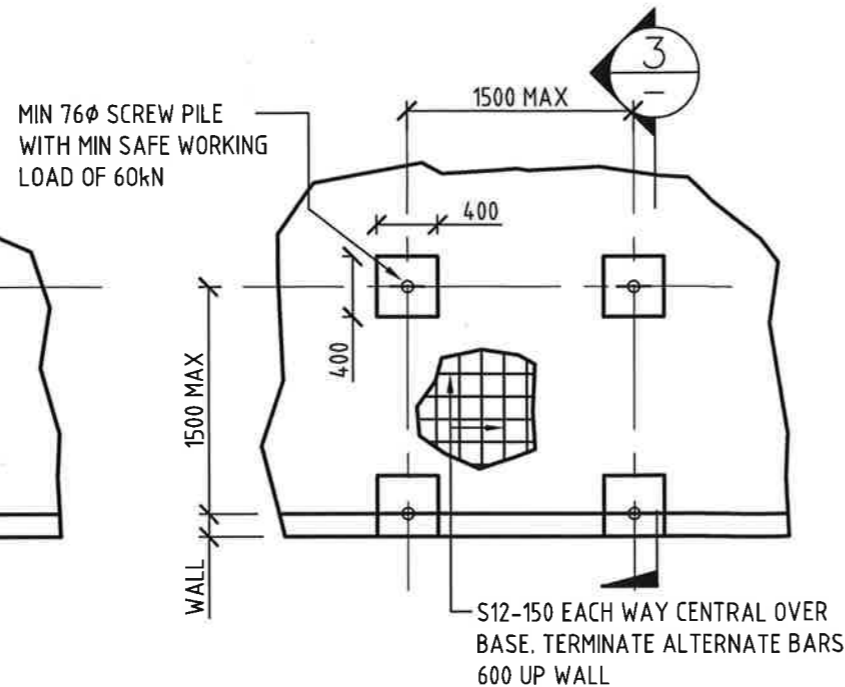
FOR: CATLIN AND KALOUS
AT: 41 WARRIEWOOD ROAD
WARRIEWOOD

REV	DATE	DESCRIPTION	DWG/CONTRACT No	
A	23.09.19	INITIAL ISSUE	19S3850	
			SHEET	REV
			3 OF 4	A

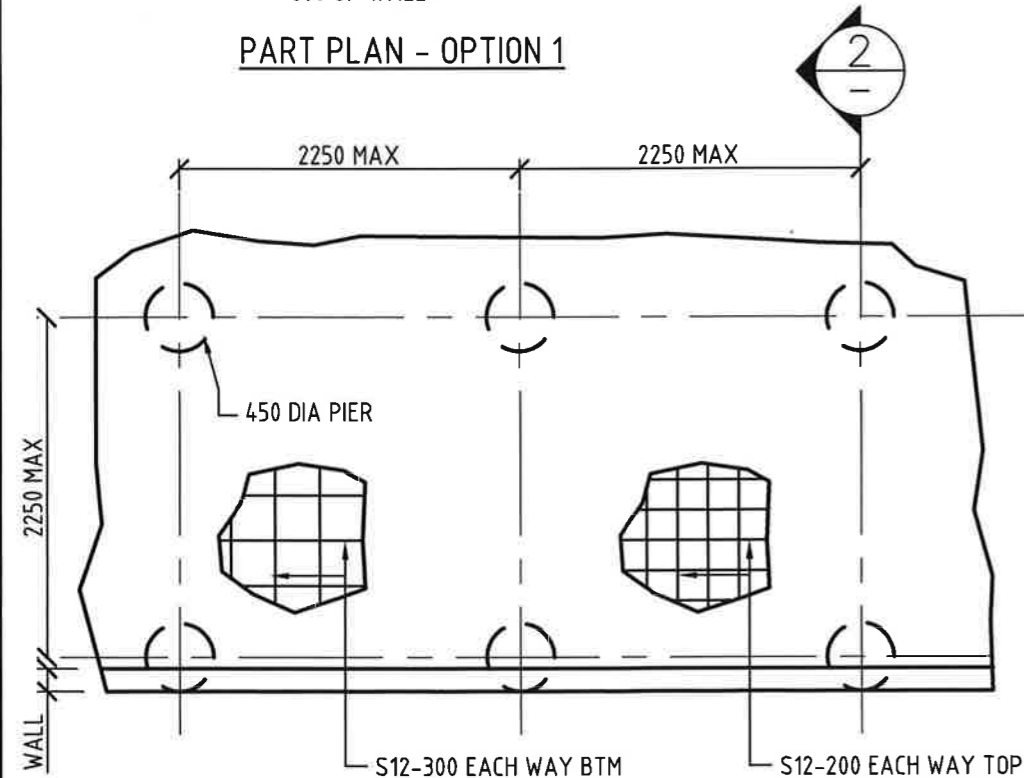
NOTE: THESE DETAILS ARE GENERIC AND DO NOT FORM PART OF YOUR CONTRACT



PART PLAN - OPTION 1



PART PLAN - OPTION 3



PART PLAN - OPTION 2

SUSPENDED POOL PLANS

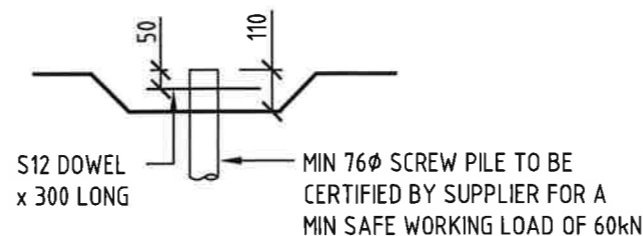
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PIERS

$F'_c = 20 \text{ MPa}$

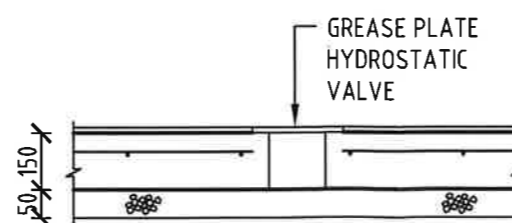
60 COVER TO REINFORCEMENT

UNLESS NOTED OTHERWISE, PIERS TO BE FOUNDED IN UNIFORM ROCK WITH A SAFE BEARING VALUE OF 800 kPa. REFER TO THE ENGINEER IF DEPTH OF PIERS EXCEEDS 3000



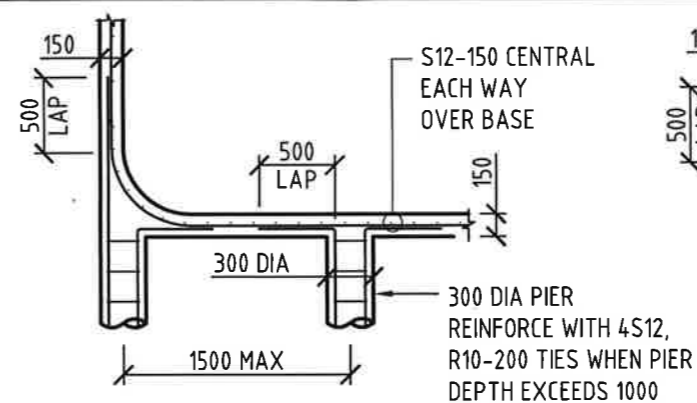
SCREW PILE DETAIL

1:20



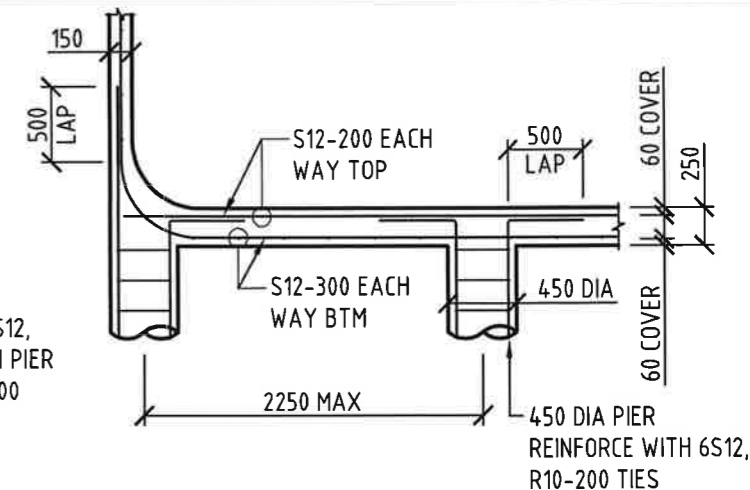
HYDROSTATIC VALVE DETAIL

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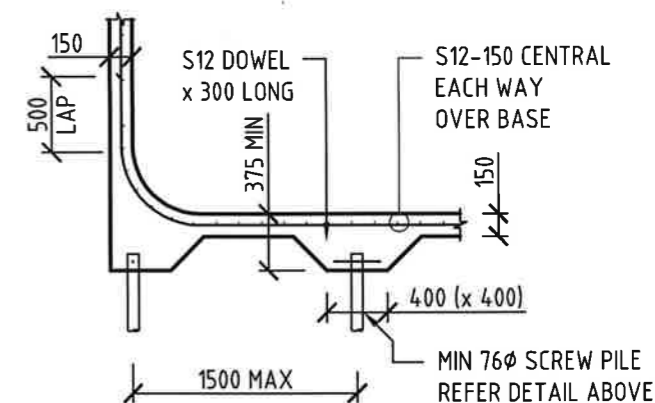
SECTION 1

1:50



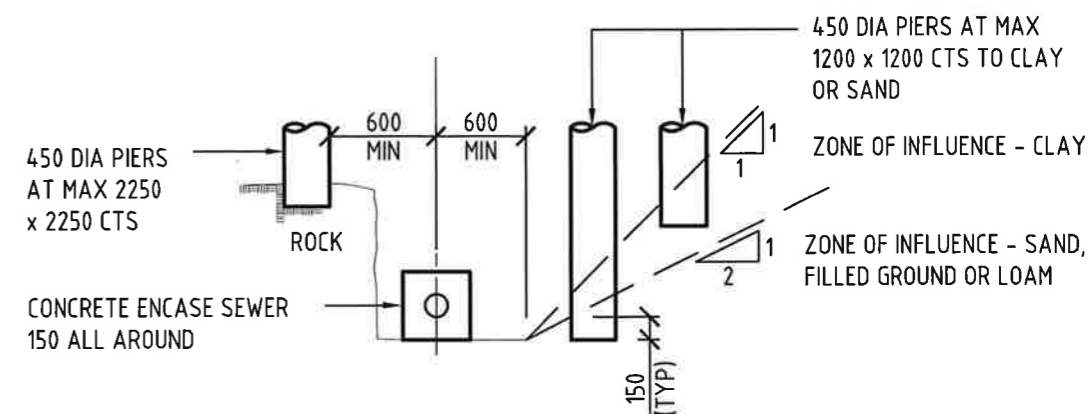
SECTION 2

1:50



SECTION 3

1:50



TYPICAL BUILDING OVER SYDNEY WATER SEWER

1:50

1. CLAY OR SAND TO HAVE A MINIMUM SAFE BEARING VALUE OF 200kPa
2. ROCK TO HAVE A MINIMUM SAFE BEARING VALUE OF 800kPa
3. POOL BASE TO BE AS PER SUSPENDED POOL FOR RELEVANT PIER SPACING

BLUE HAVEN POOLS SOUTH PTY LTD

Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd
68 Hume Highway Lansvale NSW 2166
Telephone: (02) 9728 0444 Fax: (02) 9754 2906
Licence Number - 237620C ABN 78 133 909 369



Keighran and Associates Pty Ltd

Consulting Structural and Civil Engineers

ABN 25 003 832 291

APPROVED

Signature of C. Keighran

DATE 23/09/19

BE (Hons), MEngSci, FIEAust, UP Eng

Registered NPER 3719 (Structural & Civil)



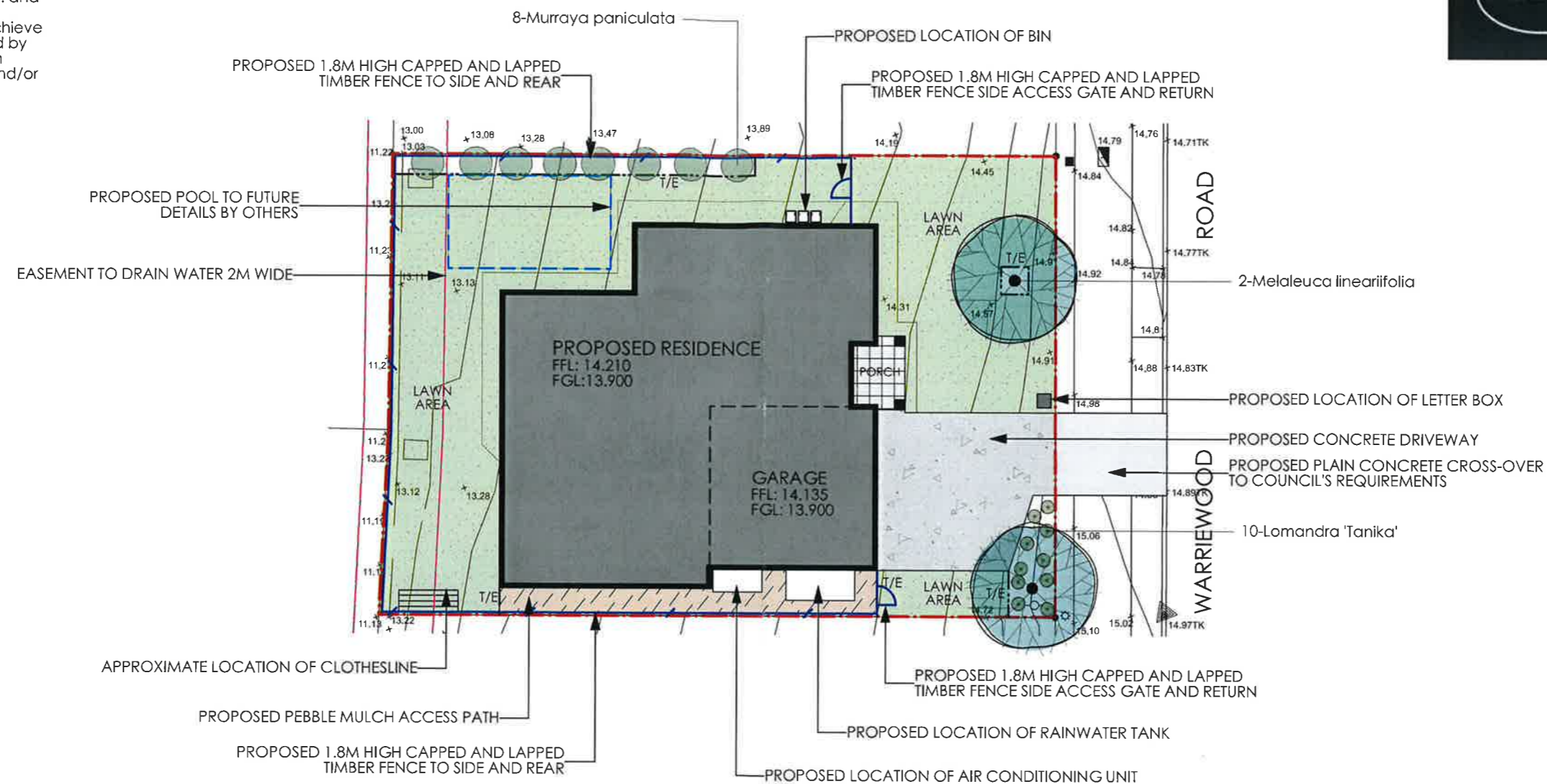
PROPOSED SWIMMING POOL STRUCTURAL DETAILS

FOR: CATLIN AND KALOUS
AT: 41 WARRIWOOD ROAD
WARRIWOOD

REV	DATE	DESCRIPTION	DWG/CONTRACT No
A	23.09.19	INITIAL ISSUE	19S3850
SHEET	REV		
4 OF 4	A		

Note:
Landscape Contractor shall undertake minor earthworks after handover by builder as required to achieve maximum gradient to all lawn and mulched areas of 1:50, and 1:4 to all garden areas. Should retaining walls be required to achieve these falls they shall be designed by an engineer and be a maximum height compliant with council and/or developer policies.

WINCREST BESPOKE

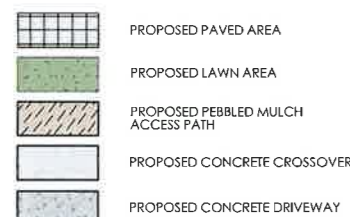


PLANTING SCHEDULE

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Lomandra 'Tanika'	Dwarf Lomandra	10	5lt	500	500
Melaleuca linearifolia	Snow In Sumer	2	45lt	5000	10000
Murraya paniculata	Orange Jessamine	8	250mm	1200	2500



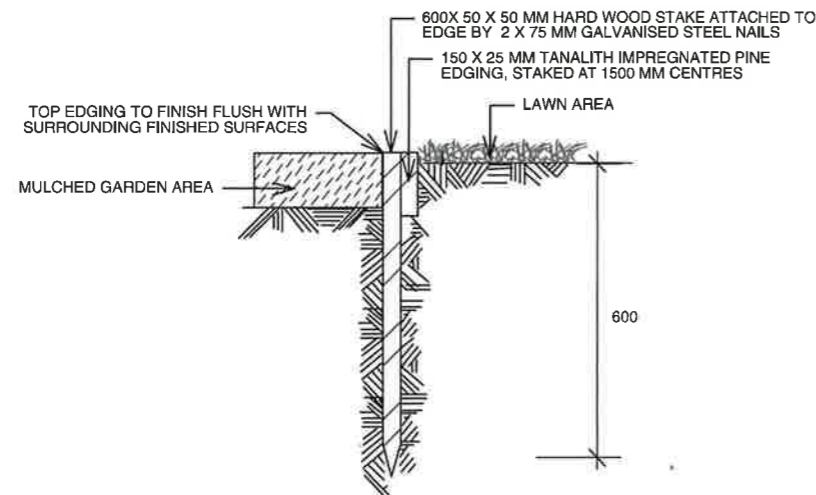
Legend



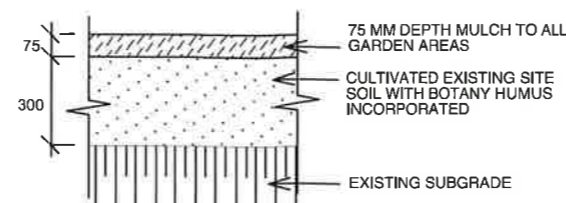
Notes

- All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
- All detailing of drainage to paved areas shall be by others.
- All levels shall be determined by others and approved on site by client.
- Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
- Do not scale from drawings.
- If in doubt contact the Landscape Architect.
- All boundaries shall be surveyed prior to commencement of construction works.
- This plan is for DA purposes only. It has not been detailed for construction.
- All dimensions, levels and boundaries are nominal only.
- This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

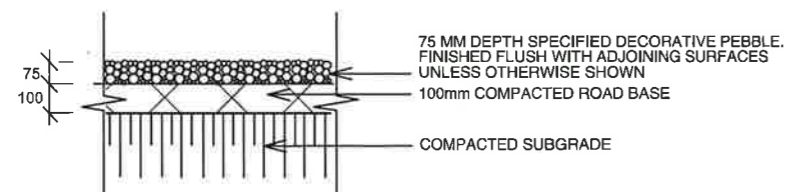
Revision	Description	Date	DATE	REVISION
			DRAWING	PROPOSED LANDSCAPE PLAN
			ADDRESS	LOT 9, NO.41 WARRIEWOOD ROAD, WARRIEWOOD
			CLIENT	MR CATLIN & MRS KALOUS
			DATE #	09/10/19
			SCALE @ A3	1:200
			DRAWN	SX
			CHKD	JC
			REVISION	
				L/01
				WINCREST HOMES
				atc a total concept landscape architects & swimming pool designers
				65 West Street, North Sydney NSW 2060
				Tel: (02) 9957 5122 Fax: (02) 9957 5922



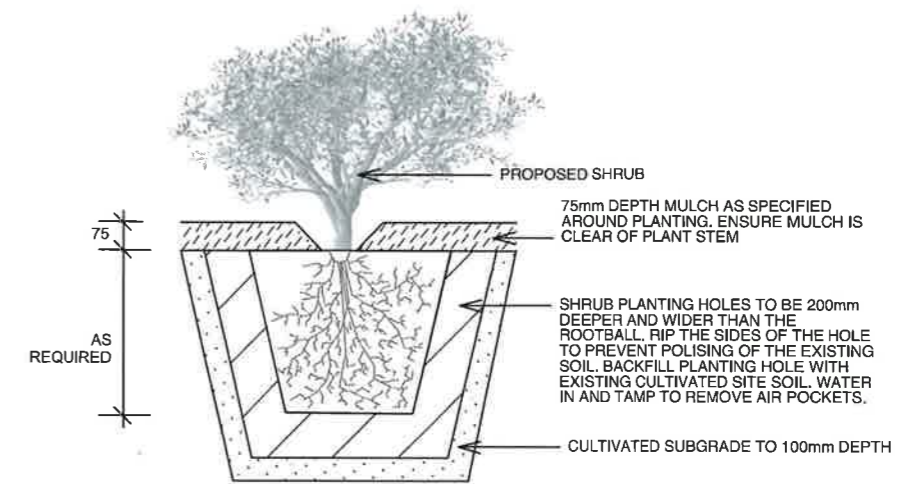
TYPICAL TIMBER EDGE DETAIL
SCALE 1:10
DO NOT SCALE



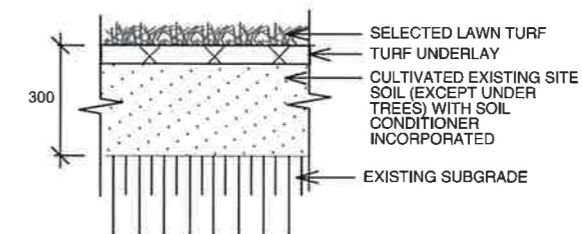
SOIL TO GARDEN AREAS
SCALE 1:20



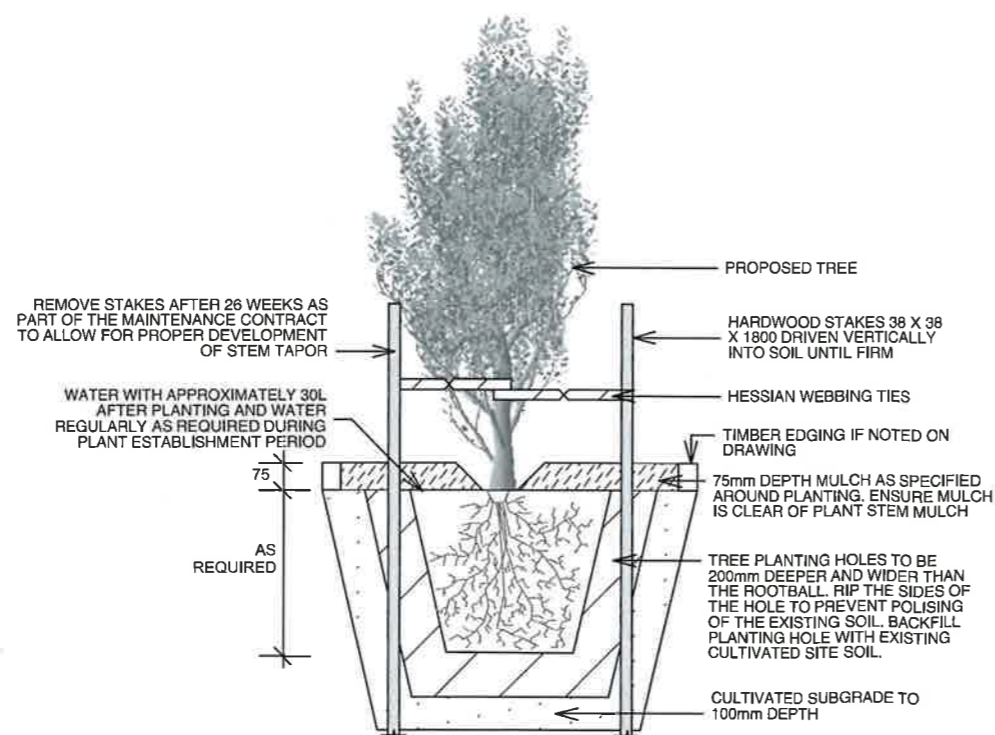
PEBBLE PATHWAY
SCALE 1:10



PLANTING DETAIL
SCALE 1:20



TYPICAL TURF DETAIL
SCALE 1:20



TREE PLANTING & STAKING DETAIL
SCALE 1:20

- Notes:**
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
 2. All detailing of drainage to paved areas shall be by others.
 3. All levels shall be determined by others and approved on site by client.
 4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
 5. Do not scale from drawings.
 6. If in doubt contact the Landscape Architect.
 7. All boundaries shall be surveyed prior to commencement of construction works.
 8. This plan is for DA purposes only. It has not been detailed for construction.
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DATE	REVISION
DRAWING	LANDSCAPE DETAILS
ADDRESS	LOT 9, NO.41 WARRIEWOOD ROAD, WARRIEWOOD
CLIENT	MR CATLIN & MRS KALOUS
DATE #	09/10/19
SCALE @ A3	AS SHOWN
DRAWN	SX
CHKD	JC
REVISION	
PROJECT #	WINCREST HOMES
DWG #	L/02
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fax: (02) 9957 5922	
 a total concept landscape architects & swimming pool designers	

OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones:(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging.(ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) Recurrent works Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) Watering Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) Replacements Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) Mulched surfaces Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) Stakes & ties Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) Lawn areas Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) Weeding Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

(h) Pruning Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

(i) Spraying Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) Tree Care Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

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DRAWING	LANDSCAPE SPECIFICATION		
ADDRESS	LOT 9, NO.41 WARRIEWOOD ROAD, WARRIEWOOD		PROJECT # WINCREST HOMES
CLIENT	MR CATLIN & MRS KALOUS	DATE # 09/10/19	DWG # L/03
		SCALE @ A3 N/A	
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922		DRAWN SX	
		CHKD JC	REVISION
		 a total concept landscape architects & swimming pool designers	

External Colour Selection Schedule

for: Lot 9, #41 Warriewood Road, Warriewood

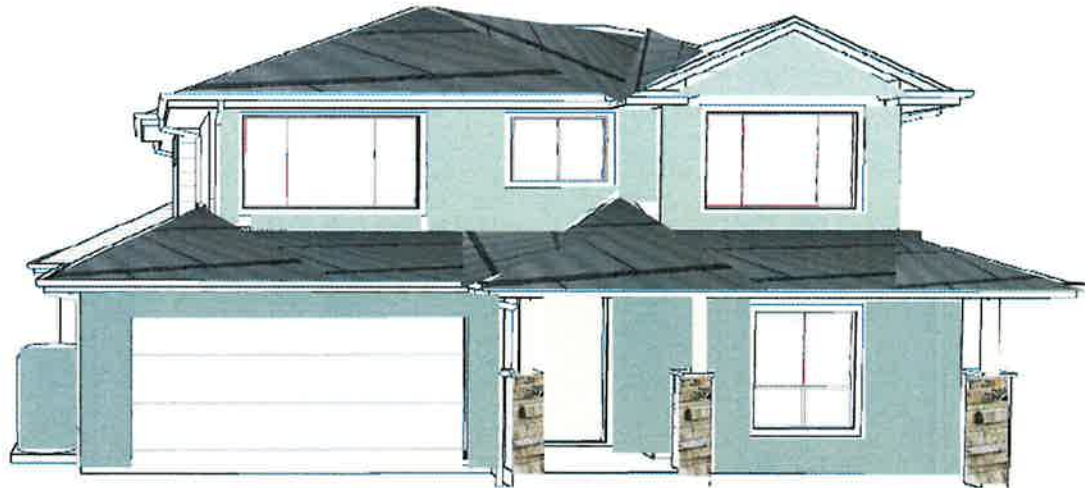


BESPOKE

Boral Contour Shale



Blue Willow



Perisher white

EXTERNAL COLOR SELECTIONS Ref 17398

Details	Selections
Tiled Roof	Boral Contour Shale
Fascia/Gutters	Surfmist
Dowpipes	Blue Willow /Babbling Stream
Rainwater tank	Blue Willow
Post & Column	Brilliant white & sandstone
Garage door	Perisher white
Front door	Brilliant White
Cladding	Babbling Stream
Render	Blue Willow
Windows	Pearl white



Surfmist

Brilliant white



Babbling Stream



Sandstone