

STANDARD CONSTRUCTION NOTES:

WALL FRAMING

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH **A.S. 1684:2010 NATIONAL TIMBER FRAMING CODE & ENGINEERS STRUCTURAL COMPUTATIONS**
- WALL BRACING, FIXING, THE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQUIREMENTS TO BE AS PER ENGINEER'S DETAILS
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH **N.C.C. 3.8.3.3**
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM UNLESS DIMENSIONED OTHERWISE
- PROVIDE 2NO. 90MM X 45MM JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL **S-TYP-DOOR-01**

ROOF FRAMING

- GARAGE ROOF TO BE TIED DOWN MIN. 1200MM INTO BRICKWORK WITH HOOP IRON STRAPS
- PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS. PITCH AS SHOWN ON ELEVATIONS

EXTERNAL WALLS

- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50MM MIN. OVERLAP TO ALL JOINTS WITH CONTINUOUS SILICONE SEALANT BETWEEN & 30MM MIN. VERTICAL OVERHANG)

SLAB AND FOOTINGS

- REINFORCED CONCRETE SLAB AND ASSOCIATED FOOTINGS IN ACCORDANCE WITH ENGINEER'S DETAILS
- SUB-FLOOR VENTILATION IN ACCORDANCE WITH **N.C.C. 3.4.1**. TO BE PROVIDED TO SUSPENDED TIMBER FLOOR WHERE APPLICABLE

PLUMBING AND DRAINAGE

- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH **THE PLUMBING CODE OF AUSTRALIA, N.C.C. & AS 3500 - PLUMBING AND DRAINAGE**

TERMITE PROTECTION

- PROVIDE TERMITE MANAGEMENT SYSTEM AS PER: **AS 3660.1:2014 - TERMITE MANAGEMENT**

GLAZING

- WINDOWS TO SIDE AND REAR ELEVATIONS ARE ALUMINIUM SLIDING (UNLESS NOTED OTHERWISE)
- WINDOW SIZES ARE NOMINATED AS GENERIC CODES: FIRST TWO NUMBERS REFER TO HEIGHT & SECOND TWO REFER TO WIDTH
- WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS UNLESS NOTED OTHERWISE
- ALL GLAZING TO COMPLY WITH: **AS 1288:2006 GLASS IN BUILDING; AS 4055:2012 WIND LOADS FOR HOUSING**
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE
- PROTECTION OF OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH **N.C.C. 3.9.2.5**

STEPS, STAIRS & BALUSTRADES

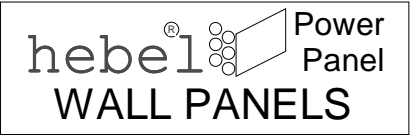
- ALL STEPS & STAIRS TO HAVE: 240MM MIN. & 355MM MAX. TREAD DPETH AND 115MM MIN. & 190MM MAX. RISER HEIGHT IN ACCORDANCE WITH **N.C.C. 3.9.1**.
- BALUSTRADE IN ACCORDANCE WITH **N.C.C. 3.9.2**. TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000MM ABOVE GROUND LEVEL
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH **N.C.C. 3.9.1.4** AND **AS 4586:2013 SLIP RESISTANCE**

WATERPROOFING

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS
- WATERPROOFING OF WET AREAS TO COMPLY WITH: **AS 3740:2010**
- WATERPROOFING OF DOMESTIC WET AREAS &/OR **N.C.C. 3.8.1**

INTERNAL ELEVATION

- TILE & CUPBOARD DIMENSION ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES
- DIMENSIONS INDICATED TAKEN FROM PLASTER
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS



STEEL FLOOR JOISTS

- 360mm DEEP FLOOR JOIST
- 300mm DEEP FLOOR JOIST TO WET AREA
- 22mm RED TONGUE PARTICLE BOARD FLOORING

STAIRCASE UPGRADES - REFER TO CONTRACT

PROVIDE 2340mm (H) INTERNAL DOORS THROUGHOUT UNLESS OTHERWISE NOTED (EXCLUDING SLIDING ROBE DOORS)

PROVIDE AIR-CONDITIONING DUCTS AND OUTLETS TO THE GROUND FLOOR AND FIRST FLOOR FOR AIR-CONDITIONING BY METRICON

NOTE: REFER TO COLOUR SCHEDULE FOR LOCATION OF ANY NON-STANDARD FLYSCREENS TO WINDOWS AND / OR EXTERNAL DOORS.

GUTTER GUARD TO ALL GUTTERS AND VALLEYS INCLUDING BOX GUTTERS OVER 400MM WIDE

BASIX COMMITMENTS

WATER COMMITMENTS

FIXTURES

- 3 STAR RATE SHOWERHEADS>6 BUT <7.5/L MIN.
- 4 STAR RATED TOILET FLUSHING SYSTEMS
- 3 STAR RATED KITCHEN TAPS
- 3 STAR RATED BASIN TAPS

ALTERNATIVE WATER

- PROVIDE A RAINWATER TANK OF AT LEAST 3000L
- TANK MUST BE CONFIGURED TO COLLECT RAIN RUNOFF FROM AT LEAST 280M2 ROOF AREA.
- TANK MUST BE CONNECTED TO:
 - ** ALL TOILETS
 - ** WASHING MACHINE COLD WATER TAP
 - ** AT LEAST ONE OUTDOOR TAP

ENERGY COMMITMENTS

HOT WATER

- 6 STAR RAT GAS INSTANTANEOUS

COOLING SYSTEM

- 3-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF EER 3.0-3.5
- 3 PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF EER 3.0-3.5
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

HEATING SYSTEM

- 3-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF EER 3.5-4.0
- 3 PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF EER 3.5-4.0
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

VENTILATION

- PROVIDE EXTERNALLY DUCTED EXHAUST FANS TO:
 - ** AT LEAST 1 BATHROOM
 - ** THE KITCHEN
 - ** THE LAUNDRY

ARTIFICIAL LIGHTING

- PROVIDE ENERGY EFFICIENT LIGHTING TO EACH OF THE FOLLOWING ROOMS. THOSE NOTED 'DEDICATED' MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LIGHT EMITTING DIODE (LED) TYPE LAMPS:
 - ** AT LEAST 5 BEDROOMS/STUDY
 - ** AT LEAST 3 LIVING/DINING ROOMS
 - ** THE KITCHEN
 - ** ALL BATHROOMS/TOILETS
 - ** THE LAUNDRY
 - ** ALL HALLWAYS

NATURAL LIGHTING

- PROVIDE A WINDOW/SKYLIGHT IN THE KITCHEN
- PROVIDE A WINDOW/SKYLIGHT IN AT LEAST 4 BATHROOMS/TOILET FOR NATURAL LIGHTING

OTHER COMMITMENTS

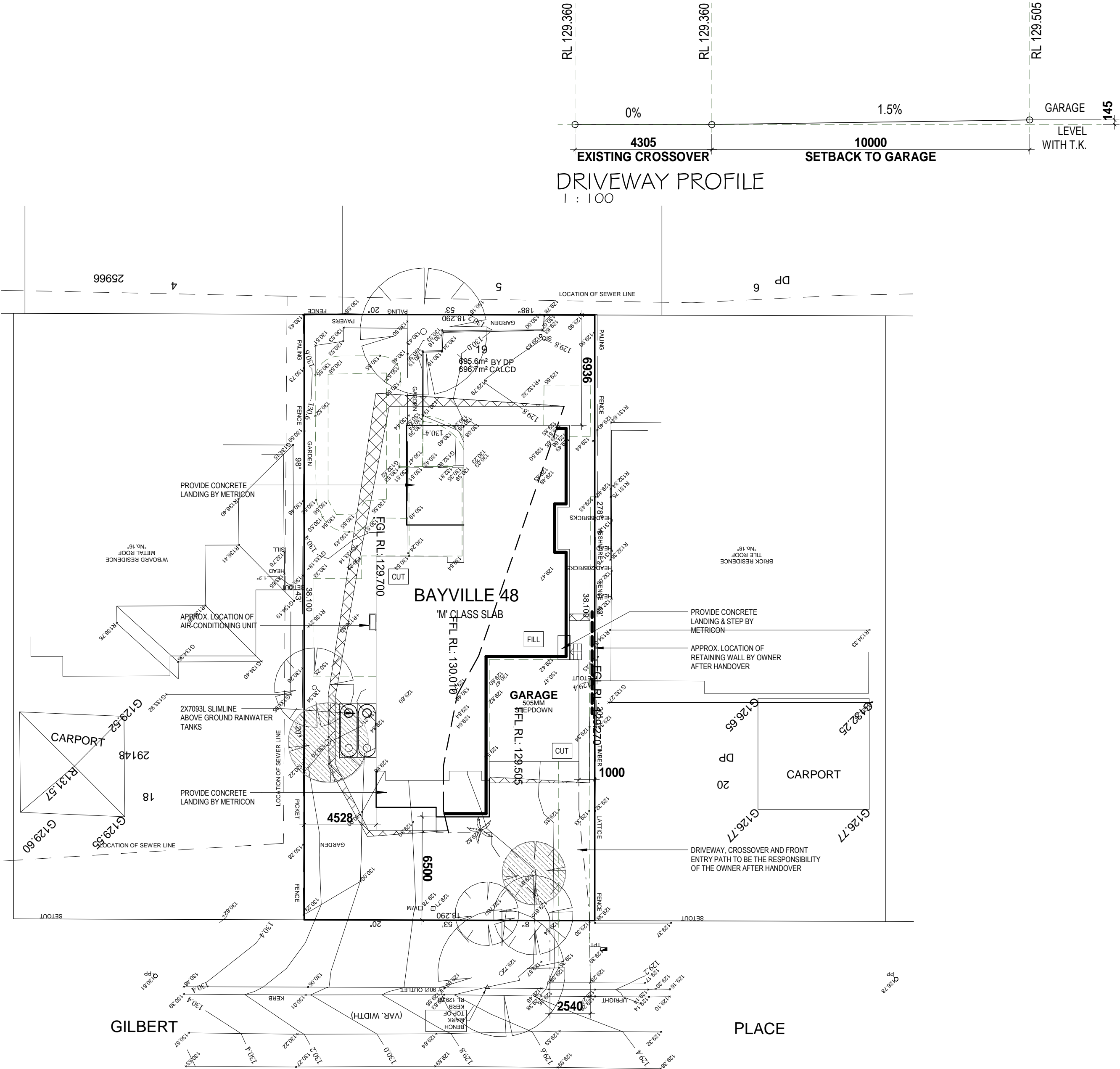
- INSTALL A GAS COOKTOP & ELECTRIC OVEN
- PROVIDE A WELL VENTILATED FRIDGE SPACE
- PROVIDE A FIXED OUTDOOR CLOTHESLINE

REV	DATE	COMMENT	BY
1	23.01.19	PRELIMINARY CONTRACT PLANS	JJY
2	11.02.19	CONTRACT PLANS	BZ
3	25.02.19	CONTRACT VARIATION NO. 1	BZ
4	18.03.19	CONTRACT VARIATION NO 2	JJO
5	25.03.19	DA APPLICATION	BZ



<div>SIGNATURE</div> <div>BY METRICON</div> <div><div>m</div><div>metricon</div></div> <div><div>Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153</div><div>P.O. Box 7510, Norwest Business Park NSW 2153</div><div>Tel: 02 8687 9000 Fax: 02 8079 5901</div><div>Contractor Licence No: 174 699</div><div>A.C.N. 005 108 752 www.metricon.com.au</div></div> <div>© COPYRIGHT Ideas and the concepts contained within all drawings and documents are the sole property of Metricon Homes NSW Pty Ltd</div>	BAYVILLE 48 Bayville Facade		OWNER: MR & MRS WALLER		
	COVER PAGE		ADDRESS: LOT 19 No. 17 GILBERT PLACE, FRENCHS FOREST		
	AMENDED BA PLANS		JOB No.: 699571		
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				REVISION : E	

NORTHERN BEACHES BASE ON WARRINGAH DCP 2011	
SITE AREA:	695.6SQM
PROPOSED ROOF COVERAGE	
ROOF COVERAGE AREA:	279.6 SQM
LANDSCAPED AREA	
TOTAL LANDSCAPED AREA: EXCL. ALL HARD SURFACES MIN. DIMENSION OF 2.0M	356.0 SQM 51%
MIN. REQUIRED BY COUNCIL:	40%
PRIVATE OPEN SPACE	
PRIVATE OPEN SPACE:	210.9 SQM
MIN. REQUIRED BY COUNCIL: MIN. DIMENSION OF 5M	60 SQM
BUILDING ENVELOPE PROVIDE 45 DEGREE PLAN PROJECTED AT 5M HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL	
BUILDING HEIGHT RESTRICTION MAXIMUM 8.5M RIDGE HEIGHT MAXIMUM 7.2M CEILING HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)	
MAXIMUM 1000MM CUT MAXIMUM 1000MM FILL DEEP EDGE BEAM TO NATURAL GROUND NO EXPOSED FILL PERMITTED	
STORMWATER CALCULATION	
HARD LANDSCAPED AREAS: (INCL. ROOF/DRIVEWAY/PATHS ETC)	331.9 SQM 48%
MAX. ALLOWABLE SITE COVERAGE PRIOR TO O.S.D. REQUIRED	40%
DEMOLITION REQUIREMENTS: SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L	
<div>EXISTING TREES TO BE LOPPED / REMOVED BY OWNER:</div> <div>TREE REMOVAL REQUIREMENTS:</div> <div>SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND/OR PRUNE TREES WHICH WILL EFFECT THE BUILDING AREA PRIOR TO CONSTRUCTION</div> <div>IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED.</div>	
TEMPORARY SITE FENCING: METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)	
ALL WEATHER ACCESS: METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION	



EXCAVATION NOTES:
50MM (±) TOLERANCE TO NOMINATED RL'S

EXCAVATE APPROX. 700MM ON RL 129.70 AND FILL WITHIN D.E.B.

EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT

IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY

IMPORTANT NOTES:
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO STREET VIA O.S.D. & RAINWATER TANK(s)
REFER TO HYDRAULIC ENGINEER'S DETAILS

SURVEYORS NOTES:

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.

B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

TERMITE PROTECTION:
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S. 3660.1

LOT No.:
19
DEPOSITED PLAN:
29148
COUNCIL / LGA:
NORTHERN BEACHES
SLAB CLASS: M
WIND SPEED: N 1

SITE PLAN

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SIGNATURE

BY METRICON

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Bayville Facade

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OWNER:
MR & MRS WALLER
ADDRESS:
LOT 19 No. 17 GILBERT PLACE,
FRENCHS FOREST

CONTRACT PLANS

JOB No.: 699571

DATE : 25.03.19
SCALE : As indicated

DRWN : BZ
REVISION : E

SHEET:
02 of 7

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY ASS POSSIBLE DURING DEVELOPMENT.

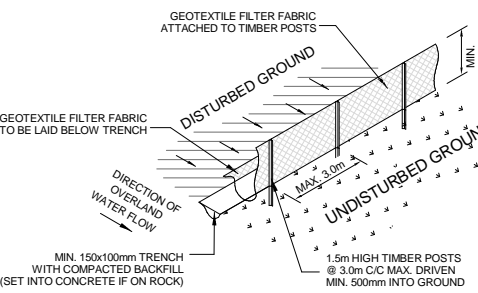
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STURCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

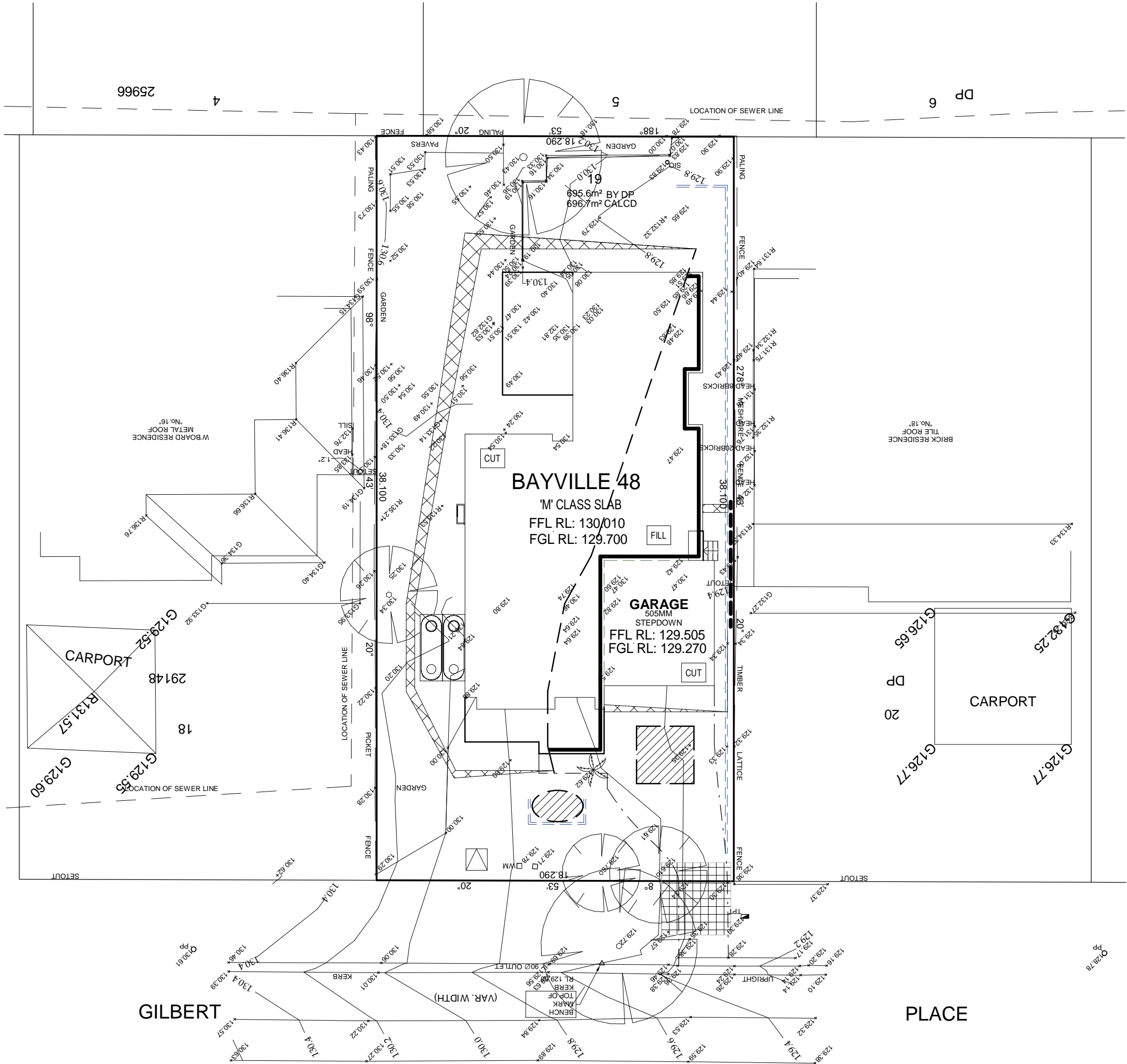
5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY

6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL
NOT TO SCALE



TEMPOARARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BY LAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHE ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

TEMPORARY SECURITY FENCING
TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS
ALL GROUND LINES ARE APPROXIMATE. EXTEND OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

LEGEND

SEDIMENT FENCE

WASTE STORAGE AREA WITH SEDIMENT FENCE AROUND

MATERIAL STORAGE AREA

PORTABLE TOILET

ALL WEATHER ACCESS POSITION

	LOT No.: 19
	DEPOSITED PLAN: 29148
	COUNCIL / LGA: NORTHERN BEACHES
	SLAB CLASS: M
	WIND SPEED: N I
MGA	

CONSTRUCTION MGN PLAN

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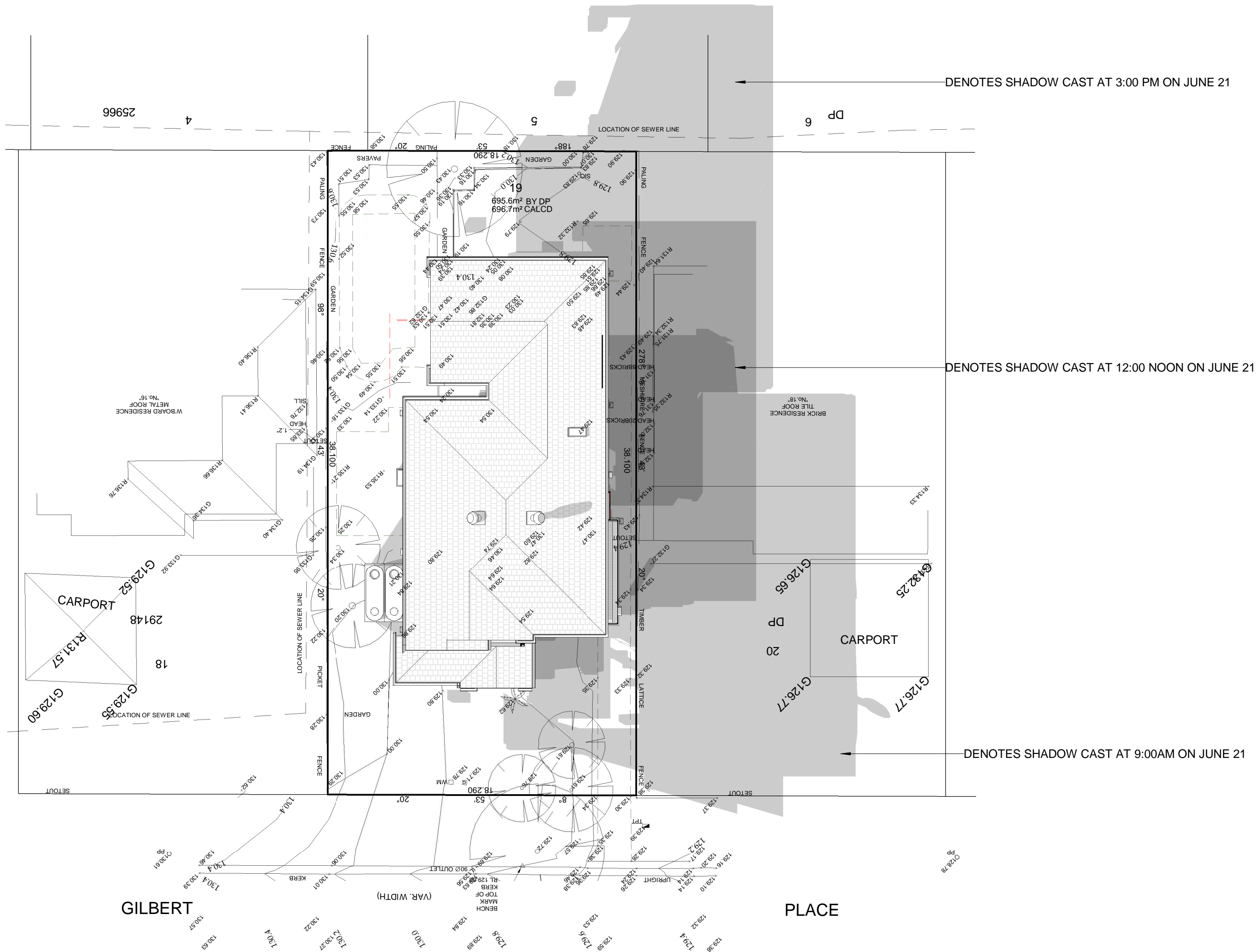
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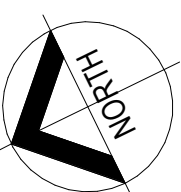
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CONTRACT PLANS

JOB No.: 699571

DATE : 25.03.19	DRWN : BZ	SHEET:
SCALE : As indicated	REVISION : E	2A of 7





TRUE NORTH

LOT No.:	19
DEPOSITED PLAN:	29148
COUNCIL / LGA:	NORTHERN BEACHES
SLAB CLASS:	M
WIND SPEED:	N I

SHADOW @ JUNE 21


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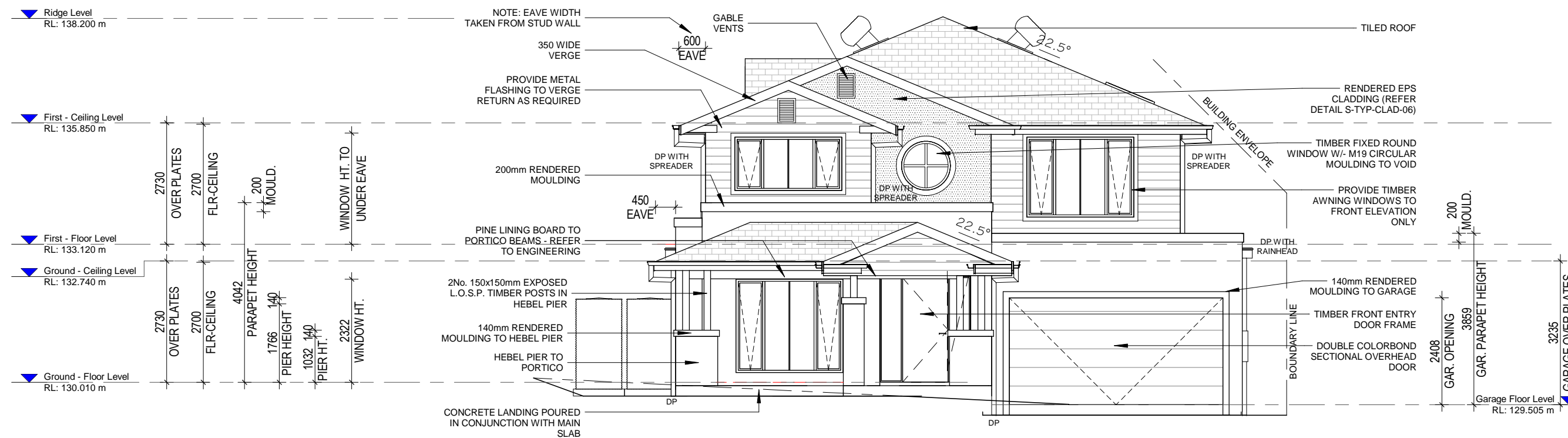
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LOT 19 No. 17 GILBERT PLACE,
FRENCHS FOREST

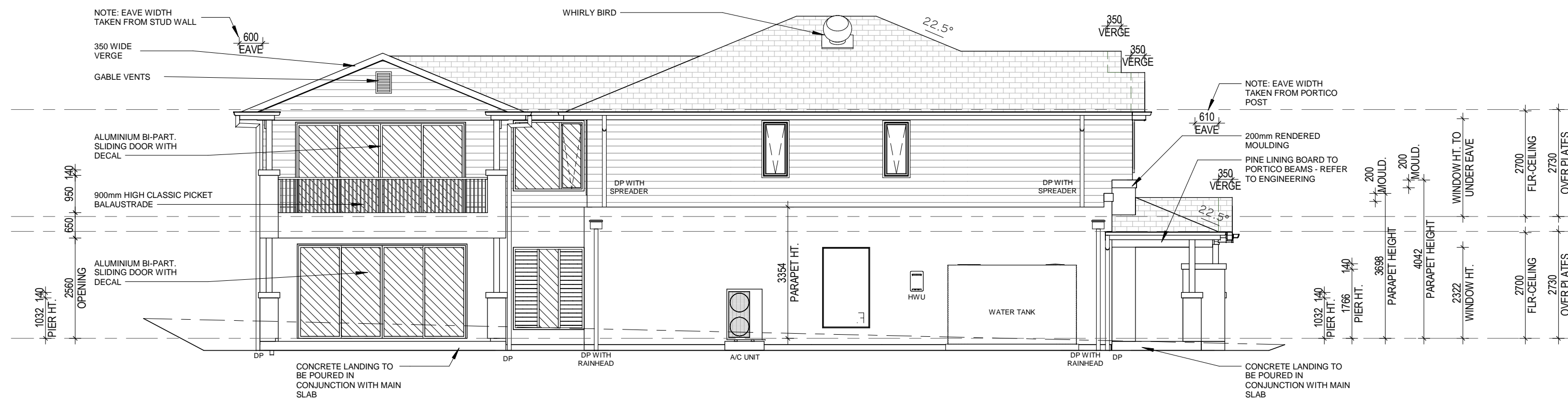
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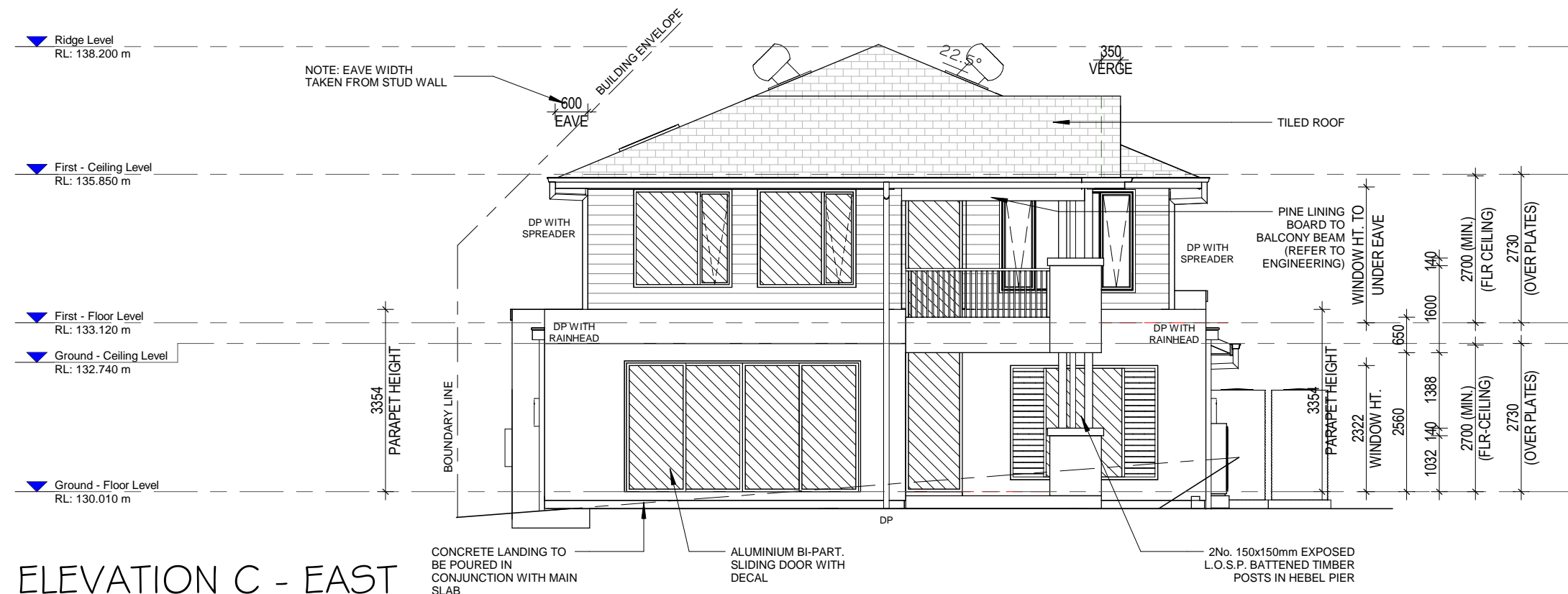


ELEVATION A - WEST

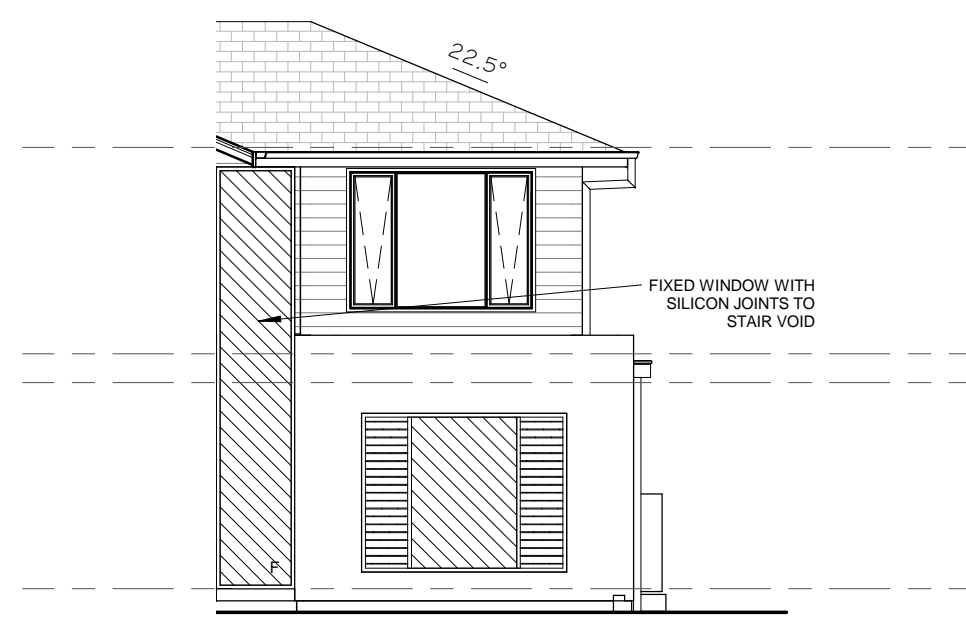


ELEVATION B - NORTH

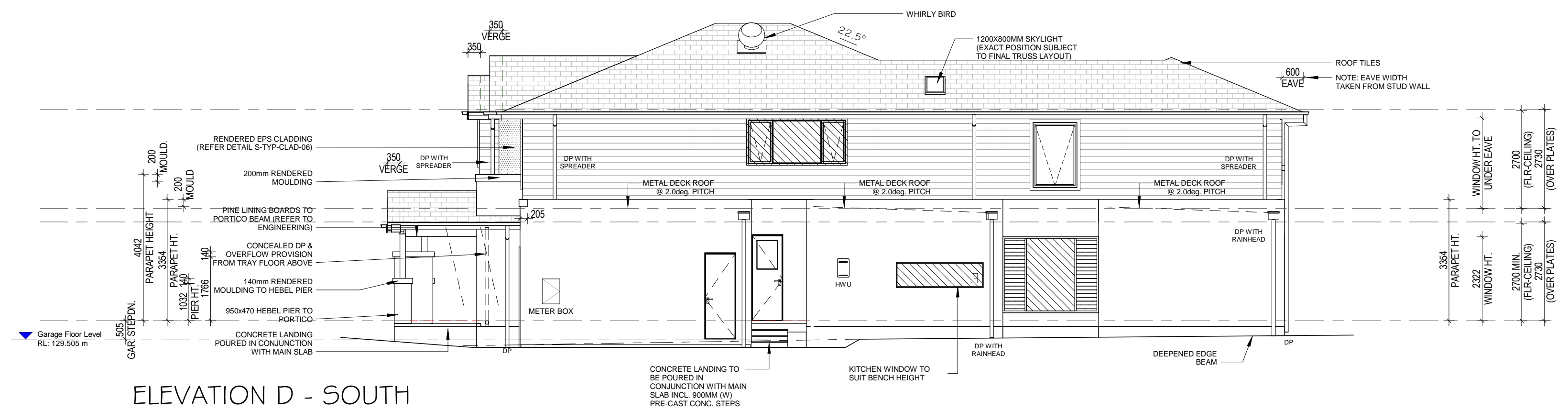
<div><div><div>hebel®Power PanelWALL PANELS</div><div>STEEL FLOOR JOISTS<ul style="list-style-type: none">• 360mm DEEP FLOOR JOIST• 300mm DEEP FLOOR JOIST TO WET AREA• 22mm RED TONGUE PARTICLE BOARD FLOORINGHEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS</div></div></div>	<div>PROVIDE ACRYLIC RENDER FINISH TO HEBEL PANELS TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)</div> <div>IMPORTANT NOTE: REFER TO FACADE DETAIL REF. NO. S-TYP-BAYV-01</div> <div>PROVIDE JAMES HARDIES SCYN LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS OTHERWISE) REFER TO DETAIL: S-TYP-CLAD-02</div> <div>NUMBER OF STEPS REQUIRED MAY VARY DUE TO SITE CONDITIONS</div>	<div>DENOTES WINDOWS/DOORS WITH WIDELINE SP10 GLAZING</div> <div></div>	<div>SYMBOL LEGEND</div> <div><div>MB</div>RECESSED ELECTRICITY METER BOX</div> <div><div>RWH</div>DOWNPIPE W/- RAINWATER HEAD</div> <div><div>DP</div>ROTATING ROOF VENTILATOR</div> <div><div>AJ</div>ARTICULATION JOINT</div> <div>WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS.</div>
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ELEVATION C - EAST



ELEVATION E - EAST



ELEVATION D - SOUTH

hebel® Power Panel WALL PANELS

STEEL FLOOR JOISTS

- 360mm DEEP FLOOR JOIST
- 300mm DEEP FLOOR JOIST TO WET AREA
- 22mm RED TONGUE PARTICLE BOARD FLOORING

PROVIDE ACRYLIC RENDER FINISH TO HEBEL PANELS TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)

PROVIDE JAMES HARDIES SCYON LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS OTHERWISE) REFER TO DETAIL: S-TYP-CLAD-02

HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NUMBER OF STEPS REQUIRED MAY VARY DUE TO SITE CONDITIONS

DENOTES WINDOWS/DOORS WITH WIDELINE SP10 GLAZING

SYMBOL LEGEND

MB RECESSED ELECTRICITY METER BOX

RWH DOWNPIPE W/- RAINWATER HEAD

DP ROTATING ROOF VENTILATOR

AJ ARTICULATION JOINT

WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

SIGNATURE

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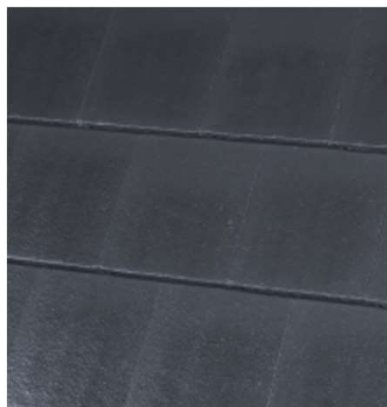
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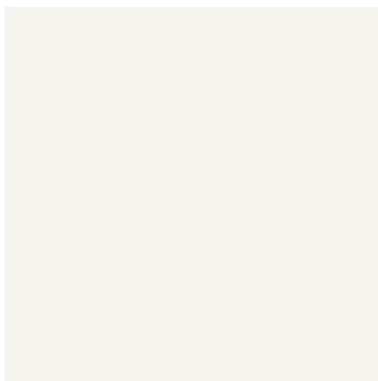
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ELEVATIONS	JOB No.: 699571		
AMENDED BA PLANS	SHEET: 06 of 7		
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	SCALE : 1 : 100	REVISION: E	

ROOF TILE



MONIER HORIZON

GUTTER / FASCIA



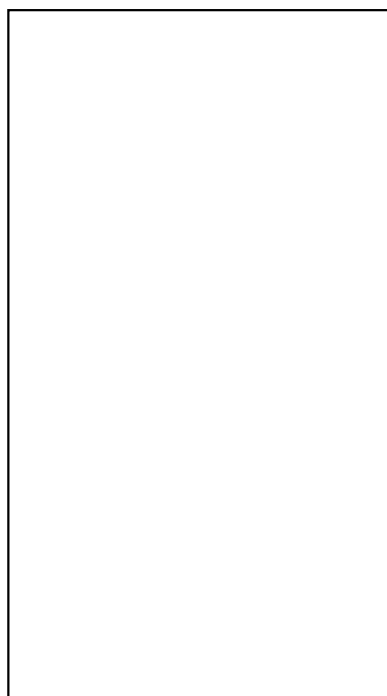
COLORBOND SURFMIST

EAVES / LINING



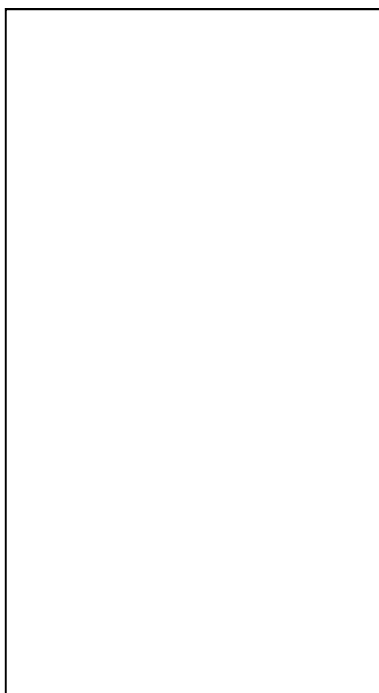
DULUX VIVID WHITE

ALUMINIUM FRAMES



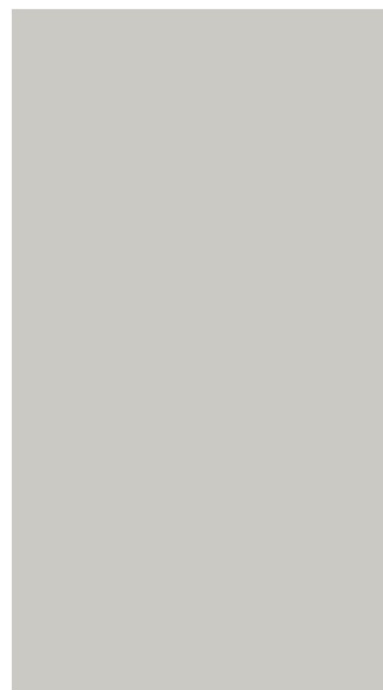
PEARL WHITE

TIMBER FRAMES



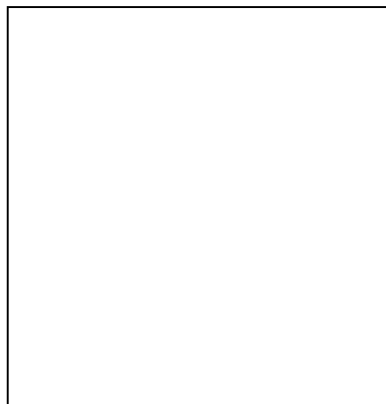
DULUX VIVID WHITE

RENDER



DULUX BLEACHES HALF

GARAGE



WHITE SATIN

ENTRY DOOR



CABOTS CHARCOAL

CLADDING



DULUX BLEACHES HALF