

Building plan assessment application

Application number: 607918
Property address: 65 Seaforth Cres, Seaforth 2092
Lot details: Lot 6, Deposited Plan 5488
Property Number: 3258290

21/02/2019

Dear Jarrod Lamshed

Your building plan assessment application requires

FURTHER ASSESSMENT

The proposed location of one or more of your buildings or excavation works may impact our assets. You will need to engage a Water Servicing Coordinate to complete your assessment.

Please read the details below to understand the reasons why your application was referred.

REASONS

Application automatically referred by system

NEXT STEPS

1. Engage a Water Servicing Coordinator to complete your assessment
A list of Water Servicing Coordinators is available on our website www.sydneywater.com.au and go to the plumbing, building and developing page for a list of water servicing coordinators.
2. Take this referral to the Water Servicing Coordinator so they can complete the application for you.
3. You will need to use the following Sydney Water reference number when you contact the Water Servicing Coordinator .

REF-050239602

The Water Servicing Coordinator will charge for this service. Make sure you discuss prices with them before you select one as their prices can vary.

ANY QUESTIONS?

Email us

swtapin@sydneywater.com.au

Call us

1300 082 746

STRUCTURES

The structures and information you supplied are displayed below.

Structure(s) that may impact Sydney Water infrastructure

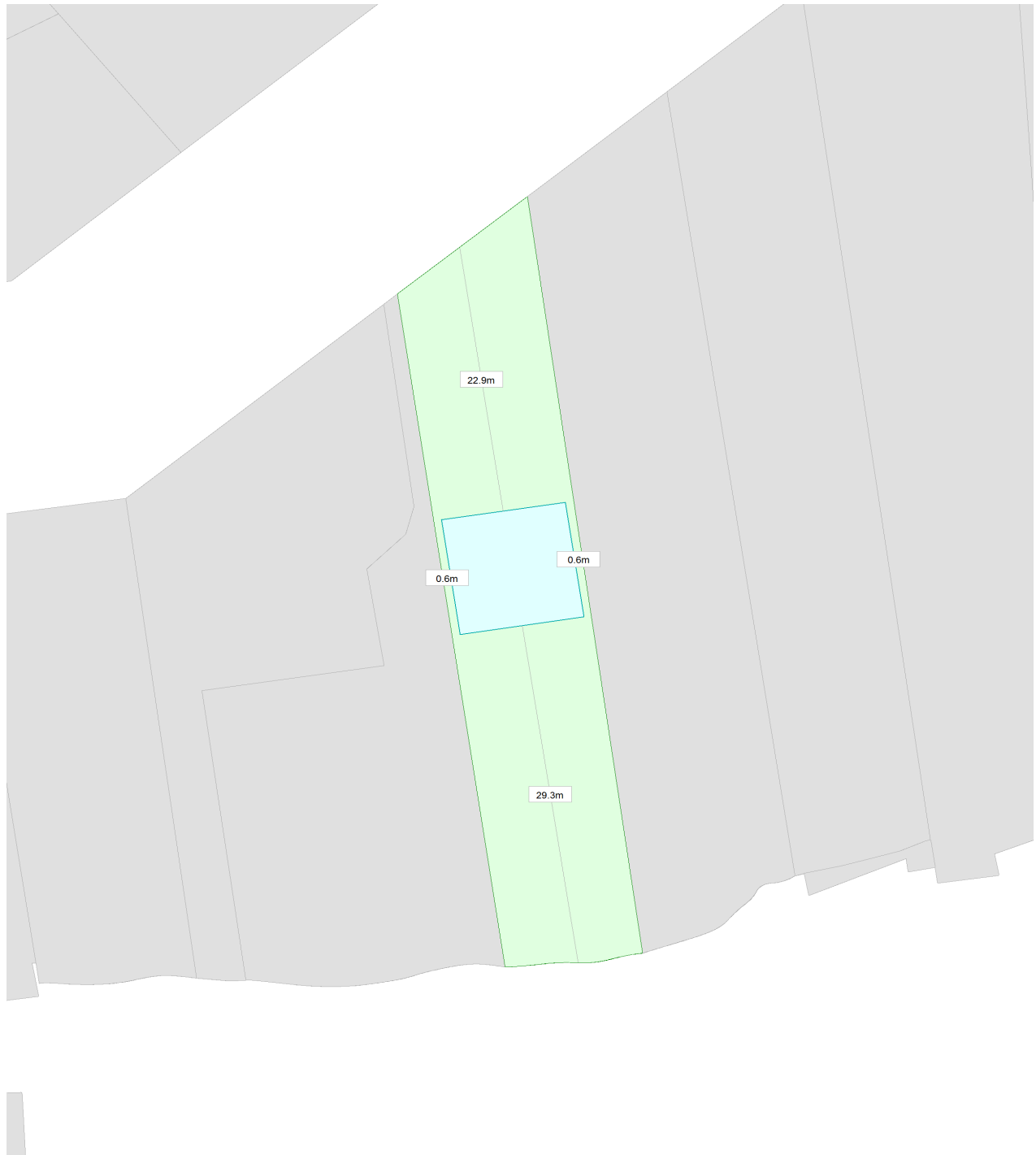
Structure 1	Ground floor extension	10.0 m x 10.0 m x 3.5 m
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Please refer to the Appendix for list of negative impacts.

Your building plan application needs further assessment
Structure 1 of 1: Ground floor extension

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This structure may impact Sydney Water infrastructure.



Appendix A

List of possible impacts to Sydney Water infrastructure requiring further assessment.

Structure 1	Ground floor extension	10.0 m x 10.0 m x 3.5 m
1. Sewer main size > 300mm within property. Sewer Main; Asset Number: 4299984.		
2. Steep slope and assets within load or dig footprint.		
3. Main within work site. Sewer Main; Asset Number: 4299984.		

**SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS**

Sydney Water Tap in™ Ref 607918

Property Number 3258290

Dolphin No: If Applicable N/A

Quick Check Ref No: N/A

e-Developer Case No: N/A

Ausflow Project Ref: 4831

Property Location

Street No: 65

Lot No: 6

Street Name: Seaforth Crescent

Suburb: Seaforth

Building/Structure Description: Additions & Alterations To Existing Dwelling

Building Plan No: DWG Num: A-0010; Job Num: 5470; Rev:10

Engineers Plan No: DWG Name: Sewer Elevation; Project Num: SH18217; Sheet Num: SK1 & 2; Rev

Proposed building/structure is **APPROVED** to construct **Over / Adjacent To** a Sydney Water sewer/asset, subject to the following requirements: (NB. Delete non applicable requirements)

1. The foundations/piers are to be founded below the zone of influence (OR the following to be used for lightweight structures) The foundations/footings are to be no less than a minimum of 600mm horizontal distance and 750mm vertical distance from the outside edge of the asset to the nearest face of the foundations/footings
2. No part of the building/structure or its foundations to be less than a minimum ... metre, horizontal distance from the outside edge of the asset.
3. No part of the swimming pool or its foundations to be less than a minimum ... metre, horizontal distance from the outside edge of the asset to the outer edge of the pool.
4. No part of the above-ground building/structure to be less than 1m (for MH on mains up to DN300)/600mm (for MS, Lampholes, RP on mains up to DN300) horizontal distance from outside edge of any Sydney Water structure.
5. No part of the below-ground building/ structure/foundations to be less than **600/900mm** horizontal distance from outside edge of any Sydney Water Structure. (900mm required for piercing solutions)
6. No part of any swimming pool (excluding coping) is to be less than 2m horizontal distance from outside-edge of any Sydney Water structure (MANHOLE).
7. **Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water**
8. All foundations/piers are to be founded to below the zone of influence or to solid rock.
9. Indemnity letter to be signed by owner/s of property and returned to Water Servicing Coordinator prior to issue of building plan approval.
10. Concrete encase approximately metres of asset.
Concrete encasement to be carried out by an Accredited Constructor of Minor Works (Sewer) / Constructor and a Minor Works Agreement signed prior to commencement of works.
11. Concrete encasement must extend a minimum of 1m past the external walls of the building/structure.
12. Minimum of XXX mm vertical clearance between top of concrete encasement to underside of concrete
13. Property connection point (junction) to be inserted under Minor Works Agreement
14. All works are to be completed in accordance with Case No.

SPECIAL REQUIREMENTS

(1) Requirement of this approval is the 7.5 metres clearance to be maintained by the builder between the top of the sewer and the bottom of the structure as per WAC (work as constructed) Plans.

NOTE:

Above requirements must maintained to enable the issue of a satisfactory compliance letter.

APPROVED BY:

WSC Company Name: **Ausflow Pty Ltd**

Name of Key Personnel: **Jeanette Nunez**

Signature of Key Personnel:

A handwritten signature in dark ink, appearing to read 'Jeanette Nunez', with a large circular flourish at the beginning.

Date: 27/02/2019

PRE DA ISSUE



Do not scale from drawings. Verify all dimensions on site prior to construction. This drawing is copyright and may not be used without written consent from ARMADA ARCHITECTS PTY LTD.

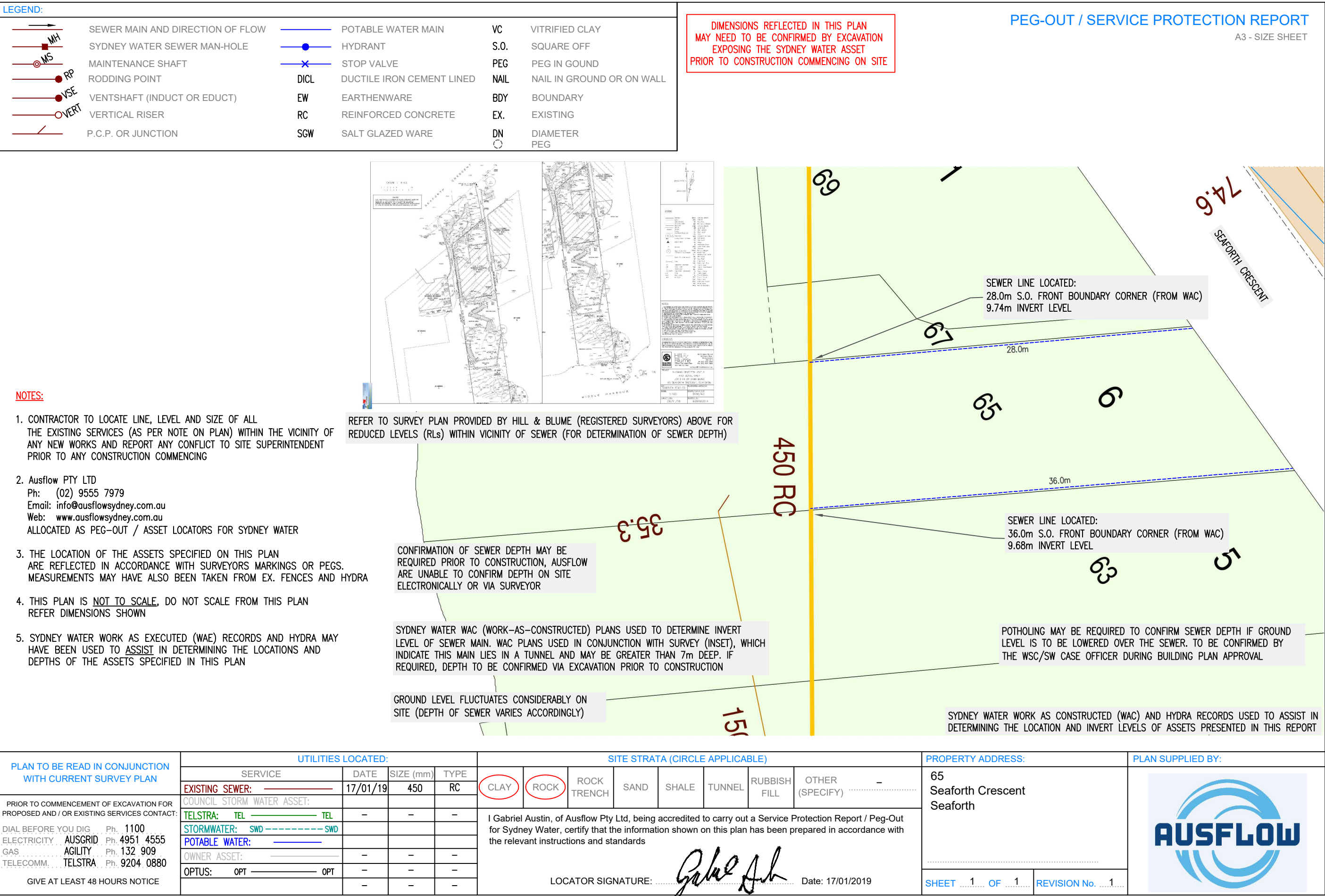
TITLE
PROPOSED SITE PLAN

DRAWING NO.	REVISION
A-102	1



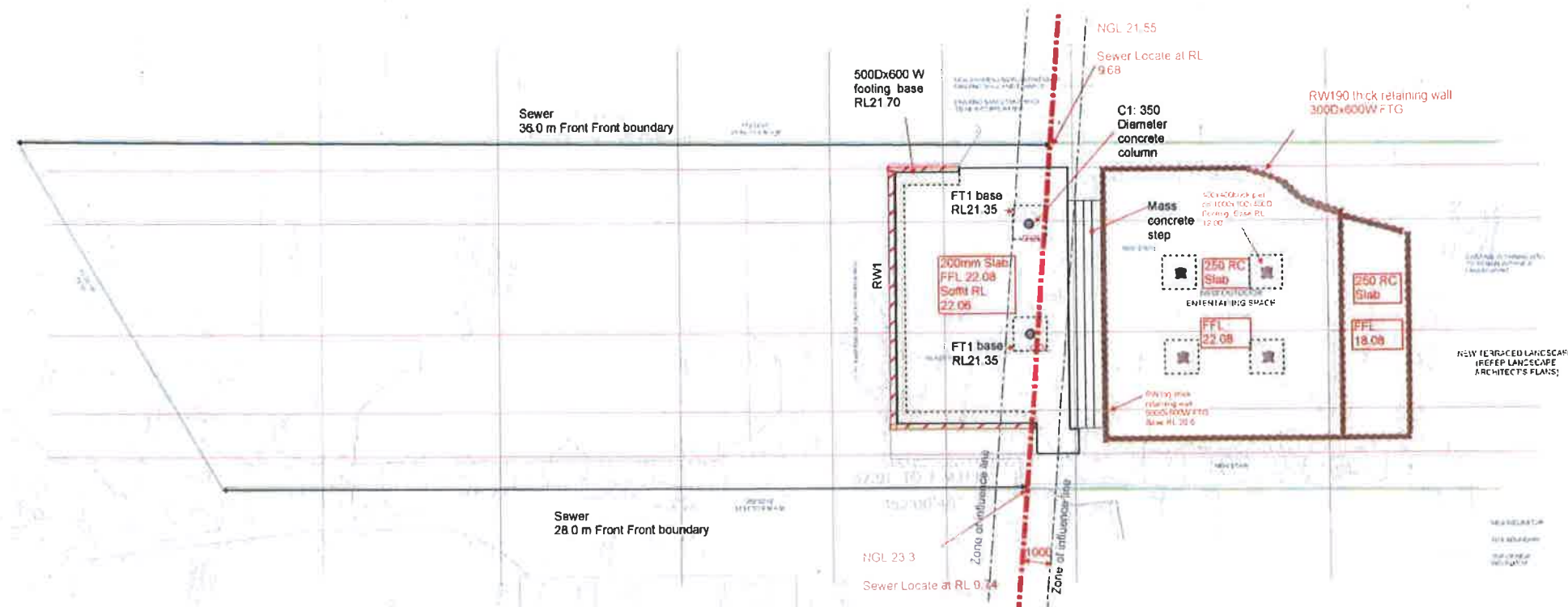
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Level 2 Terrace Plan

C1: 350 Diameter RC column
 FT1: 500Dx1200x1200W footing
 Found on 1000KPa rock
 RW1: 190 core filled back wall with 500Dx600W footing

Accredited Supplier to SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS
 Ref No: 607918 Date: 27/2/19

Design By	WW	Project Number	SH18217	Client	65 Seaforth Crescent, Seaforth	 <p>WENHAO WU MIEAust Structural Engineer NER 2864494 RPEQ19939 EC59008</p>
Date	21/02/2019	Sheet Number	SK2	Address	65 Seaforth Crescent, Seaforth	
Revision	1	Drawing Name	Level 2 Terrace Plan	Issue	For DA	