

1. BUILDING RAISED 170MM TO ALIGN WITH EXISTING RIDGE LEVEL TO INCREASE CEILING HEIGHTS AND IMPROVE AMENITY OF UNITS, NEGLIGIBLE IMPACTS ON NEIGHBOURS' VIEWS
2. CAR STACKER REMOVED AND REPLACED BY TANDEM CAR SPACES TO REDUCE EXCAVATION AND IMPACT ON NEIGHBOURS
3. RAMP ADJUSTED TO ADDRESS COUNCIL CONDITION OF EXTENDED MEDIAN STRIP
4. LAY-OUT OF UNIT 1 AMENDED TO SUIT REMOVAL OF CAR STACKER AND IMPROVE ACCESS TO DAYLIGHT AND NATURAL VENTILATION, RESULTING IN NO INCREASE IN FSR NOR ANY IMPACT TO NEIGHBOURS
5. ENTRY STAIR REALIGNED TO IMPROVE PRIVACY TO UNIT 1, SUBSEQUENT CHANGES TO BALCONY OF UNIT 1
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7. ADJUSTMENTS TO EXTERNAL FINISHES AND MINOR ADJUSTMENTS TO WINDOWS
8. CAR PARK EXHAUST REDESIGNED TO BE INCORPORATED IN THE REAR FENCE AS PER COUNCIL'S AND NEIGHBOURS' WISHES
9. CLERESTORY TO UNIT 1 REPLACED BY A SKYLIGHT FOR IMPROVED ACCESS TO DAYLIGHT
10. OSD TANK RELOCATED TO SUIT NEW ENTRY STAIR DESIGN
11. SKY LIGHT ADDED TO ENSUITE ON LEVEL 3



S4.55 LIST OF AMENDMENTS:

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NatHERS Thermal Performance Specifications (BASIX Thermal Comfort)

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Windows*	Glass	Frame	U value	SHGC	Detail
Default	Single glazed, low E high solar gain	Aluminium	5.4	0.49	Generally for window types: Awning, bi-fold, casement, tilt 'n' turn
Default	Single glazed, low E high solar gain	Aluminium	5.4	0.58	Generally for window types: Sliding window/ door, double hung, fixed, louvre
* The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance.					
Skylights	Glass	Frame	U value	SHGC	Detail
Default	Double glazed,	clear Aluminium	4.2	0.72	All skylights
External walls	Construction	Added Insulation	Detail		
	Concrete / AFS	R 1.5	For levels G, 1 and 2 as per drawings		
	Framed	R 2.5	For level 3		
Internal walls	Plasterboard on studs	None	Within units		
	Concrete	R 1.0	Wall separating units from common lobbies and lift shaft		
	Plasterboard on studs	R 1.5	For unit 01: wall separating unit from void space		
Floors	Concrete	None	Coverings: carpet generally; tiles for Living/Dining/Kitchen & wet areas		
	Concrete	R 1.0	For unit 01: R1.0 for floors over basement		
	Plasterboard	(see roof detail below)			
Ceilings	Plasterboard				
Roofs	Concrete	R 1.0	Concrete roofs		
	Metal sheeting	R 3.5	Roof over level 3		
Other Requirements					
All exhaust fans and downlights (if installed) to be sealed to prevent air infiltration					

BDY WALL FLUSH WITH EXISTING BOUNDARY WALL OVER IF POSSIBLE

ENSURE BOUNDARY WALL ACHIEVES FRL 90/90/90

GROUND FLOOR RL 14.00

RL 14.500

FALL

FALL

FALL

FALL

FALL

COVERED LOBBY FFL 13.470

LOBBY FFL 13.490

FFL 13.500

FOYER

UNIT 01 LIVING/DINING

COURTYARD FFL 13.490

STONE CAPPING TO NEW PILES BELOW, 400 ABOVE FFL TO MAKE SEAT

PLANTER REMOVED

A/C UNIT

EXISTING MASONRY AND ABOVE TIMBER FENCE TO BE RETAINED

BUILDING OUTLINE ABOVE SHOWN DASHED

REFER TO A1.06

FOOT PATH

COMMONWEALTH PARADE

SUBFLOOR

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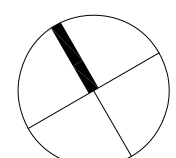
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PR	2019.05.16	PRELIMINARY	FB
PR1	2019.05.30	PRELIMINARY	FB
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PR3	2019.06.18	PRELIMINARY	FB
PR4	2019.07.02	PRELIMINARY	FB
PR5	2019.07.06	PRELIMINARY	FB

REVISION	DATE	DESCRIPTION	BY
PR6	2019.07.12	PRELIMINARY	FB
PR7	2019.10.31	PRELIMINARY	FB
PR8	2020.01.14	PRELIMINARY s4.55	FB
s4.55	2020.03.13	s4.55 APPLICATION	FB

REVISION NOTES

platform ARCHITECTS  
Suite 503/39 East Esplanade, Manly 2095  
p. 02 9976 6666 abn. 74602856157  
nominated architect Billie Gough Reg No. 5280

PROJECT  
THREE STOREY RESIDENTIAL FLAT BUILDING WITH BASEMENT CAR PARK AT:  
5 COMMONWEALTH PDE, MANLY, NSW  
CLIENT  
C.G. & I.B. KOUTSOS

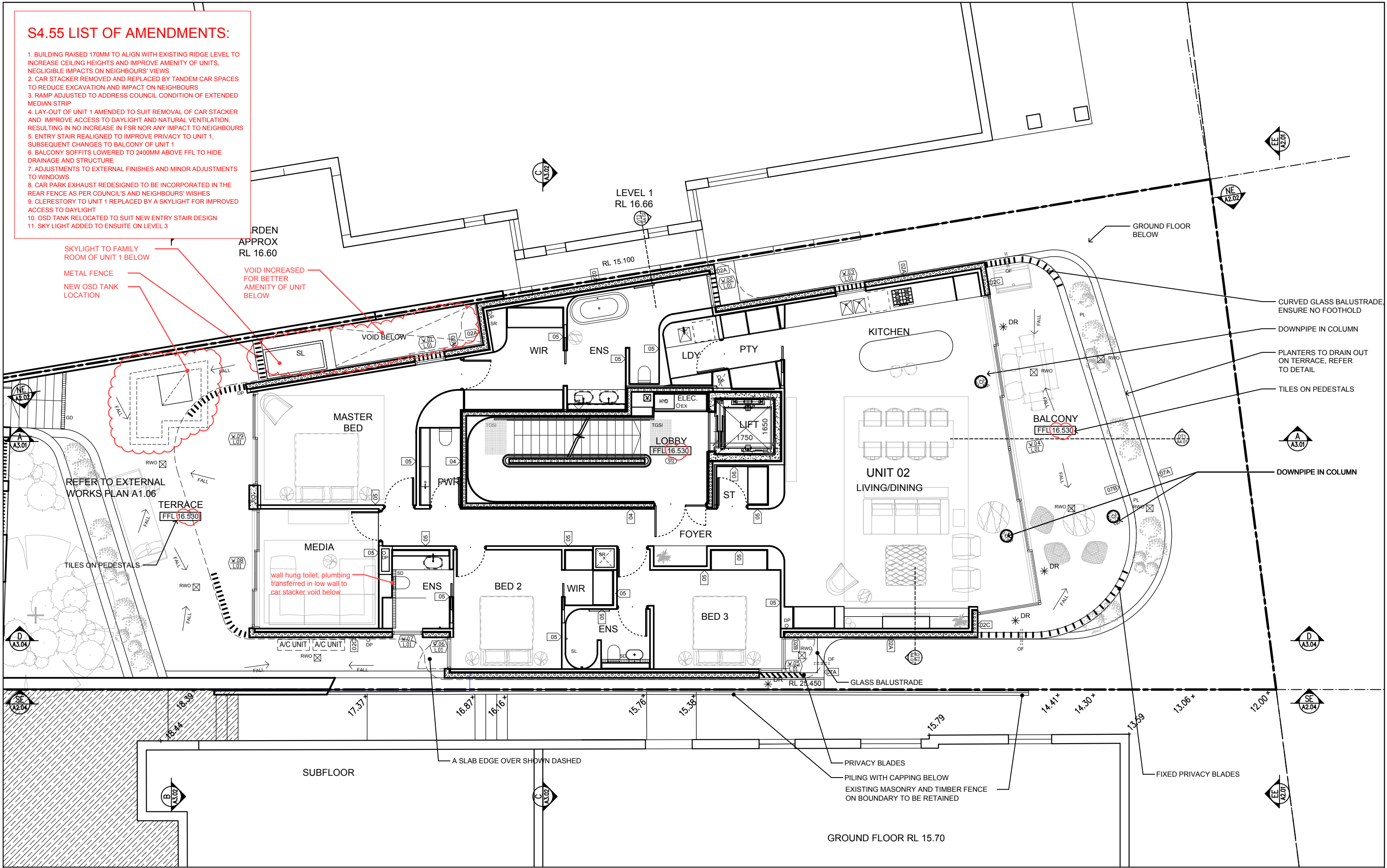


DRAWING TITLE	STATUS	NUMBER	REVISION
GROUND FLOOR PLAN	S4.55	A1.01	s4.55
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A1.01	s4.55

PROJECT  
CPM

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PR5	2019.07.06	PRELIMINARY	FB

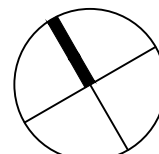
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S4.55	2020.03.13	S4.55 APPLICATION	FB

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p. 02 9976 6666 abn. 74602856157  
nominated architect Bridie Gough Reg No. 8280

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**5 COMMONWEALTH PDE,  
MANLY, NSW**

CLIENT  
C.G. & I.B. KOUTSOS



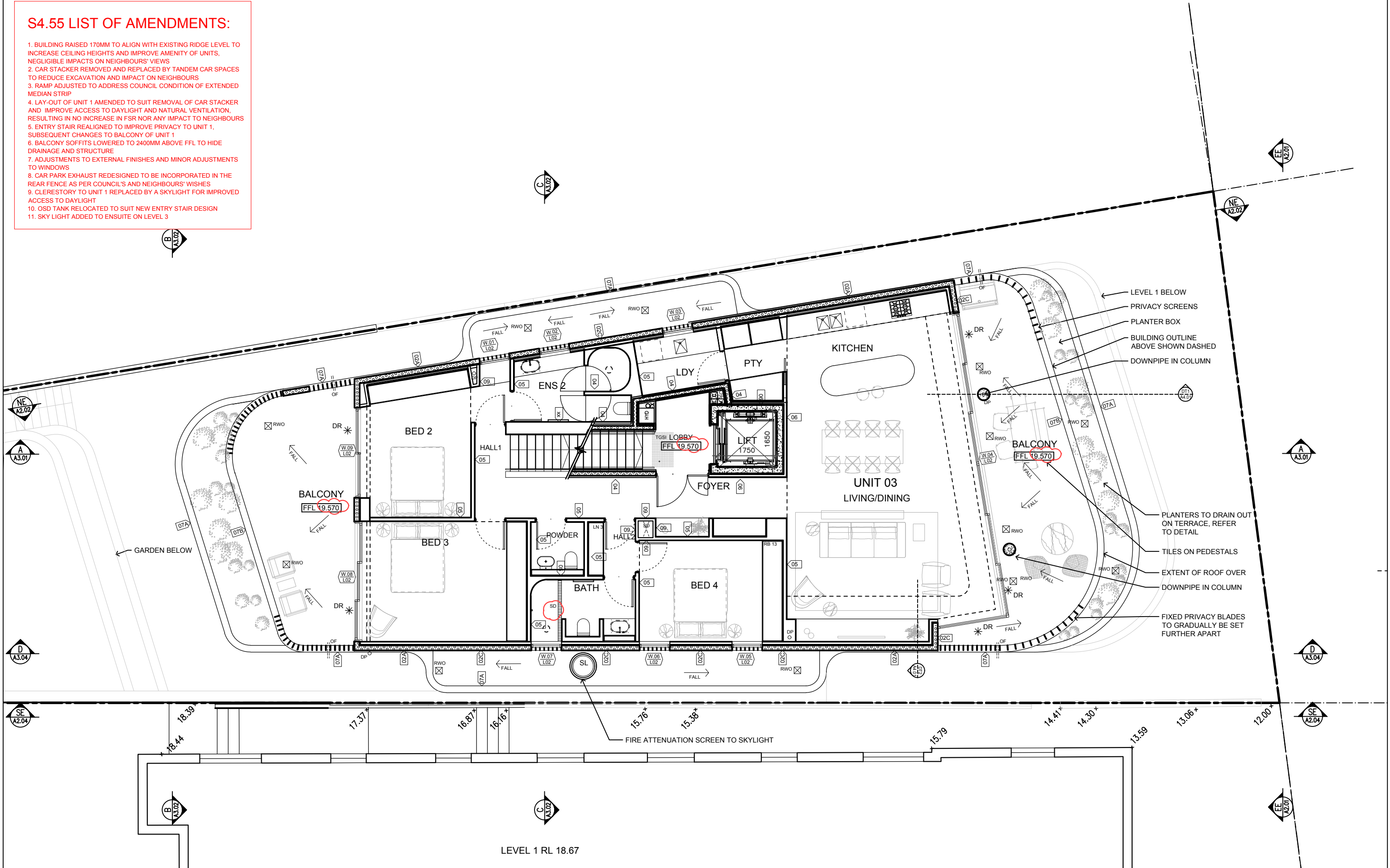
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**LEVEL 1 PLAN**

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A1.02	s4.55

PROJECT  
**CPM**

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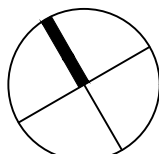
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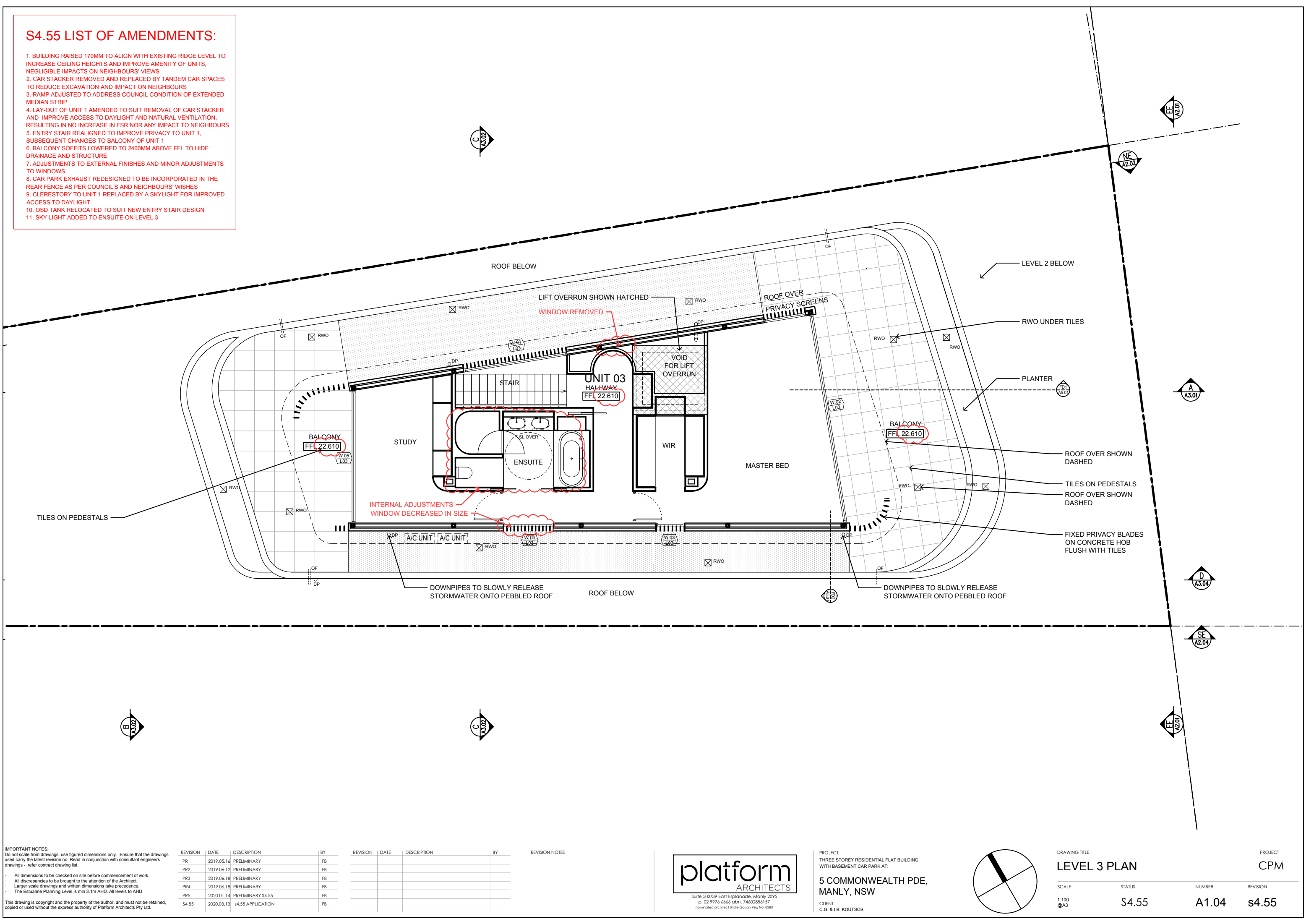
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DRAWING TITLE	STATUS	NUMBER	REVISION
LEVEL 2 PLAN	S4.55	A1.03	s4.55
SCALE	1:100 @A3		
PROJECT	CPM		

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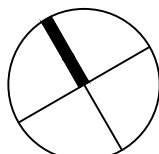
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PR4	2019.06.18	PRELIMINARY	FB
PR5	2020.01.14	PRELIMINARY S4.55	FB
S4.55	2020.03.13	S4.55 APPLICATION	FB

REVISION	DATE	DESCRIPTION	BY

REVISION NOTES



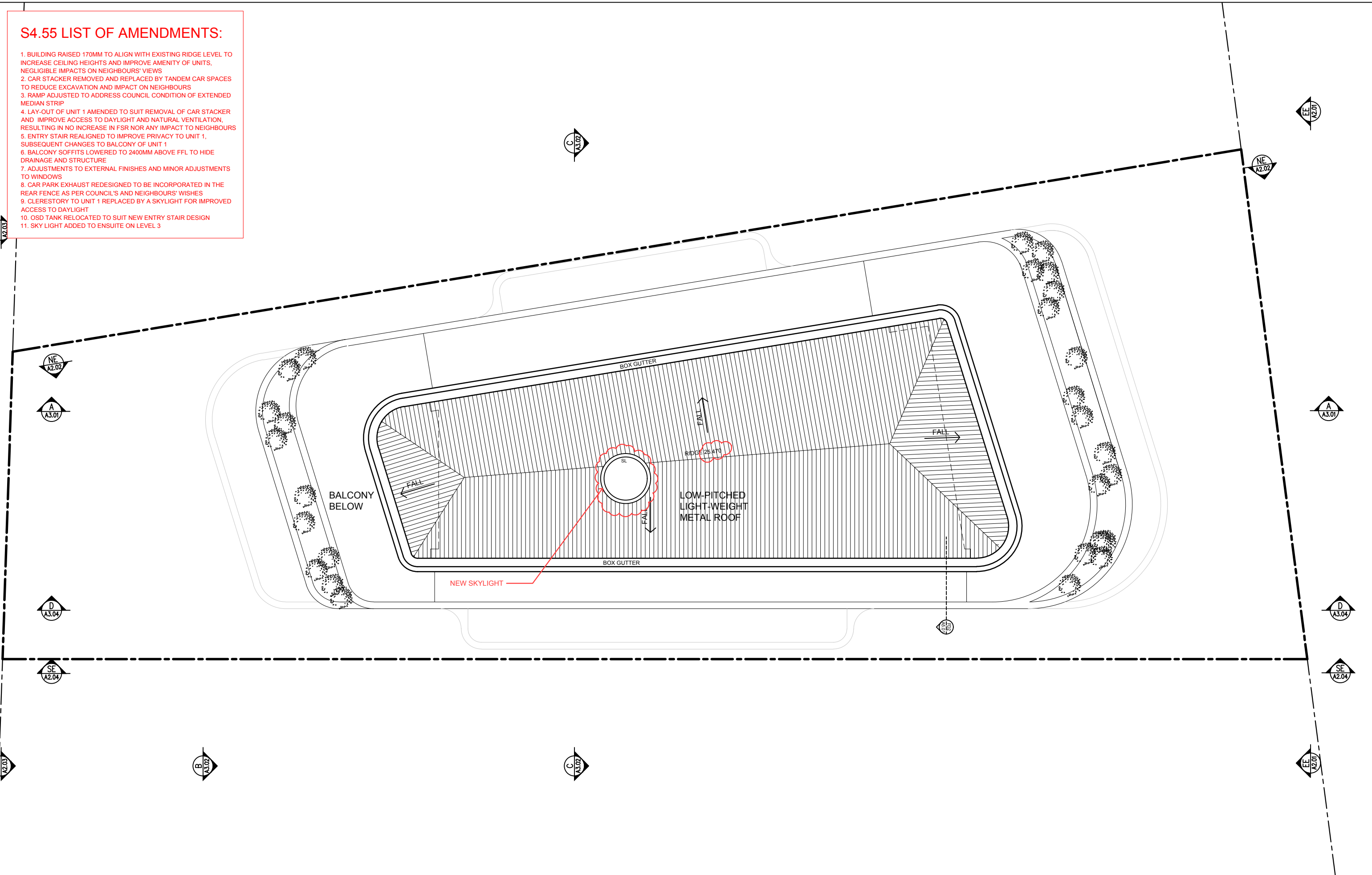
PROJECT  
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WITH BASEMENT CAR PARK AT:  
**5 COMMONWEALTH PDE,  
MANLY, NSW**  
CLIENT  
C.G. & I.B. KOUTSOS



DRAWING TITLE	STATUS	NUMBER	REVISION
LEVEL 3 PLAN	S4.55	A1.04	s4.55
SCALE	1:100 @A3		
PROJECT	CPM		

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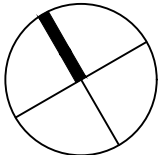
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PR	2019.05.16	CO-ORDINATION ISSUE	FB
PR1	2020.01.16	PRELIMINARY s4.55	FB
S4.55	2020.03.13	s4.55 APPLICATION	FB

REVISION	DATE	DESCRIPTION	BY

REVISION NOTES



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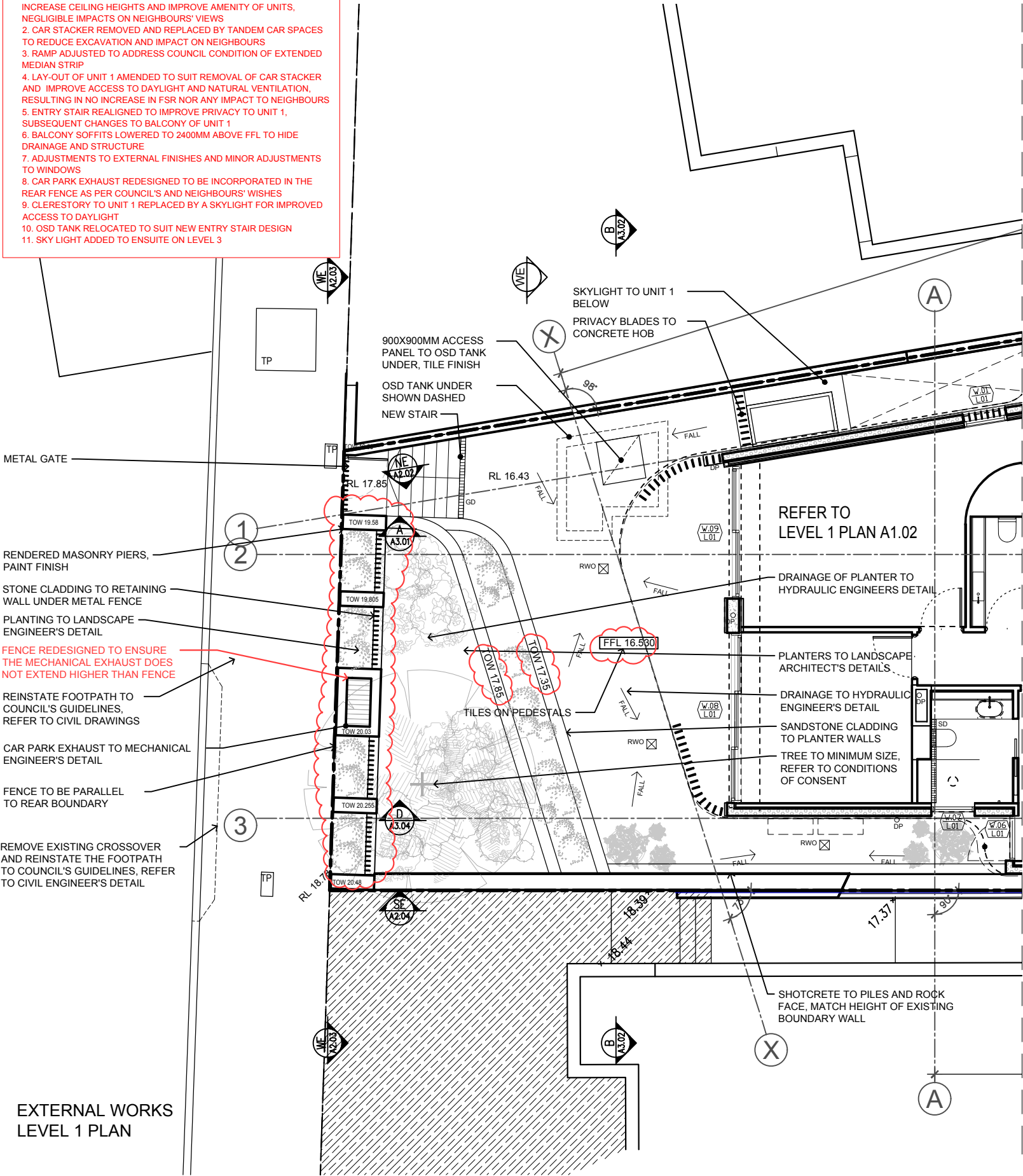
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**ROOF PLAN**

SCALE	STATUS	NUMBER	REVISION
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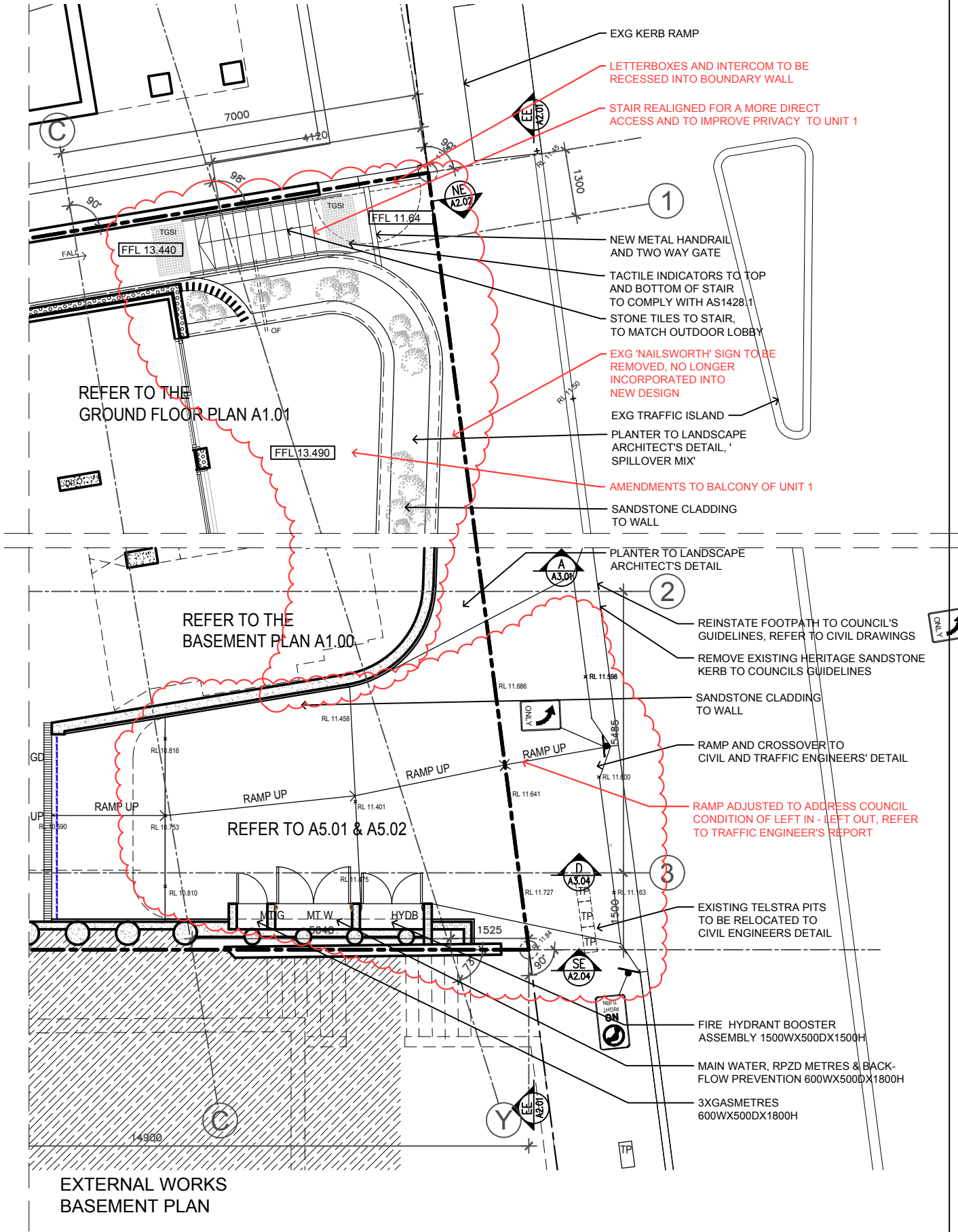
PROJECT  
CPM

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EXTERNAL WORKS  
LEVEL 1 PLAN



EXTERNAL WORKS  
BASEMENT PLAN

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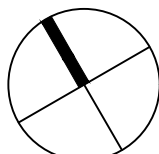
REVISION	DATE	DESCRIPTION	BY
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S4.55	2020.03.13	S4.55 APPLICATION	FB

REVISION	DATE	DESCRIPTION	BY

REVISION NOTES

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DRAWING TITLE  
**EXTERNAL WORKS PLAN**

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A1.06	S4.55

PROJECT  
CPM

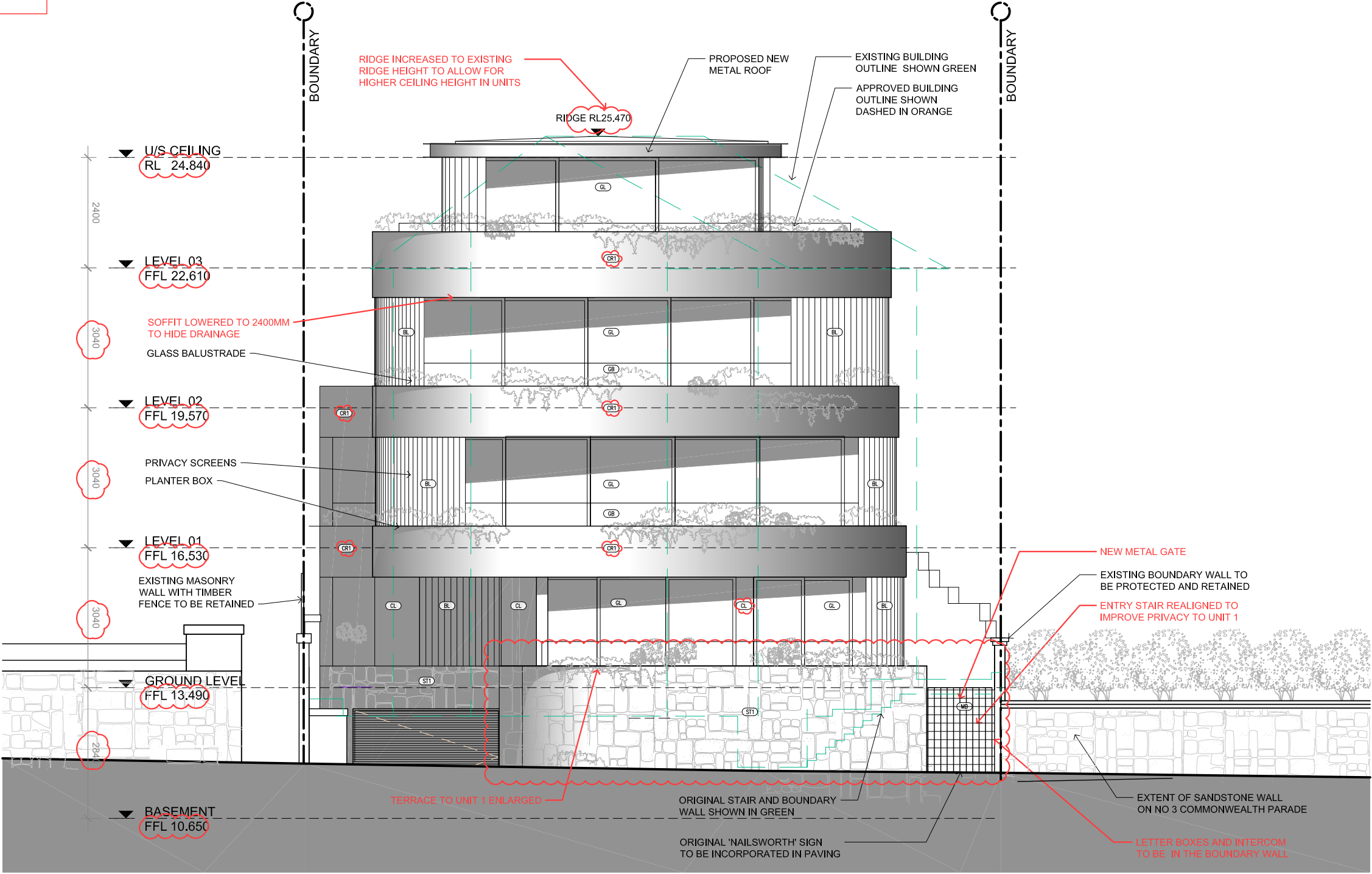
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Windows*	Glass	Frame	U value	SHGC	Detail
Default	Single glazed, low E high solar gain	Aluminium	5,4	0,49	Generally for window types: Awning, bi-fold, casement, tilt 'n' turn
Default	Single glazed, low E high solar gain	Aluminium	5,4	0,58	Generally for window types: Sliding window/ door, double hung, fixed, louvre
* The glass type and frame descriptions are Indicative only. The U-value and SHGC performance figures must be met to achieve compliance.					
Skylights	Glass	Frame	U value	SHGC	Detail
Default	Double glazed,	clear Aluminium	4,2	0,72	All skylights
External walls	Construction	Added Insulation	Detail		
	Concrete / AFS	R 1,5	For levels G, 1 and 2 as per drawings		
	Framed	R 2,5	For level 3		
Internal walls	Plasterboard on studs	None	Within units		
	Concrete	R 1,0	Wall separating units from common lobbies and lift shaft		
	Plasterboard on studs	R 1,5	For unit 01: wall separating unit from void space		
Floors	Concrete	None	Coverings: carpet generally; tiles for Living/Dining/Kitchen & wet areas		
	Concrete	R 1,0	For unit 01: R1,0 for floors over basement		
Ceilings	Plasterboard	(see roof detail below)			
Roofs	Concrete	R 1,0	Concrete roofs		
	Metal sheeting	R 3,5	Roof over level 3		
Other Requirements					
All exhaust fans and downlights (if installed) to be sealed to prevent air infiltration					



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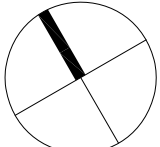
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REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY
PR	2019.05.16	PRELIMINARY	FB				
PR2	2019.05.16	PRELIMINARY	FB				
PR3	2020.01.17	PRELIMINARY S4.55	FB				
S4.55	2020.03.13	S4.55 APPLICATION	FB				

REVISION NOTES



PROJECT  
THREE STOREY RESIDENTIAL FLAT BUILDING  
WITH BASEMENT CAR PARK AT:  
**5 COMMONWEALTH PDE,  
MANLY, NSW**  
CLIENT  
C.G. & I.B. KOUTSOS

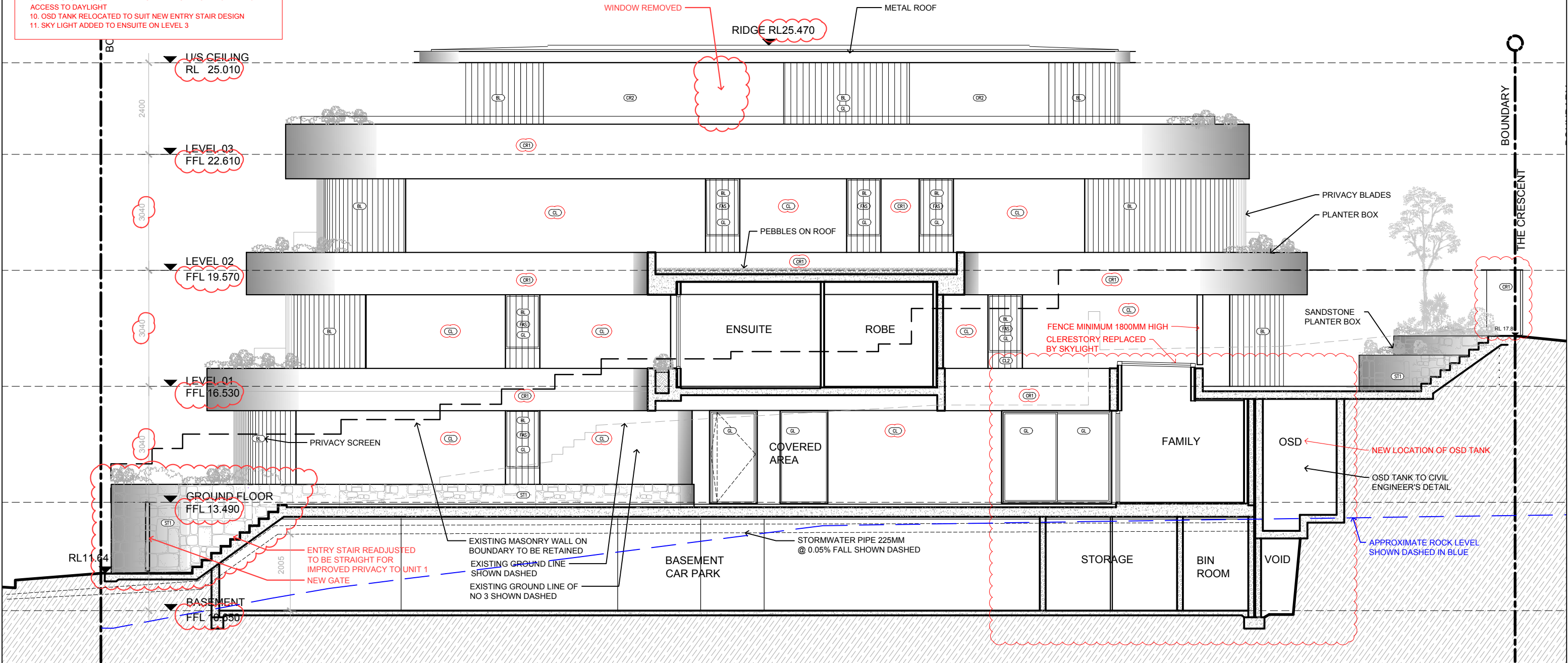


DRAWING TITLE  
**EAST ELEVATION**  
SCALE  
1:100  
@A3  
STATUS  
**S4.55**

PROJECT  
**CPM**  
NUMBER  
**A2.01**  
REVISION  
**s4.55**

S4.55 LIST OF AMENDMENTS:

1. BUILDING RAISED 170MM TO ALIGN WITH EXISTING RIDGE LEVEL TO INCREASE CEILING HEIGHTS AND IMPROVE AMENITY OF UNITS, NEGLIGIBLE IMPACTS ON NEIGHBOURS' VIEWS
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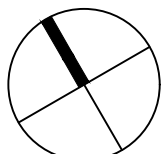
REVISION	DATE	DESCRIPTION	BY
PR	2019.05.16	PRELIMINARY	FB
PR4	2019.07.02	PRELIMINARY	FB
PR5	2020.01.14	PRELIMINARY s4.55	FB
s4.55	2020.03.13	s4.55 APPLICATION	FB

REVISION	DATE	DESCRIPTION	BY

REVISION NOTES



PROJECT  
THREE STOREY RESIDENTIAL FLAT BUILDING  
WITH BASEMENT CAR PARK AT:  
**5 COMMONWEALTH PDE,  
MANLY, NSW**  
CLIENT  
C.G. & I.B. KOUTSOS



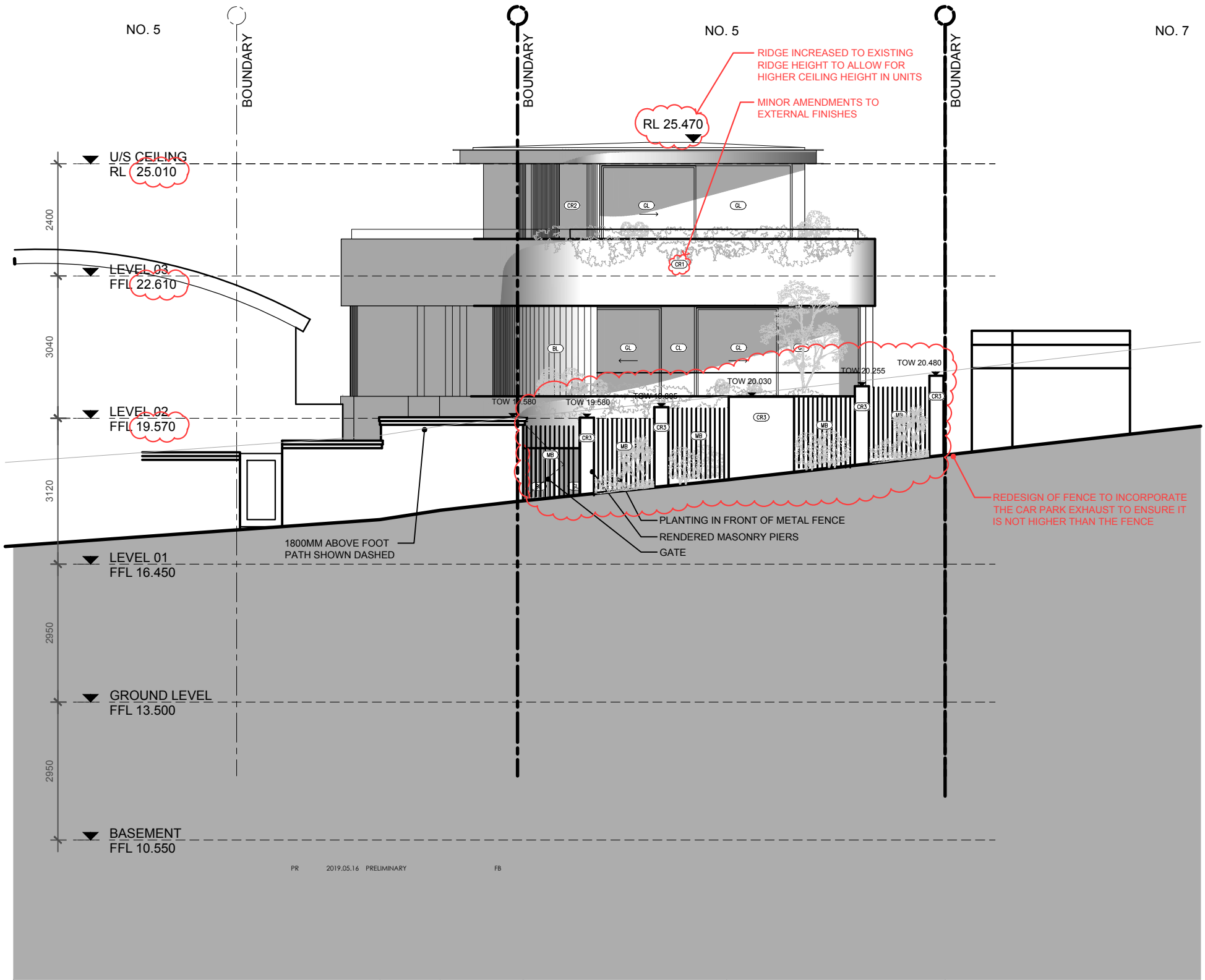
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**NORTH ELEVATION**

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A2.02	s4.55

PROJECT  
**CPM**

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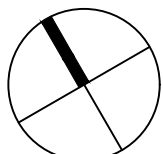
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PR1	2019.07.08	PRELIMINARY	FB
PR2	2020.01.22	PRELIMINARY S4.55	FB
S4.55	2020.03.13	S4.55 APPLICATION	FB

REVISION	DATE	DESCRIPTION	BY

REVISION NOTES



PROJECT  
THREE STOREY RESIDENTIAL FLAT BUILDING  
WITH BASEMENT CAR PARK AT:  
**5 COMMONWEALTH PDE,  
MANLY, NSW**  
CLIENT  
C.G. & I.B. KOUTSOS



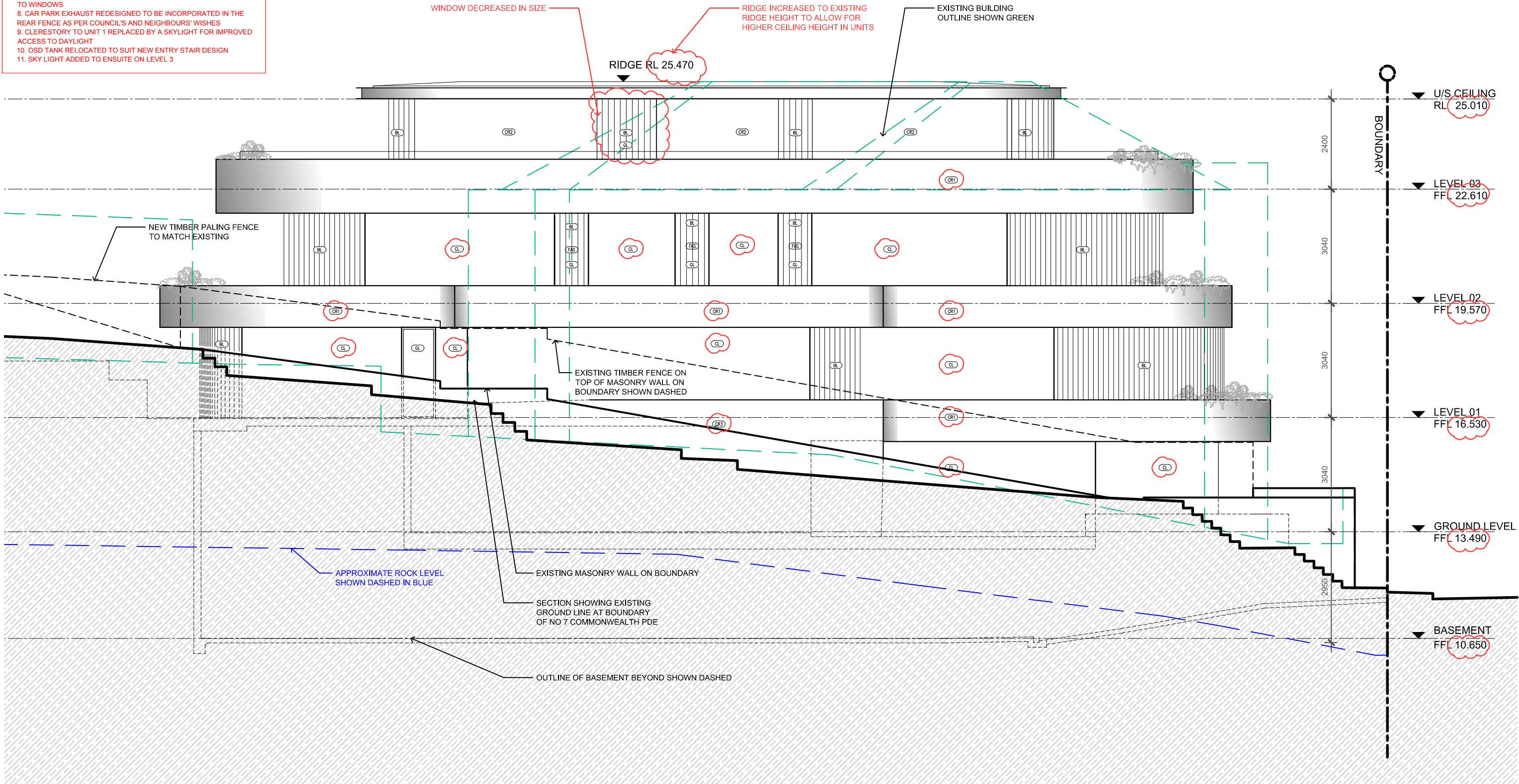
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**WEST ELEVATION**

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A2.03	s4.55

PROJECT  
CPM

S4.55 LIST OF AMENDMENTS:

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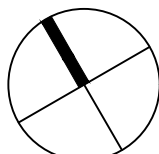
REVISION	DATE	DESCRIPTION	BY
PR1	2019.07.08	CO-ORDINATION ISSUE	FB
PR2	2020.01.16	PRELIMINARY S4.55	FB
S4.55	2020.03.13	S4.55 APPLICATION	FB

REVISION	DATE	DESCRIPTION	BY

REVISION NOTES



PROJECT  
THREE STOREY RESIDENTIAL FLAT BUILDING  
WITH BASEMENT CAR PARK AT:  
**5 COMMONWEALTH PDE,  
MANLY, NSW**  
CLIENT  
C.G. & I.B. KOUTSOS



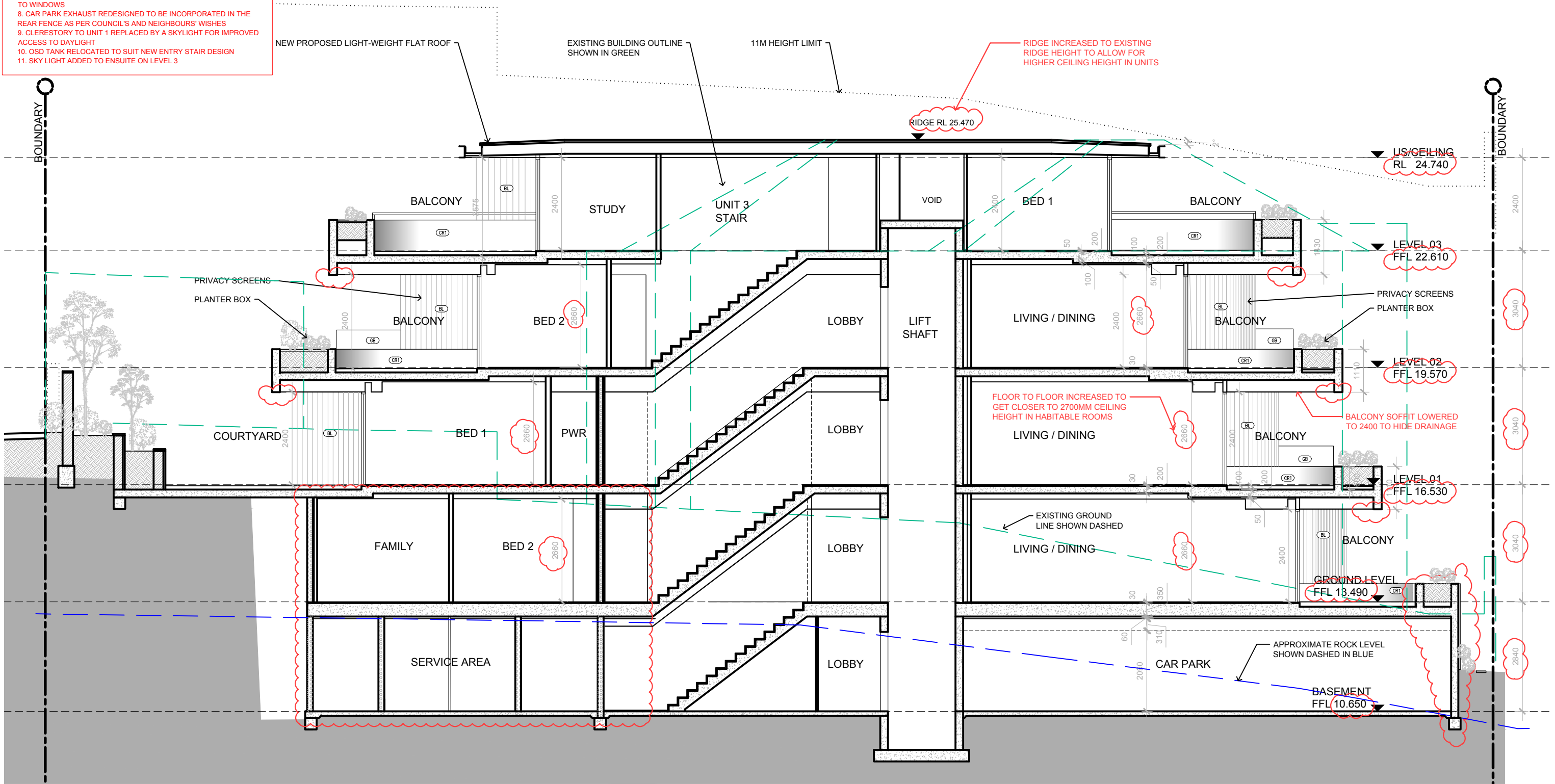
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**SOUTH ELEVATION**

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A2.04	s4.55

PROJECT  
CPM

S4.55 LIST OF AMENDMENTS:

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REVISION	DATE	DESCRIPTION	BY
PR	2019.05.16	PRELIMINARY	FB
PR1	2019.05.30	PRELIMINARY	FB
PR2	2019.06.12	PRELIMINARY	FB
PR3	2020.01.14	PRELIMINARY S4.55	FB
S4.55	2020.03.13	S4.55 APPLICATION	FB

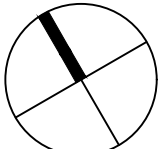
REVISION	DATE	DESCRIPTION	BY

REVISION NOTES



PROJECT  
THREE STOREY RESIDENTIAL FLAT BUILDING  
WITH BASEMENT CAR PARK AT:  
**5 COMMONWEALTH PDE,  
MANLY, NSW**

CLIENT  
C.G. & I.B. KOUTSOS



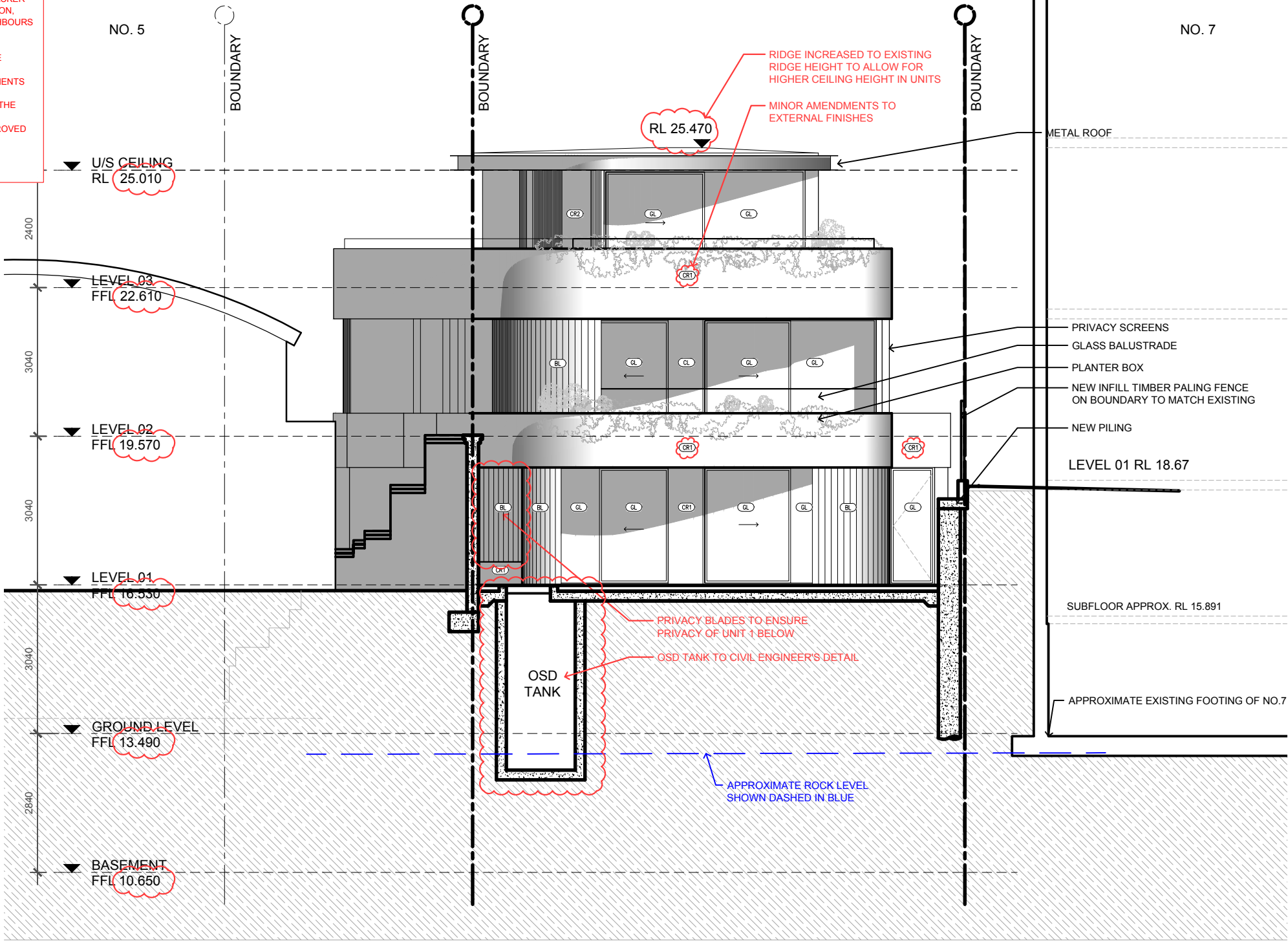
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**SECTION AA**

PROJECT  
CPM

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A3.01	s4.55

S4.55 LIST OF AMENDMENTS:

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REVISION	DATE	DESCRIPTION	BY
PR	2019.05.16	PRELIMINARY	FB
PR2	2019.06.12	PRELIMINARY	FB
PR3	2020.01.20	PRELIMINARY S4.5	FB
S4.55	2020.03.13	S4.55 APPLICATION	FB

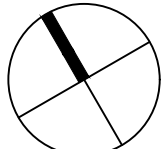
REVISION	DATE	DESCRIPTION	BY

REVISION NOTES



PROJECT  
THREE STOREY RESIDENTIAL FLAT BUILDING  
WITH BASEMENT CAR PARK AT:  
**5 COMMONWEALTH PDE,  
MANLY, NSW**

CLIENT  
C.G. & I.B. KOUTSOS



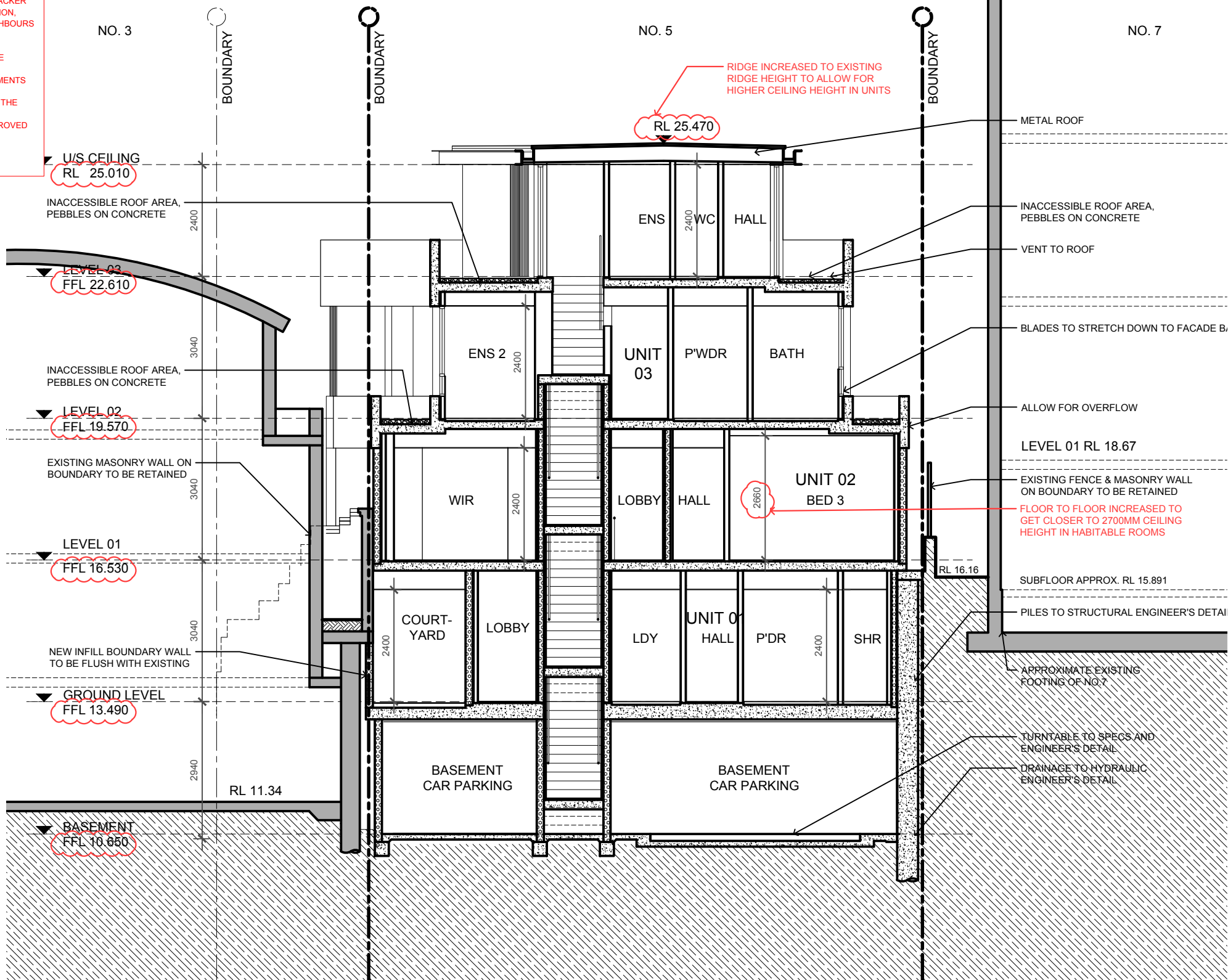
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**SECTION BB**

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A3.02	s4.55

PROJECT  
CPM

S4.55 LIST OF AMENDMENTS:

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REVISION	DATE	DESCRIPTION	BY
PR	2019.05.16	PRELIMINARY	FB
PR4	2019.07.02	PRELIMINARY	FB
PR5	2019.07.04	PRELIMINARY	FB
PR6	2020.01.20	PRELIMINARY S4.55	FB
S4.55	2020.03.13	S4.55 APPLICATION	FB

REVISION	DATE	DESCRIPTION	BY

REVISION NOTES

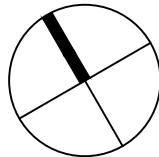
platform  
ARCHITECTS

Suite 503/39 East Esplanade, Manly 2095  
p. 02 9976 6666 abn. 74402856157  
nominated architect Bide Gough Reg No. 6280

PROJECT  
THREE STOREY RESIDENTIAL FLAT BUILDING  
WITH BASEMENT CAR PARK AT:

5 COMMONWEALTH PDE,  
MANLY, NSW

CLIENT  
C.G. & I.B. KOUTSOS



DRAWING TITLE  
SECTION CC

SCALE  
1:100  
@A3

STATUS  
S4.55

NUMBER  
A3.03

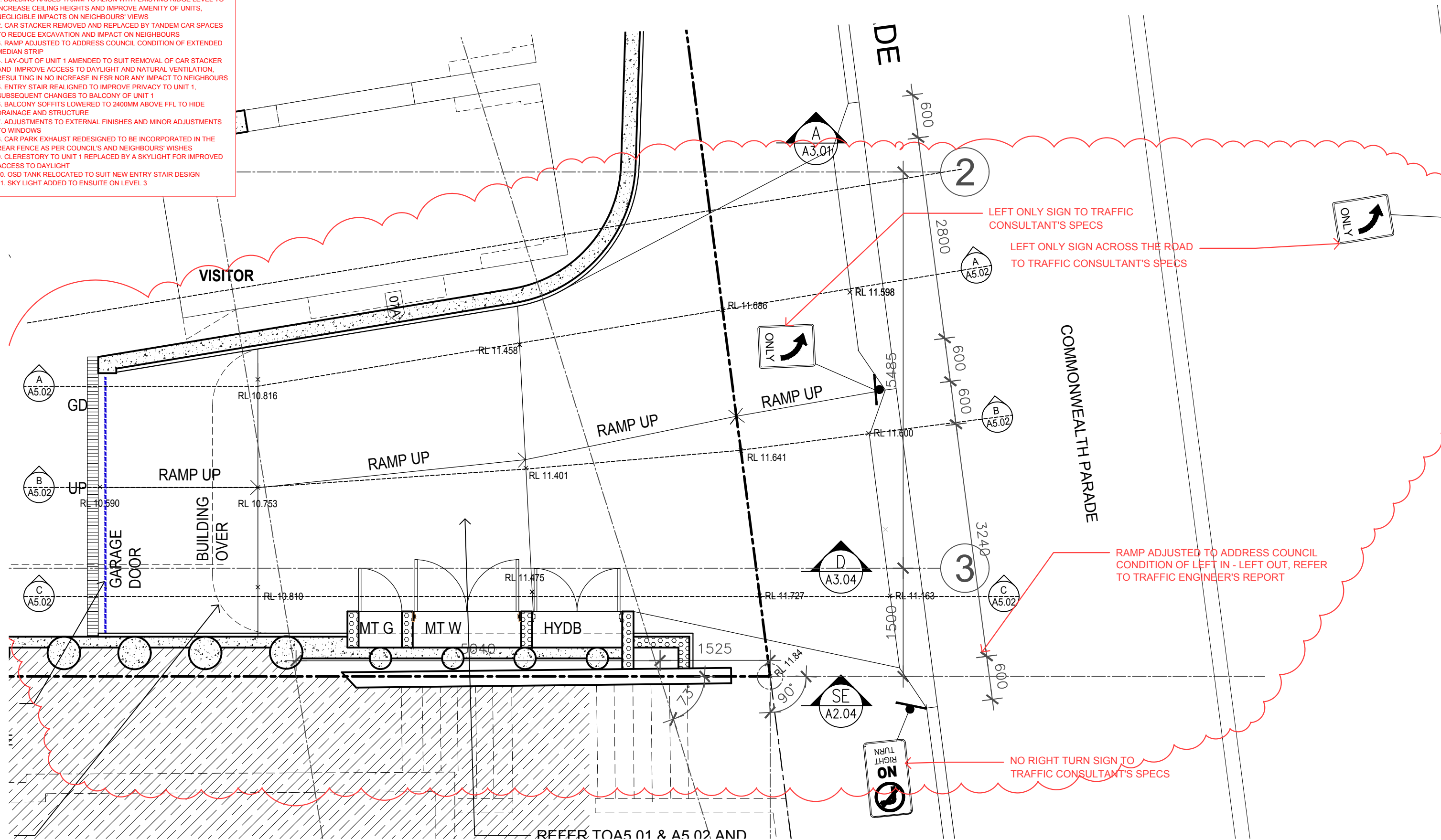
REVISION  
S4.55

PROJECT  
CPM

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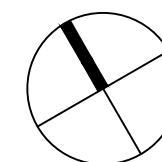
REVISION	DATE	DESCRIPTION	BY
PR1	2020.02.20	PRELIMINARY \$4.55	FB
\$4.55	2020.03.13	\$4.55 APPLICATION	FB

[illegible]

REVISION NOTES



PROJECT  
THREE STOREY RESIDENTIAL FLAT BUILDING  
WITH BASEMENT CAR PARK AT:  
**5 COMMONWEALTH PDE,  
MANLY, NSW**  
CLIENT  
C.G. & I.B. KOUTSOS



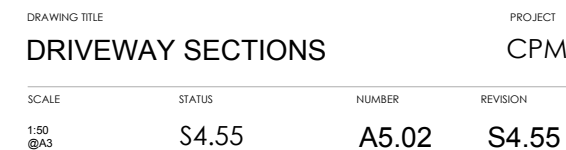
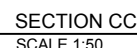
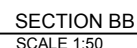
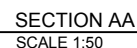
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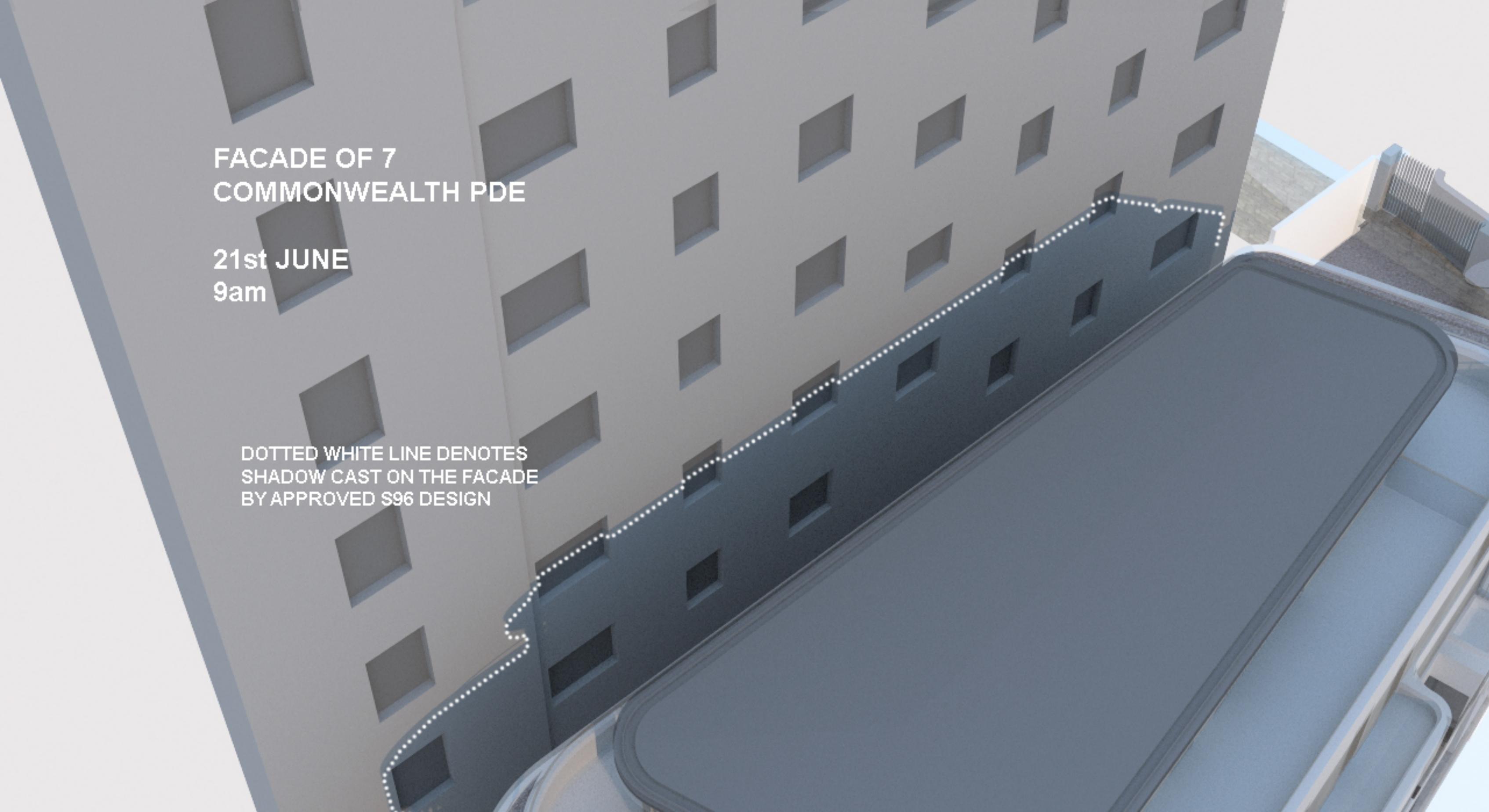
**DRIVEWAY PLAN**

SCALE	STATUS	NUMBER	REVISION
1:50 @A3	\$4.55	A5.01	s4.55

PROJECT  
CPM

1. BUILDING RAISED 170MM TO ALIGN WITH EXISTING RIDGE LEVEL TO INCREASE CEILING HEIGHTS AND IMPROVE AMENITY OF UNITS, NEGLIGIBLE IMPACTS ON NEIGHBOURS' VIEWS
2. CAR STACKER REMOVED AND REPLACED BY TANDEM CAR SPACES TO REDUCE EXCAVATION AND IMPACT ON NEIGHBOURS
3. RAMP ADJUSTED TO ADDRESS COUNCIL CONDITION OF EXTENDED MEDIAN STRIP
4. LAY-OUT OF UNIT 1 AMENDED TO SUIT REMOVAL OF CAR STACKER AND IMPROVE ACCESS TO DAYLIGHT AND NATURAL VENTILATION, RESULTING IN NO INCREASE IN FSR NOR ANY IMPACT TO NEIGHBOURS
5. ENTRY STAIR REALIGNED TO IMPROVE PRIVACY TO UNIT 1, SUBSEQUENT CHANGES TO BALCONY OF UNIT 1
6. BALCONY SOFFITS LOWERED TO 2400MM ABOVE FFL TO HIDE DRAINAGE AND STRUCTURE
7. ADJUSTMENTS TO EXTERNAL FINISHES AND MINOR ADJUSTMENTS TO WINDOWS
8. CAR PARK EXHAUST REDESIGNED TO BE INCORPORATED IN THE REAR FENCE AS PER COUNCIL'S AND NEIGHBOURS' WISHES
9. CLERESTORY TO UNIT 1 REPLACED BY A SKYLIGHT FOR IMPROVED ACCESS TO DAYLIGHT
10. OSD TANK RELOCATED TO SUIT NEW ENTRY STAIR DESIGN
11. SKY LIGHT ADDED TO ENSUITE ON LEVEL 3





FACADE OF 7  
COMMONWEALTH PDE

21st JUNE  
9am

DOTTED WHITE LINE DENOTES  
SHADOW CAST ON THE FACADE  
BY APPROVED S96 DESIGN

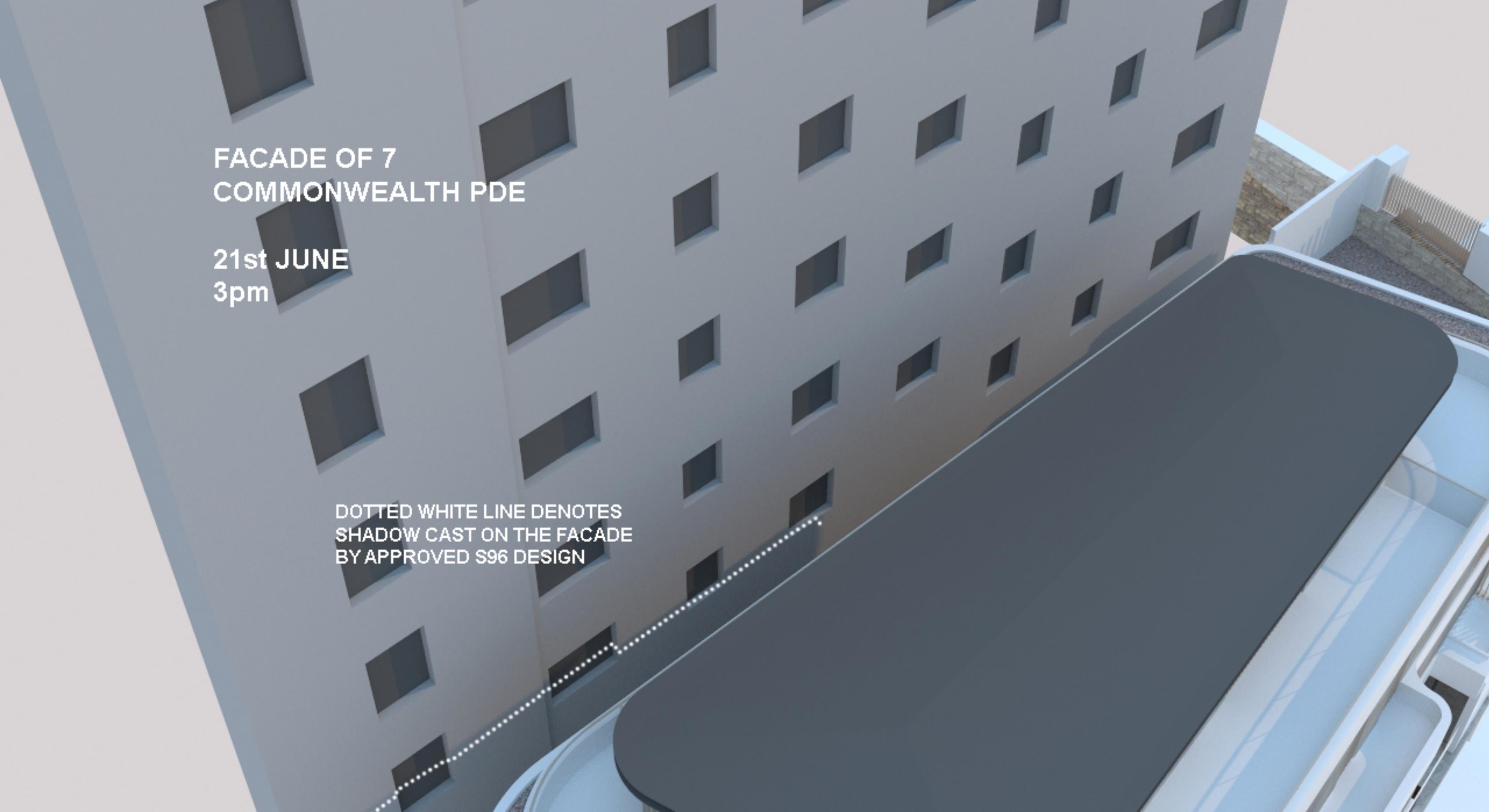


FACADE OF 7  
COMMONWEALTH PDE

This is a 3D architectural rendering of a building facade. The facade is light grey and features a grid of rectangular windows. A dark grey, curved structure is positioned in front of the building, and a dotted white line indicates the shadow cast by this structure onto the facade. The scene is set against a clear sky, and a portion of another building is visible in the background.

21st JUNE  
12pm

DOTTED WHITE LINE DENOTES  
SHADOW CAST ON THE FACADE  
BY APPROVED S96 DESIGN

An architectural rendering of a building facade, likely for a Commonwealth Public Development Entity (PDE). The facade is light blue-grey and features a grid of rectangular windows. A large, dark grey, curved shape represents a shadow cast by an approved design, which is indicated by a dotted white line. The scene is set against a light blue sky and a white ground plane. The text 'FACADE OF 7 COMMONWEALTH PDE' is positioned in the upper left, and '21st JUNE 3pm' is below it. The text 'DOTTED WHITE LINE DENOTES SHADOW CAST ON THE FACADE BY APPROVED S96 DESIGN' is located in the lower left, near the shadow.

FACADE OF 7  
COMMONWEALTH PDE

21st JUNE  
3pm

DOTTED WHITE LINE DENOTES  
SHADOW CAST ON THE FACADE  
BY APPROVED S96 DESIGN

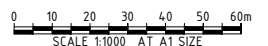
# CIVIL WORKS FOR S4.55 SUBMISSION LGA NORTHERN BEACHES COUNCIL



SOURCE: NEARMAP 2



C-1000	COVER SHEET AND LOCALITY PLAN
C-1010	GENERAL ARRANGEMENT PLAN
C-1200	SITWORKS AND DRAINAGE PLAN SHEET 1 OF 2
C-1201	SITWORKS AND DRAINAGE PLAN SHEET 2 OF 2
C-1350	OSD PLAN AND SECTION



										CLIENT										 Momentum Projects YOUR VISION • OUR PROJECT										 platform ARCHITECTS										 Sydney Office — L2, 8 Windmill St Sydney NSW 2000 P / +61 2 9770 3300 E / info@bgeeng.com bgeeng.com—										 PROJECT 5 COMMONWEALTH PARADE MANLY, NSW 2095										<table><tr><td colspan="4">STATUS</td><td colspan="4">ISSUED FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION</td><td colspan="4">TITLE COVER SHEET AND LOCALITY PLAN</td></tr><tr><td colspan="2">DRAWN</td><td colspan="2">DESIGNED</td><td colspan="2">CHECKED</td><td colspan="2">APPROVED</td><td colspan="2">PROJECT No</td><td colspan="2">DRAWING No</td><td colspan="2">REV</td></tr><tr><td colspan="2">CB</td><td colspan="2">SP</td><td colspan="2">SP</td><td colspan="2">AW</td><td colspan="2">S19156</td><td colspan="2">C-1000</td><td colspan="2">B</td></tr></table>										STATUS				ISSUED FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION				TITLE COVER SHEET AND LOCALITY PLAN				DRAWN		DESIGNED		CHECKED		APPROVED		PROJECT No		DRAWING No		REV		CB		SP		SP		AW		S19156		C-1000		B	
STATUS				ISSUED FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION				TITLE COVER SHEET AND LOCALITY PLAN																																																																																																					
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<table><tr><td>B</td><td>30.03.20</td><td>ISSUED FOR \$4.55 SUBMISSION</td><td>AW</td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>A</td><td>28.02.20</td><td>ISSUED FOR \$4.55 SUBMISSION</td><td>AW</td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>REV</td><td>DATE</td><td>DESCRIPTION</td><td>RVD</td><td>REV</td><td>DATE</td><td>DESCRIPTION</td><td>RVD</td><td></td><td></td></tr></table>										B	30.03.20	ISSUED FOR \$4.55 SUBMISSION	AW							A	28.02.20	ISSUED FOR \$4.55 SUBMISSION	AW							REV	DATE	DESCRIPTION	RVD	REV	DATE	DESCRIPTION	RVD			<table><tr><td colspan="5">REVISIONS</td><td colspan="5">REVISIONS</td></tr></table>										REVISIONS					REVISIONS					<table><tr><td>DATUM</td><td>GRID</td><td>SCALE</td><td colspan="2">AS SHOWN</td><td>A1</td><td>A1</td><td>SIZE</td><td>PROJECT No</td><td>DRAWING No</td><td>REV</td></tr><tr><td>AHD</td><td>MGA</td><td></td><td colspan="2"></td><td></td><td></td><td></td><td>S19156</td><td>C-1000</td><td>B</td></tr></table>										DATUM	GRID	SCALE	AS SHOWN		A1	A1	SIZE	PROJECT No	DRAWING No	REV	AHD	MGA							S19156	C-1000	B																		
B	30.03.20	ISSUED FOR \$4.55 SUBMISSION	AW																																																																																																										
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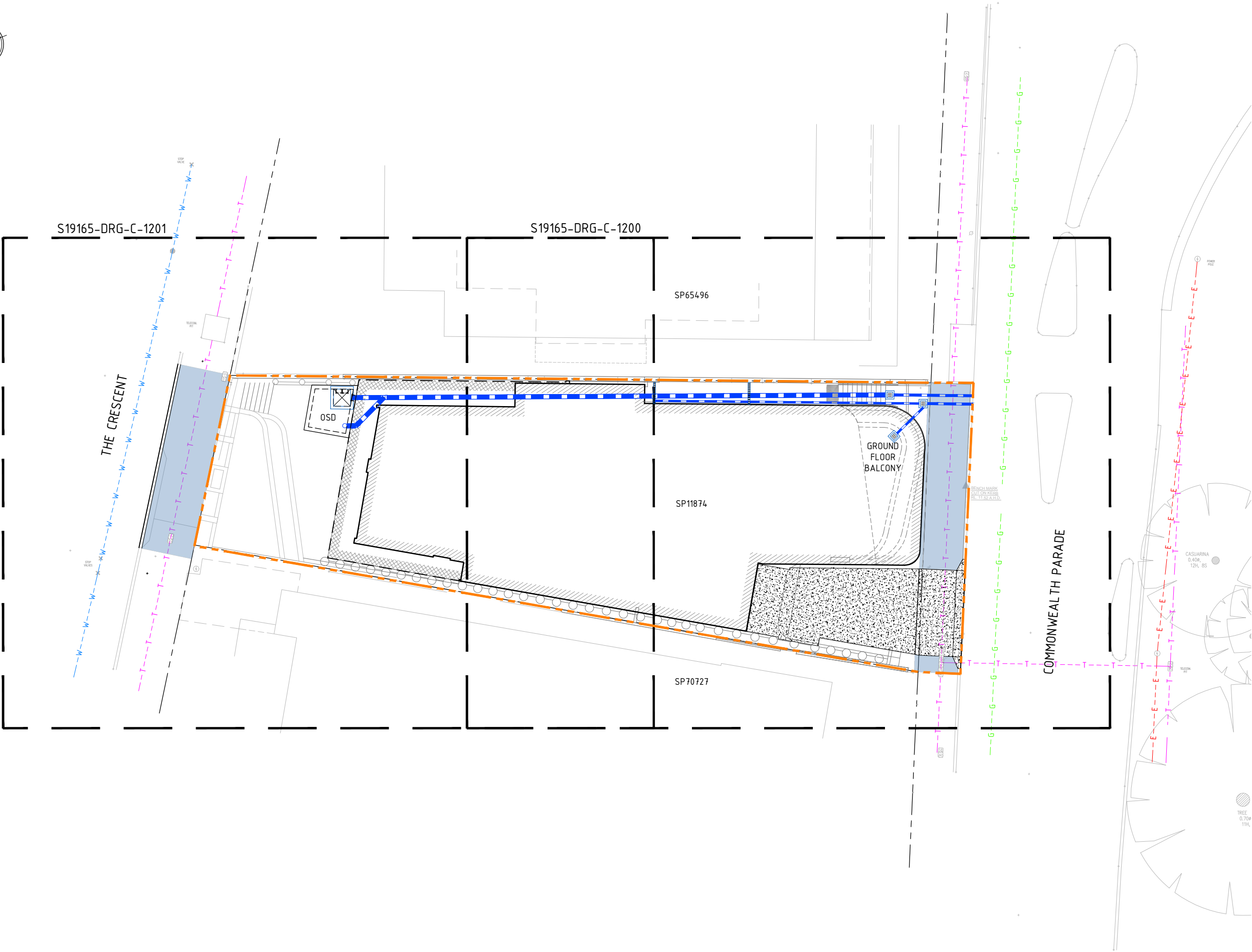


LEGEND

- LIMIT OF WORKS
- PROPOSED STORMWATER DRAINAGE PIPE
- PROPOSED BUILDING EXTENT  
REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
- GROUND FLOOR BASEMENT WALL  
BELOW. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
- EX. KO EXISTING KERB ONLY
- EX. VC EXISTING VEHICULAR CROSSING
- EX. K&G EXISTING KERB & GUTTER
- EX. STONE KERB EXISTING STONE KERB
- PROPOSED FOOTPATH

SERVICES

- S-S- EXISTING SEWER
- T-T- EXISTING TELECOM
- G-G- EXISTING GAS
- W-W- EXISTING WATER



0 1 2 3 4 5 6m  
SCALE 1:100 AT A1 SIZE

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
B	30.03.20	ISSUED FOR S4.55 SUBMISSION	AW		
A	28.02.20	ISSUED FOR S4.55 SUBMISSION	AW		
REV	DATE	DESCRIPTION	RVD	REV	DATE
REVISIONS			REVISIONS		



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L2, 8 Windmill St  
Sydney NSW 2000  
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bgeeng.com—



5 COMMONWEALTH PARADE  
MANLY, NSW 2095

ISSUED FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION			
DRAWN	DESIGNED	CHECKED	APPROVED
CB	SP	SP	AW
DATUM	GRID	SCALE	AT
AHD	MGA	1:100	A1 SIZE

GENERAL ARRANGEMENT PLAN		
PROJECT No.	DRAWING No.	REV
S19156	C-1010	B

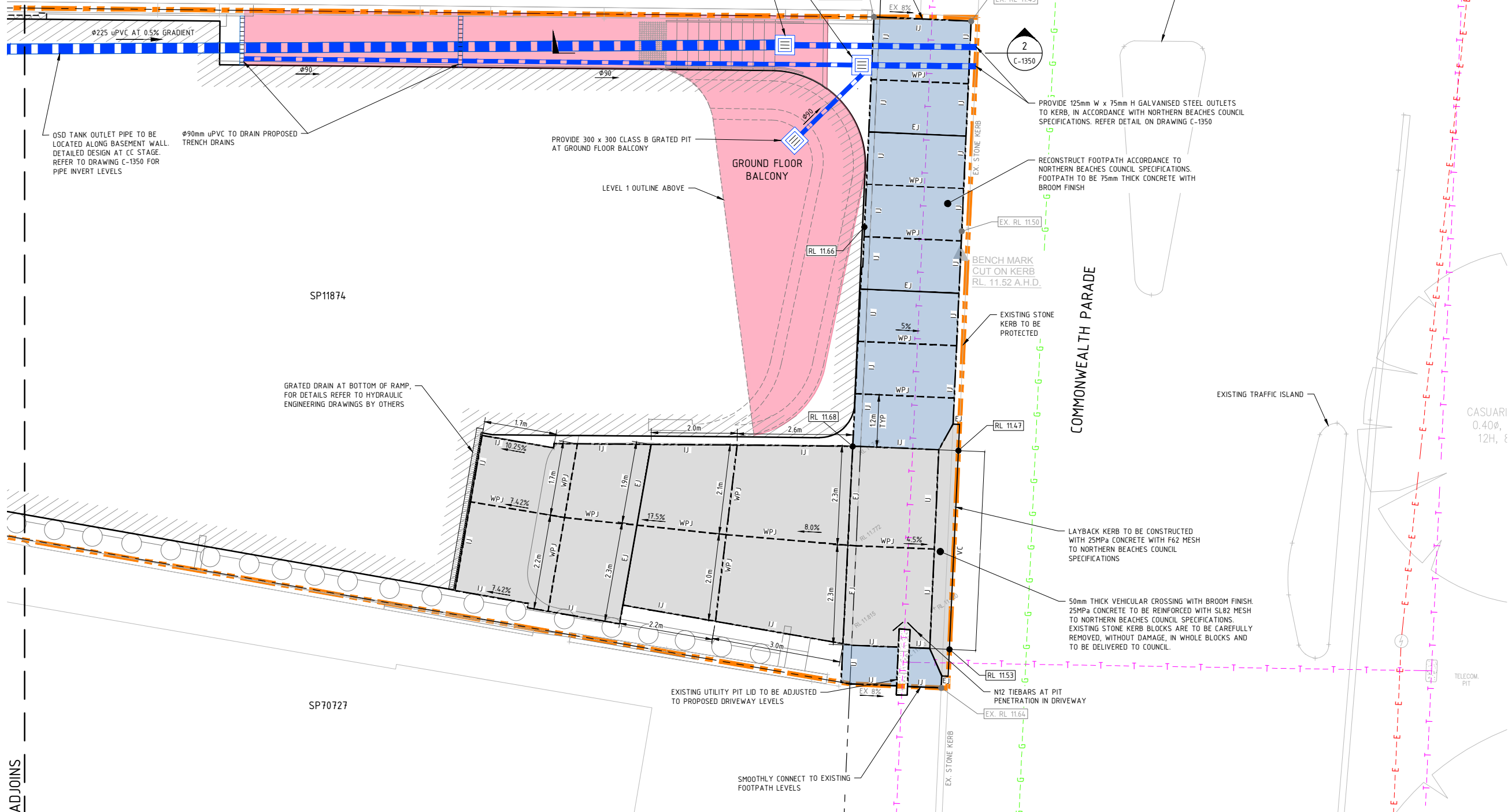
S19165-DRG-C-1201



SP65496

SP11874

SP70727



**LEGEND**

- LIMIT OF WORKS
- PROPOSED STORMWATER DRAINAGE PIPE
- PROPOSED STORMWATER GRATED STRIP DRAIN
- PROPOSED BUILDING EXTENT REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
- GROUND FLOOR BASEMENT WALL BELOW. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
- EX. K&G
- EX. K&G
- EX. STONE KERB
- EXISTING KERB & GUTTER
- EXISTING KERB & GUTTER
- EXISTING STONE KERB
- VC
- PROPOSED VEHICULAR CROSSING AND DRIVEWAY
- PROPOSED FOOTPATH
- RL 18.73
- EX. RL 18.86
- DESIGN SURFACE LEVEL (m)
- EXISTING SURFACE LEVEL (m)
- GROUND FLOOR AREA BYPASSING OSD TANK

**CONCRETE JOINTS**

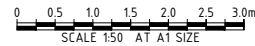
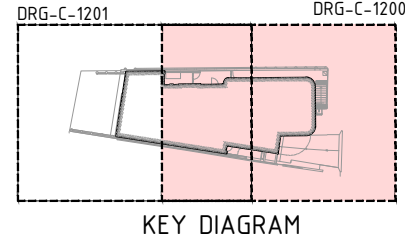
- EJ
- IJ
- WPJ
- EXPANSION JOINT
- ISOLATION JOINT
- WEAKENED PLANE JOINT

**SERVICES**

- S-S
- T-T
- G-G
- W-W
- EXISTING SEWER
- EXISTING TELECOM
- EXISTING GAS
- EXISTING WATER

**NOTE**

1. EXISTING UTILITIES PRESENT IN AREA OF WORKS. CONTRACTOR TO CONDUCT DIAL BEFORE YOU DIG INQUIRY BEFORE EXCAVATION. UTILITIES TO BE PROTECTED DURING WORKS.



REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
B	30.03.20	ISSUED FOR \$4.55 SUBMISSION	AW		
A	28.02.20	ISSUED FOR \$4.55 SUBMISSION	AW		
REV	DATE	DESCRIPTION	RVD	REV	DATE
REVISIONS			REVISIONS		



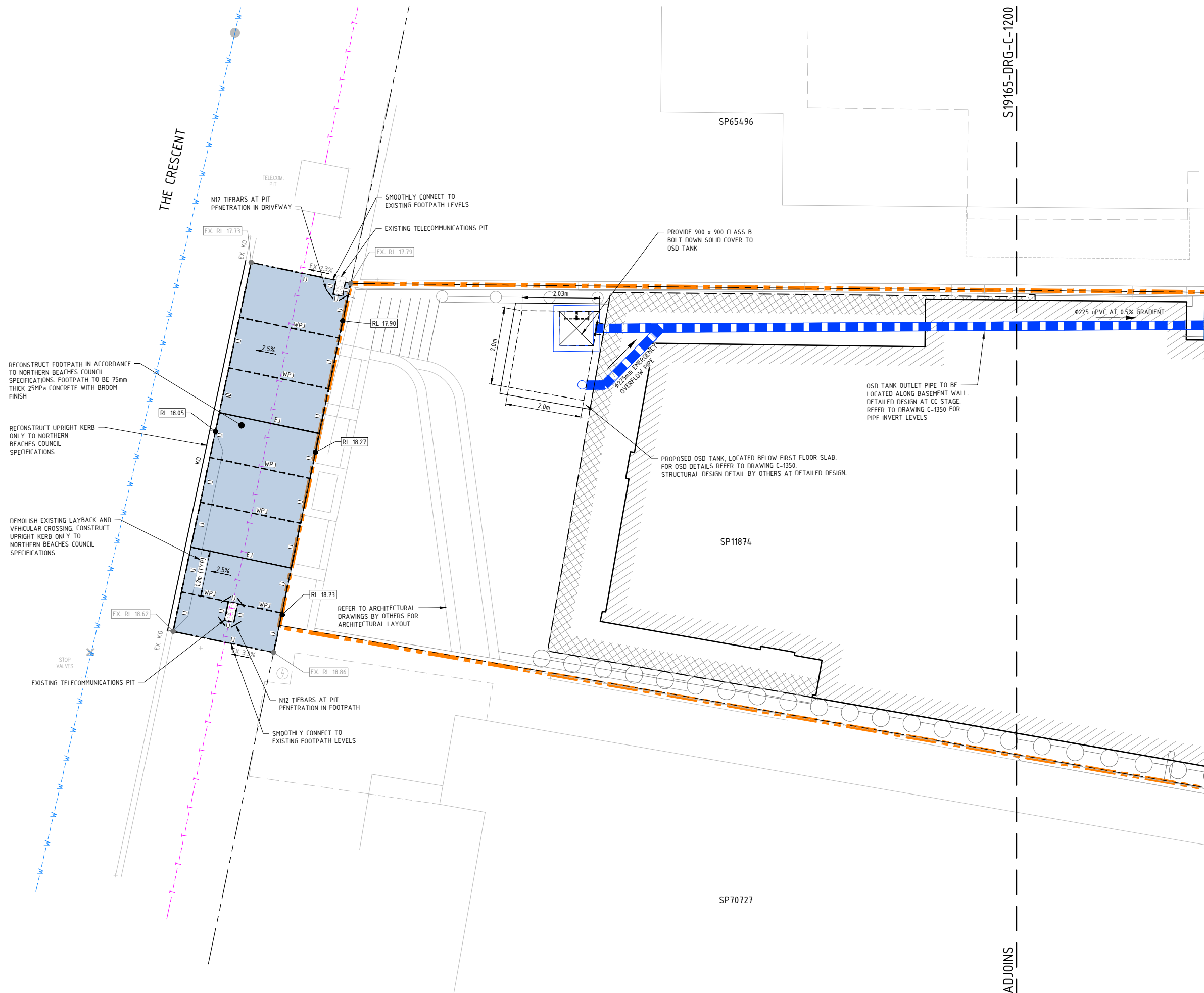
Sydney Office —  
L2, 8 Windmill St  
Sydney NSW 2000  
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bgeeng.com



5 COMMONWEALTH PARADE  
MANLY, NSW 2095

ISSUED FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION			
DRAWN	DESIGNED	CHECKED	APPROVED
CB	SP	SP	AW
DATUM	GRID	SCALE	AT
AHD	MGA	1:50	A1

SITWORKS AND DRAINAGE PLAN SHEET 1 OF 2		
PROJECT No.	DRAWING No.	REV
S19156	C-1200	B

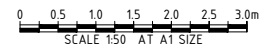


	LIMIT OF WORKS
	PROPOSED STORMWATER DRAINAGE PIPE
	PROPOSED STORMWATER GRATED STRIP DRAIN
	PROPOSED BUILDING EXISTENT REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
	GROUND FLOOR BASEMENT WALL BELOW. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
	EXISTING KERB & GUTTER
	EXISTING KERB & GUTTER
	EXISTING STONE KERB
	PROPOSED VEHICULAR CROSSING AND DRIVEWAY
	PROPOSED FOOTPATH
	DESIGN SURFACE LEVEL (m)
	EXISTING SURFACE LEVEL (m)

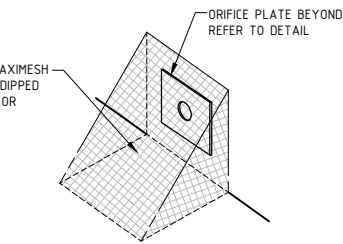
EJ	EXPANSION JOINT
IJ	ISOLATION JOINT
WPJ	WEAKENED PLANE JOINT

— S — S — EXISTING SEWER  
— T — T — EXISTING TELECOM  
— G — G — EXISTING GAS  
— W — W — EXISTING WATER


1. EXISTING UTILITIES PRESENT IN AREA OF WORKS.  
CONTRACTOR TO CONDUCT DIAL BEFORE YOU DIG  
INQUIRY BEFORE EXCAVATION. UTILITIES TO BE  
PROTECTED DURING WORKS.


[illegible]


TITLE			
SITEWORKS AND DRAINAGE PLAN SHEET 2 OF 2			
PROJECT No.	DRAWING No.	REV.	
S19156	C-1201	B	



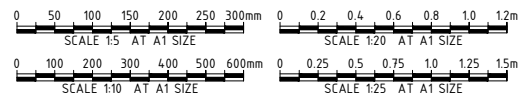
EMERGENCY OVERFLOW WEIR CALCULATIONS ( $Q=C_{wx}wH^{1.5}$ )	
	OSD
DISCHARGE, Q (L/s)	34
DISCHARGE COEFFICIENT, C	1.74
WEIR WIDTH, w (m)	0.71
FLOW DEPTH, m	0.091

 SITE BOUNDARY

 PROPOSED BUILDING EXTENT  
REFER TO ARCHITECTURAL  
DRAWINGS FOR DETAILS

 GROUND FLOOR BASEMENT WALL  
BELOW. REFER TO ARCHITECTURAL  
DRAWINGS FOR DETAILS

1. ALL DIMENSIONS ARE IN METRES U.N.O.
2. ALL WORKS ARE TO BE CONDUCTED IN ACCORDANCE TO NORTHERN BEACHES COUNCIL'S SPECIFICATION FOR ON-SITE STORMWATER MANAGEMENT AND SPECIFICATION FOR STORMWATER DRAINAGE.
3. STRUCTURAL DESIGN DETAILS BY OTHERS AT DETAILED DESIGN.

[illegible]

ARCHITECT

platform  
ARCHITECTS

**Sydney Office —**  
L2, 8 Windmill St  
Sydney NSW 2000  
P / +61 2 9770 3300 E / [info@bgeeng.com](mailto:info@bgeeng.com)  
[bgeeng.com](http://bgeeng.com)—



5 COMMONWEALTH PARADE  
MANLY, NSW 2095

STATUS			
<h1>ISSUED FOR APPROVAL</h1> <p>NOT TO BE USED FOR CONSTRUCTION</p>			
DRAWN	DESIGNED	CHECKED	APPROVED
CB	SP	SP	AW
DATUM	GRID	SCALE	
AHD	MGA	AS SHOWN	
		AT A1 SIZE	

TITLE	DATE	BY	CHKD	APPD	REMARKS
OSD PLAN AND SECTION					

PROJECT No. <b>S19156</b>	DRAWING No. <b>C-1350</b>	REV. <b>B</b>
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# EXTERNAL FINISHES BOARD

5 Commonwealth Parade, Manly  
Platform Architects  
2020.03.13

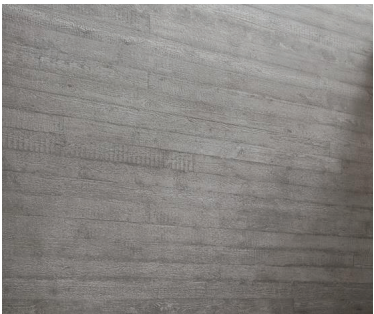
Roof cover  
ROUNDED PEBBLES



Terrace flooring  
NATURAL STONE



To lower floors  
CONCRETE LOOK CLADDING



To upper floor  
DARK CLADDING



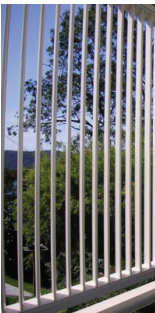
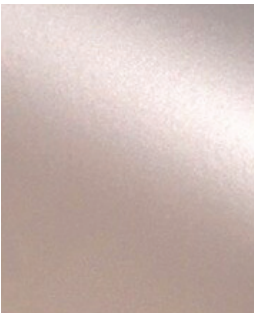
## ARTIST'S IMPRESSION



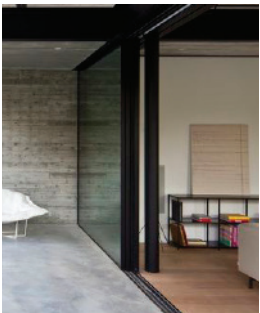
Planters with  
CASCADING PLANTS & GREENERY



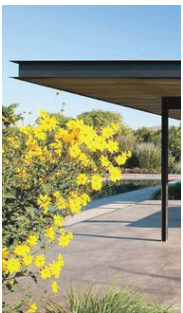
Privacy blades and fencing in  
CHAMPAGNE POWDERCOAT



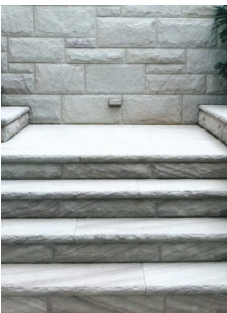
Champagne aluminium  
WINDOW FRAMES



Charcoal  
AWNING



Light-coloured  
SANDSTONE BASE



Off-white or light grey  
RENDERED BANDS



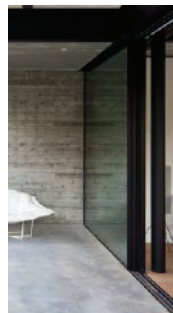
# EXTERNAL FINISHES BOARD

5 Commonwealth Parade, Manly  
Platform Architects  
2018.09.06

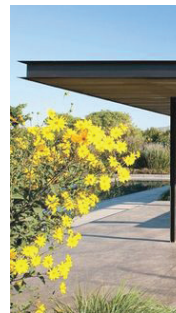
Artist impression



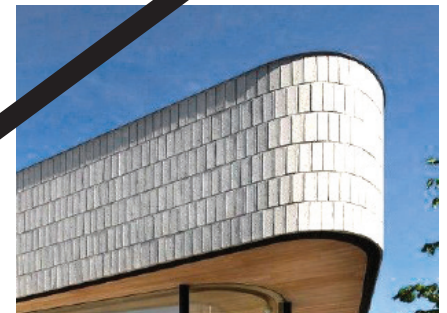
Charcoal powdercoated  
WINDOW FRAMES & ROOF



Light-coloured  
SANDSTONE BASE



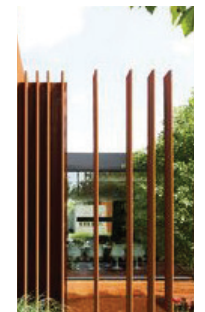
Off-white or light grey  
CURVED BRICKWORK OR TILES



Planters with  
CASCADING PLANTS & GREENERY



Privacy blades and fencing in  
REDDISH BROWN METAL or CORTEN



Roof cover  
ROUNDED PEBBLES



Terrace flooring  
NATURAL STONE



To lower floors  
LIGHT RENDER



To upper floor  
DARK RENDER



INSPIRATION



INSPIRATION

# EXTERNAL FINISHES BOARD

5 Commonwealth Parade, Manly  
Platform Architects  
2018.09.06

Soft edge  
CASCADING PLANTING



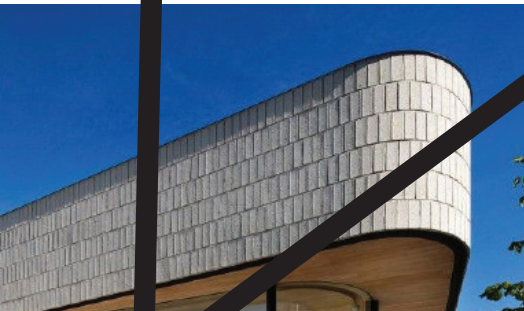
Reddish brown metal or corten  
PRIVACY BLADES & FENCING



Roof cover  
ROUNDED PEBBLES



Off-white or light grey  
CURVED BRICK WORK OR TILES



light-coloured  
SANDSTONE BASE



Charcoal  
METAL ROOF



Flooring  
NATURAL STONE



To lower floors  
LIGHT RENDER



To upper floor  
DARK RENDER



Soft edge  
CASCADING PLANTING



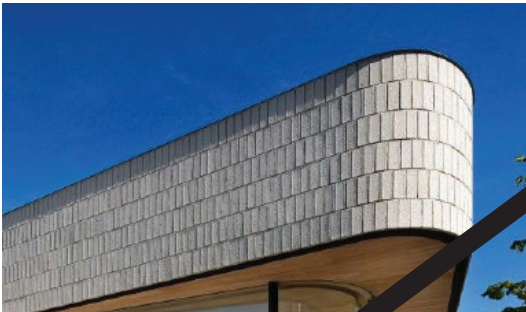
Reddish brown metal or corten  
PRIVACY BLADES & FENCING



Roof cover  
ROUNDED PEBBLES



Off-white or light grey  
CURVED BRICK WORK OR TILES



light-coloured  
SANDSTONE BASE



Charcoal  
METAL ROOF



Flooring  
NATURAL STONE



To lower floors  
LIGHT RENDER



To upper floor  
DARK RENDER

