## DOCUMENT TRANSMITTAL

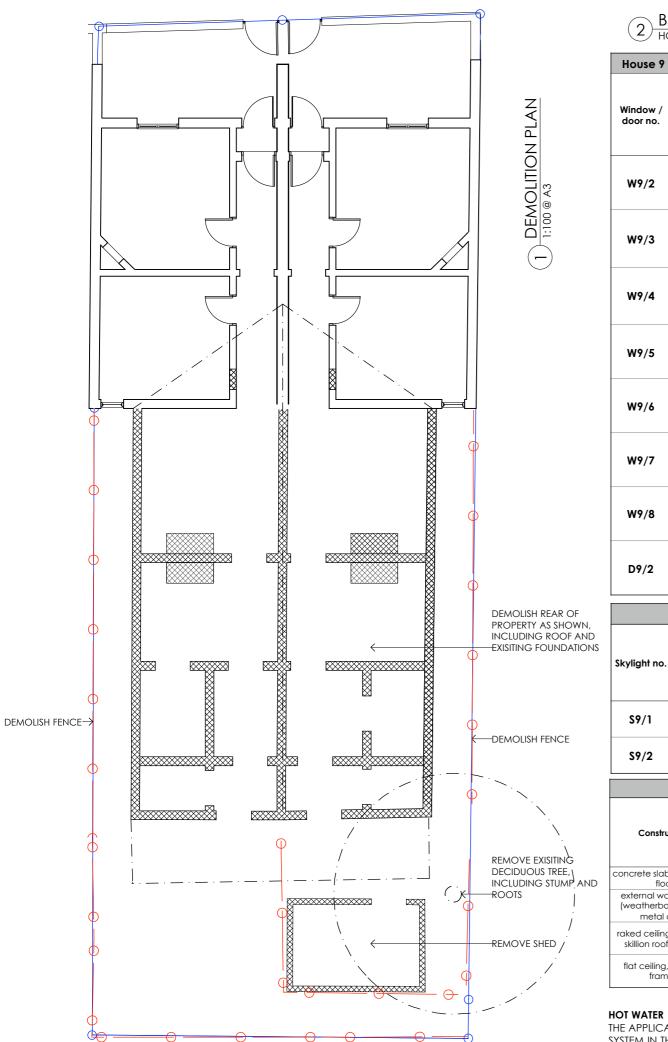
CLIENT: ADDRESS: DATE: ISSUED FOR:

SAMANTHA MORTON & CHARLIE HAYNES 9 & 11 DENISON STREET MANLY 1-Aug-19 FOR DA



MOBILE 0412 673 987 EMAIL samantha@korsa.com.au 16 Spring Cove Ave, Manly NSW 2095

NUMBER	DESCRIPTION	SCALE	ISSUE
	DOCUMENTS		
	PLANS		
00	DEMOLITION PLAN & BASIX REQUIREMENTS	1:100	В
01	UPPER & LOWER FLOOR PLANS	1:100	В
02	ROOF PLAN AND SECTIONS A, B & C	1:100	В
03	SECTION D & E	1:50	В
04	ELEVATIONS	1:100	В
05	LANDSCAPE PLAN	1:100	В
06	DENISON SITE ANALYSIS & PERSPECTIVES	1:200	В
07	DENISON SHADOW DIAGRAMS - 21 JUNE	1:200	В
08	08 DENISON SHADOW DIAGRAMS - EQUINOX	1:200	В
09	09 DENISON SHADOW DIAGRAMS - 21 DECEMBER	1:200	В
BASIX	HOUSE 9	A4	
BASIX	HOUSE 11	A4	
HERITAGE	B.4 SHI 9-11 Denison Street	A4	
SOEE	STATEMENT OF ENVIRONMENTAL EFFECTS - No 11 Denison Street Manly	A4	
SURVEY	N492 DENISON ST MANLY	1:100 @ A1	
STORMWATER	Stormwater Plans 190572 2019-06-20	1:100 @ A1	





House 9	Window	vs and	l alaze	d doors	alazina reg	quirements
1100367	Window	vs und	-	adowing	gluzing red	Joilemenis
Window / door no.	Orient ation	Area of glass inc. frame (m2)		Distance metres	Shading Device	Frame and Glass Tyupe
W9/2	S	1.29	0	0	none	timber or uPVC, single toned, (or U- value: 5.67, SHGC: 0.49)
W9/3	w	4.56	0	0	external louvre/ blind (adjustable )	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
W9/4	w	1.12	0	0	external louvre/ blind (adjustable )	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
W9/5	N	1.12	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
W9/6	N	1.12	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
W9/7	w	0.87	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
W9/8	S	1.31	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
D9/2	S	7.68	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)

	House 9 Skylights glazing requirements						
Skylight no.	Area of glass inc. frame (m2)	Shading Device	Frame and Glass Tyupe				
\$9/1	0.39	none	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)				
\$9/2	0.65	none	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)				
	House	e 9 Constructio	on				

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/ skillion roof: framed	ceiling: R0.74 (up), roof: foil backed blanket (100 mm)	medium (solar absorptanc 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R0.58 (up), roof: foil backed blanket (100 mm)	medium (solar absorptanc 0.475 - 0.70)

THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT: GAS INSTANTANEOUS.SEE 01/1 LOWER GROUND FLOOR PLAN



House 11	Windo	ws and	d glaze	ed doors
		Area	Oversh	adowing
Window / door no.	Orient ation	of glass inc. frame (m2)	Height metres	Distance metres
W11/2	S	1.29	0	0
W11/3	w	4.56	3.35	2.14
W11/4	w	1.12	3.35	2.14
W11/5	Ν	1.12	0	0
W11/6	Ν	1.12	0	0
W11/7	W	0.87	0	0
W11/8	S	1.31	0	0
D11/2	S	7.68	0	0

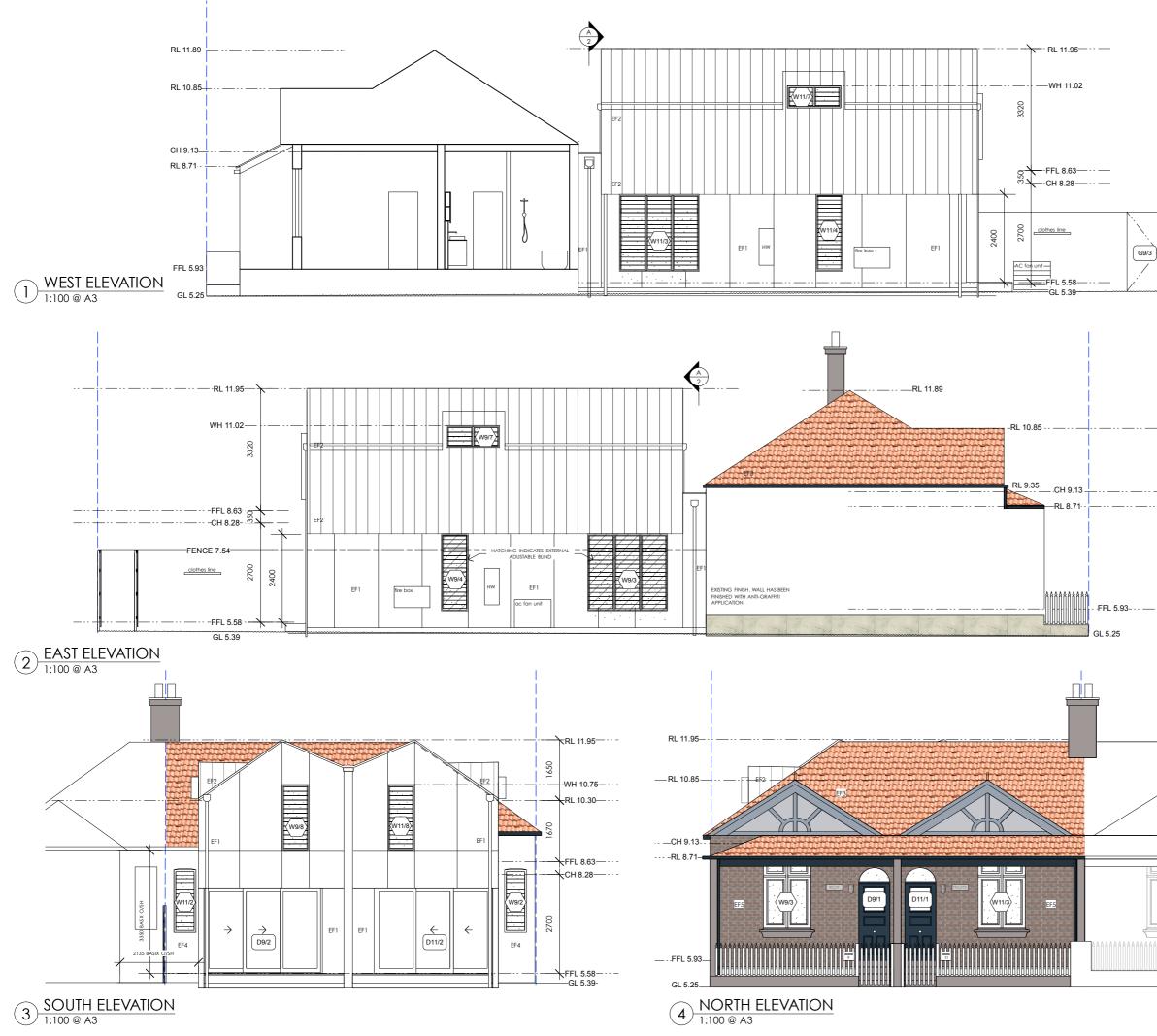
U HOUS						
House 11	Windo	ws an	d glaze	ed doors	glazing re	quirements
Window / door no.	Orient ation	Area of glass inc. frame (m2)		Distance metres	Shading Device	Frame and Glass Tyupe
W11/2	S	1.29	0	0	none	timber or uPVC, single toned, (or U- value: 5.67, SHGC: 0.49)
W11/3	w	4.56	3.35	2.14	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
W11/4	w	1.12	3.35	2.14	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
W11/5	Ν	1.12	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
W11/6	N	1.12	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
W11/7	w	0.87	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
W11/8	S	1.31	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
D11/2	S	7.68	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)
ŀ	louse	l 1 Sky	lights g	glazing r	equireme	nts
Skylight no.		of glas ame (m		Shading Device	Frame ar	nd Glass Tyupe
\$11/1	(	).39		none	fill, (or	ouble clear/air U-value: 4.3, GC: 0.5)
\$11/2	(	).65		none	fill, (or	ouble clear/air U-value: 4.3, GC: 0.5)
		Но	use 11 (	Constructi	on	
Constru	uction			insulation (R-value)	Other s	pecifications
concrete slat		nd	n	il		
external wo (weatherbo metal	ard, fibro	5, RT.3	constru			
raked ceiling skillion roof		d/ fo	oil backe (100		0.4	olar absorptance 75 - 0.70)
flat ceiling, fram				8 (up), roof: d blanket mm)	Inection (s	olar absorptance 75 - 0.70)

Construction	Additional insulation required (R-value)
concrete slab on ground floor	nil
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)
raked ceiling, pitched/ skillion roof: framed	ceiling: R0.74 (up), roof: foil backed blanket (100 mm)
flat ceiling, flat roof: framed	ceiling: R0.58 (up), roof: foil backed blanket (100 mm)

## HOT WATER

THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT: GAS INSTANTANEOUS. SEE 01/1 LOWER GROUND FLOOR PLAN

Issue	Description	Date
A B	FOR INFORMATION FOR DEVELOPMENT APPLICATION	23.03.2020 01.05.2020
	GENERAL LEGEND NEW PARTY WALL - TO AS 1530.4 60,	/60/60 FROM
	FOUNDATIONS TO ROOF, DOUBLE 92 WITH 30MM CAVITY FILLED WITH R3.5 9MM VILLABOARD AND THEN13MM PLASTERBOARD TO EACH SIDE	BATT, THEN FIRE RATED
	NEW WALL - EXTERNAL CLADDING, 5 STUD, R3.5 BATT, 13MM PLASTERBOAR THAN BASIX REQ. DUE TO ACOUSTIC	RD (GREATER REQ.)
_	NEW WALL - INTERNAL TIMBER STUD V WITH 13MM PLASTERBOARD EACH SI EXISITING DOUBLE BRICK WALL TO RE	IDE
~~~~~	EXISITING BRICK WALL TO BE DEMOL	SHED
	NEW ROOF FRAMING + R5.0HP BATT FOIL + EF2 (SEE BELOW) (GREATER TH DUE TO ACOUSTIC REQ.) EXISITING FENCE TO BE REMOVED AI	IAN BASIX REG
	BOUNDARY LINE EXISITING	
(W9/1) (D9/1)	WINDOW ID REFER TO WINDOW SCH EXTERIOR DOOR ID REFER TO DOOR	
G9/2	EXTERIOR GATE ID REFER TO DOOR S	CHEDULE
EF1	EXTERIOR FINISH - PAINTED JH MATRIX FIBRE CEMENT + 19MM SCYON CAVI EXTERIOR FINISH - COLORBOND ENSI	ty trim
EF2 EF3	19MM PLYWOOD SUBSTRATE - SURFM EXTERIOR FINISH - NEW CLAY TILE	
EF4	EXTERIOR FINISH - EXISITING BAGGED	RENDER
EF5 Design	EXTERIOR FINISH - EXISITING BRICKFA	CE
Design Ku SAM/		CE
Design Ku SAM/ 0412		CE
Design Ko SAMA 0412 samc Client CHA	ORSA	CE
Design Ku SAM/ 0412 samc Client CHA SAM	Pr ORSA ANTHA MORTON BSC (ARCH) 673 987 Intha@korsa.com.au ARLIE HAYNES AND ANTHA MORTON	
Design SAMU 0412 samc Client CHA SAM Project DEV ALTE	Pr ORSA ANTHA MORTON BSC (ARCH) 673 987 Intha@korsa.com.au ARLIE HAYNES AND ANTHA MORTON	DN FOR DNS TO
Design SAMWO 0412 Samc Client CHA SAM Project DEV ALTE EXIS	ANTHA MORTON BSC (ARCH) 673 987 Initha@korsa.com.au ARLIE HAYNES AND IANTHA MORTON ELOPMENT APPLICATION ELOPMENT APPLICATION RATIONS AND ADDITION TING DUAL OCCUPAN O STRATA TITLE SUBDIVIS O (2) LOTS WITHIN THE S	DN FOR DNS TO CY
Design SAMU Od12 Samc Client CHA SAM Project DEV ALTE EXIS SAM CHA SAM LOT: SITE LOT: NO. 2095	ARLIE HAYNES AND ANTHA MORTON BSC (ARCH) 673 987 Initha@korsa.com.au ARLIE HAYNES AND ANTHA MORTON ELOPMENT APPLICATION ELOPMENT APPLICATION FRATA TITLE SUBDIVIS O (2) LOTS WITHIN THE SO OF: 1 DP: 965161 11 DENISON STREET, M	DN FOR DNS TO CY SION INT SUBJECT
Design Ko SAMU Od12 Samu Client CHA SAM Project DEV ALTE EXIS' ANE EXIS' ANE LOT: NO. 2095 Title	ARLIE HAYNES AND ANTHA MORTON BSC (ARCH) 673 987 Initha@korsa.com.au ARLIE HAYNES AND ANTHA MORTON ELOPMENT APPLICATION ELOPMENT APPLICATION FRATA TITLE SUBDIVIS O (2) LOTS WITHIN THE SO OF: 1 DP: 965161 11 DENISON STREET, M	DN FOR DNS TO CY HON INT SUBJECT HANLY,
Design SAMW Client Client Client DEV ALTE EXIS ANLE EXIS ANLE TWC SITE LOT: NO. 2095 Title Drawin	ANTHA MORTON BSC (ARCH) 673 987 Intha@korsa.com.au ARLIE HAYNES AND IANTHA MORTON ELOPMENT APPLICATION ELOPMENT APPLICATION ELOPMENT APPLICATION ELOPMENT APPLICATION ING DUAL OCCUPAN OSTRATA TITLE SUBDIVIS 0 (2) LOTS WITHIN THE SO OF: 1 DP: 965161 11 DENISON STREET, M DEMOLITION PLA ASIX REQUIREM 9 NO. 00	DN FOR DNS TO CY HON INT SUBJECT HANLY, AN & HENTS
Design SAMWO 0412 Samc Client CLIENT CHA SAM Project DEV ALTE EXIS' ANE TWO SITE LOT: NO. 2095 Title Drawin Drawin Scale	ARLIE HAYNES AND ANTHA MORTON BSC (ARCH) 673 987 Initha@korsa.com.au ARLIE HAYNES AND ANTHA MORTON ELOPMENT APPLICATION ELOPMENT APPLICATION RATIONS AND ADDITION FING DUAL OCCUPAN O STRATA TITLE SUBDIVIS O (2) LOTS WITHIN THE S O (3) LOTS WITHIN THE S O (4) LOTS WITHIN	DN FOR DNS TO CY HON INT SUBJECT HANLY, AN & IENTS



DUE TO ACOUSTIC REG.) EXISITING FENCE TO BE REMOVED AND REPLACED BOUNDARY LINE EXISITING WIGH WINDOW ID REFER TO WINDOW SCHEDULE DBH EXTERIOR DOOR ID REFER TO DOOR SCHEDULE G92 EXTERIOR GATE ID REFER TO DOOR SCHEDULE EF1 EXTERIOR FINISH - PAINTED JH MATRIX BMM FIBRE CEMENT + 19MM SCYON CAVITY TRIM	Issue	Description	Date
NEW PARTY WALL - TO AS 1530.4 60/60/60 FROM FOUNDATIONS TO ROOF, DOUBLE 92MM STUD WITH 30MM CAVITY FILLED WITH 73.5 BATT, THEN 9MM VILLABOARD AND THEN 13MM FIRE RATED PLASTERBOARD TO EACH SIDE     NEW WALL - STERBOARD CACUTY CRU, DIAL     NEW WALL - STERBOARD CO CACUSTIC REQ.)     NEW WALL - INTERNAL CLADDING, 92MM TIMBER STUD, 78.3 S BATT, 13MM PLASTERBOARD (GREATER THAN BASIX REQ. DUE TO ACOUSTIC REQ.)     NEW WALL - INTERNAL TIMBER STUD WALL WITH 13MM PLASTERBOARD EACH SIDE     EXISITING DOUBLE BRICK WALL TO REMAIN     EXISTING BRICK WALL TO BE DEMOLISHED     NEW ROOF FRAMING + R5.0HP BATT + INTERNAL FOUL + EF2 (SEE BELOW) (GREATER THAN BASIX REQ. DUE TO ACOUSTIC REQ.)     WIND WID REFER TO WINDOW SCHEDULE     BOUNDARY LINE EXISTING     WINDOW ID REFER TO WINDOW SCHEDULE     G92   EXTERIOR GATE ID REFER TO DOOR SCHEDULE     EF1   EXTERIOR FINISH - PAINTED JH MATRX 8MM HBRE CEMENT + 19MM SCYON CAVITY TRIM			
EF2 EXTERIOR FINISH - COLORBOND ENSEAM ON   19Mm PIYWOOD SUBTRATE - SUPRIMIT   EF3 EXTERIOR FINISH - NEW CLAY TILE   EF4 EXTERIOR FINISH - EXISITING BAGGED RENDER   EF5 EXTERIOR FINISH - EXISITING BRICKFACE	(W91) (992) EF1 EF2 EF3 EF4	NEW PARTY WALL - TO AS 1530.4 60, FOUNDATIONS TO ROOF, DOUBLE 92 WITH 30MM CAVITY FILLED WITH R3.5 9MM VILLABOARD AND THEN13MM PLASTERBOARD TO EACH SIDE NEW WALL - EXTERNAL CLADDING, 9 STUD, R3.5 BATT, 13MM PLASTERBOAR THAN BASIX REQ. DUE TO ACOUSTIC NEW WALL - INTERNAL TIMBER STUD Y WITH 13MM PLASTERBOARD EACH SI EXISITING DOUBLE BRICK WALL TO RE EXISITING DOUBLE BRICK WALL TO RE EXISITING BRICK WALL TO BE DEMOLI NEW ROOF FRAMING + R5.0HP BATT FOIL + EP2 (SEE BELOW) (GREATER TH DUE TO ACOUSTIC REQ.) EXISITING FENCE TO BE REMOVED AN BOUNDARY LINE EXISITING WINDOW ID REFER TO WINDOW SCH EXTERIOR GATE ID REFER TO DOOR EXTERIOR GATE ID REFER TO DOOR S EXTERIOR FINISH - PAINTED JH MATRIN FIBRE CEMENT + 19MM SCYON CAVI EXTERIOR FINISH - COLORBOND ENSI 19MM PLYWOOD SUBSTRATE - SURFW EXTERIOR FINISH - NEW CLAY TILE EXTERIOR FINISH - NEW CLAY TILE EXTERIOR FINISH - NEW CLAY TILE	MMM STUD BART, THEN FIRE RATED 22MM TIMBER RD (GREATER REQ.) WALL DE 5MAIN SHED + INTERNAL IAN BASIX REQ. ND REPLACED REDULE SCHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE CHEDULE
	SAM/ 0412	ANTHA MORTON BSC (ARCH) 673 987	
KORSA SAMANTHA MORTON BSC (ARCH) 0412 673 987	Client	antha@korsa.com.au	
SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au			
SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au	Project	ł	
SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au Client CHARLIE HAYNES AND	DEV	ELOPMENT APPLICATIO	ON FOR:
SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au Client CHARLIE HAYNES AND SAMANTHA MORTON			
SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au Client CHARLIE HAYNES AND SAMANTHA MORTON	TWC	) (2) LOTS WITHIN THE S	
SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au Client CHARLIE HAYNES AND SAMANTHA MORTON Project DEVELOPMENT APPLICATION FOR: ALTERATIONS AND ADDITIONS TO EXISTING DUAL OCCUPANCY	NO.	11 DENISON STREET, N	IANLY,
SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au Client CHARLIE HAYNES AND SAMANTHA MORTON Project DEVELOPMENT APPLICATION FOR: ALTERATIONS AND ADDITIONS TO EXISTING DUAL OCCUPANCY AND STRATA TITLE SUBDIVISION INTO TWO (2) LOTS WITHIN THE SUBJECT SITE OF: LOT: 1 DP: 965161 NO. 11 DENISON STREET, MANLY, 2095		elevations	
SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au Client CHARLIE HAYNES AND SAMANTHA MORTON Project DEVELOPMENT APPLICATION FOR: ALTERATIONS AND ADDITIONS TO EXISTING DUAL OCCUPANCY AND STRATA TITLE SUBDIVISION INTO TWO (2) LOTS WITHIN THE SUBJECT SITE OF: LOT: 1 DP: 965161 NO. 11 DENISON STREET, MANLY, 2095	Drawin	ig No. 04 Issue	B
SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au Client CHARLIE HAYNES AND SAMANTHA MORTON Project DEVELOPMENT APPLICATION FOR: ALTERATIONS AND ADDITIONS TO EXISTING DUAL OCCUPANCY AND STRATA TITLE SUBDIVISION INTO TWO (2) LOTS WITHIN THE SUBJECT SITE OF: LOT: 1 DP: 965161 NO. 11 DENISON STREET, MANLY, 2095 Title ELEVATIONS		see label A3	wing Size
SAMANTHA MORTON BSC (ARCH) 0412 673 987   samantha@korsa.com.au   Client   CHARLIE HAYNES AND SAMANTHA MORTON   Project   DEVELOPMENT APPLICATION FOR:   ALTERATIONS AND ADDITIONS TO EXISTING DUAL OCCUPANCY   AND STRATA TITLE SUBDIVISION INTO TWO (2) LOTS WITHIN THE SUBJECT SITE OF:   LOT: 1 DP: 965161 NO. 11 DENISON STREET, MANLY, 2095   Title   ELEVATIONS   Drawing No. 04   Issue Scale Drawing Size A3	Project	t No. Date Drav 01.05.19	wn By
SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au Client CHARLIE HAYNES AND SAMANTHA MORTON Project DEVELOPMENT APPLICATION FOR: ALTERATIONS AND ADDITIONS TO EXISTING DUAL OCCUPANCY AND STRATA TITLE SUBDIVISION INTO TWO (2) LOTS WITHIN THE SUBJECT SITE OF: LOT: 1 DP: 965161 NO. 11 DENISON STREET, MANLY, 2095 Title ELEVATIONS Drawing No. 04 Issue B Scale Drawing Size See Iabel A3 Project No. Date Drawn By	FOR	DEVELOPMENT	

APPLICATION

G9/3 G11/3





LAWN - SYNTHETIC LAWN ILLUSION DECK

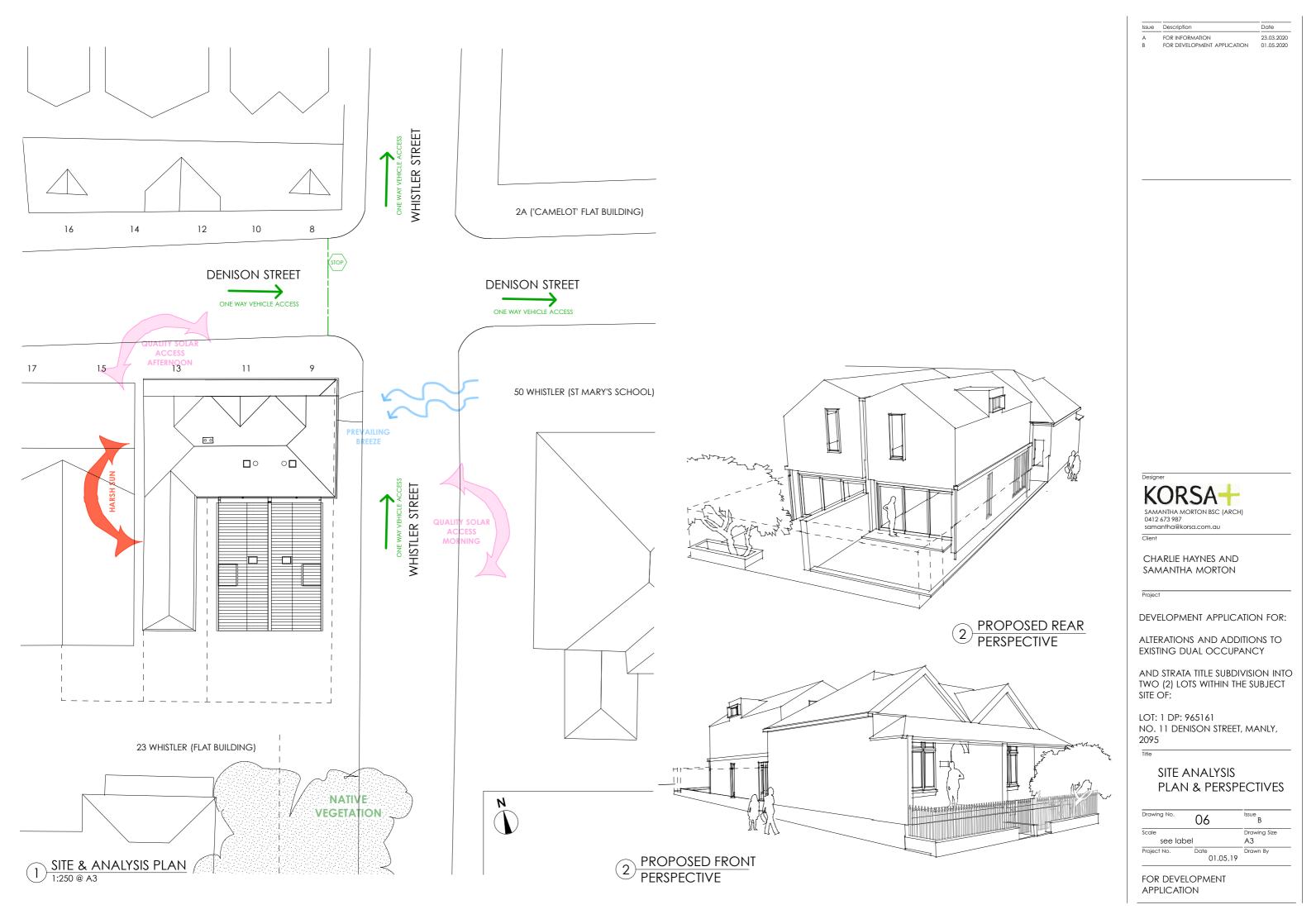
SIDE PASSAGEWAY FENCE PLANTING DRAINAGE

MAINTAIN FRANGIPANI TREES

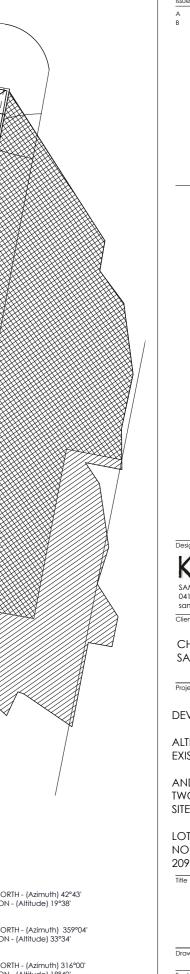
PICKET FENCE

PORCH TILES

А	Description	Date
В	FOR INFORMATION FOR DEVELOPMENT APPLICATION	23.03.2020 01.05.2020
Design	-	
K		
SAMA 0412	ORSA	
SAMA 0412 sama Client	ORSA INTHA MORTON BSC (ARCH) 673 987 ntha@korsa .com.au ARLIE HAYNES AND	
SAMA 0412 sama Client	ORSA INTHA MORTON BSC (ARCH) 673 987 ntha@korsa .com.au ARLIE HAYNES AND ANTHA MORTON	
SAMA 0412 sama Client CHA SAM Project DEV	ORSA INTHA MORTON BSC (ARCH) 673 987 ntha@korsa .com.au ARLIE HAYNES AND MANTHA MORTON t ELOPMENT APPLICATI	
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SAMA O412 sama Client CHA SAM Project DEV ALTE EXIST	ORSA INITHA MORTON BSC (ARCH) 673 987 ntha@korsa .com.au ARLIE HAYNES AND ANTHA MORTON T ELOPMENT APPLICATI ING DUAL OCCUPAN O STRATA TITLE SUBDIVI O (2) LOTS WITHIN THE	ons to VCY SION INT(
SAMA O412 sama Client CHA SAM Project DEV ALTE EXIST AND TWC SITE LOT:	ORSA INITIA MORTON BSC (ARCH) 673 987 ntha@korsa .com.au ARLIE HAYNES AND AANTHA MORTON T ELOPMENT APPLICATI ERATIONS AND ADDITI TING DUAL OCCUPAN O STRATA TITLE SUBDIVI O (2) LOTS WITHIN THE OF: 1 DP: 965161 11 DENISON STREET, 1	ons to VCY SION INTO SUBJECT
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Client CHA SAN Project DEV ALTE EXIST AND TWC SITE LOT: NO. 2095 Title	ORSA INITIA MORTON BSC (ARCH) 673 987 ntha@korsa .com.au ARLIE HAYNES AND AANTHA MORTON T ELOPMENT APPLICATI ERATIONS AND ADDITI TING DUAL OCCUPAN O STRATA TITLE SUBDIVI O (2) LOTS WITHIN THE OF: 1 DP: 965161 11 DENISON STREET, 1	ons to NCY SION INTO SUBJECT MANLY,
Client CHA SAM Client CHA SAM Projec: DEV ALTE EXIS AND TWC SITE LOT: NO. 2095 Title	ARLIE HAYNES AND AANTHA MORTON BSC (ARCH) 673 987 Intha@korsa .com.au ARLIE HAYNES AND AANTHA MORTON ELOPMENT APPLICATI ERATIONS AND ADDITI TING DUAL OCCUPAN O STRATA TITLE SUBDIVI O (2) LOTS WITHIN THE OF: 1 DP: 965161 11 DENISON STREET, 1 5	ons to NCY SION INTO SUBJECT MANLY,
Client CHA SAM Client CHA SAM Project DEV ALTE EXIS <sup>2</sup> AND SITE LOT: NO. 2095 Title Drawir	ARLIE HAYNES AND ANTHA MORTON BSC (ARCH) 673 987 Inha@korsa .com.au ARLIE HAYNES AND ANTHA MORTON F ELOPMENT APPLICATI RATIONS AND ADDITI TING DUAL OCCUPAN O STRATA TITLE SUBDIVI O (2) LOTS WITHIN THE OF: 1 DP: 965161 11 DENISON STREET, 1 5 LANDSCAPE PLA	ONS TO NCY SION INTO SUBJECT MANLY, N N ue B awingSize 3
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Issue Description Date FOR INFORMATION 23.03.2020 A FOR INFORMATION B FOR DEVELOPMENT APPLICATION 01.05.2020



SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au Client

CHARLIE HAYNES AND SAMANTHA MORTON

Project

DEVELOPMENT APPLICATION FOR:

ALTERATIONS AND ADDITIONS TO EXISTING DUAL OCCUPANCY

AND STRATA TITLE SUBDIVISION INTO TWO (2) LOTS WITHIN THE SUBJECT SITE OF:

LOT: 1 DP: 965161 NO. 11 DENISON STREET, MANLY, 2095

> SHADOW DIAGRAMS WINTER SOLTICE 21 JUNE

Drawing No. Issue B 07 Drawing Size Scale see label

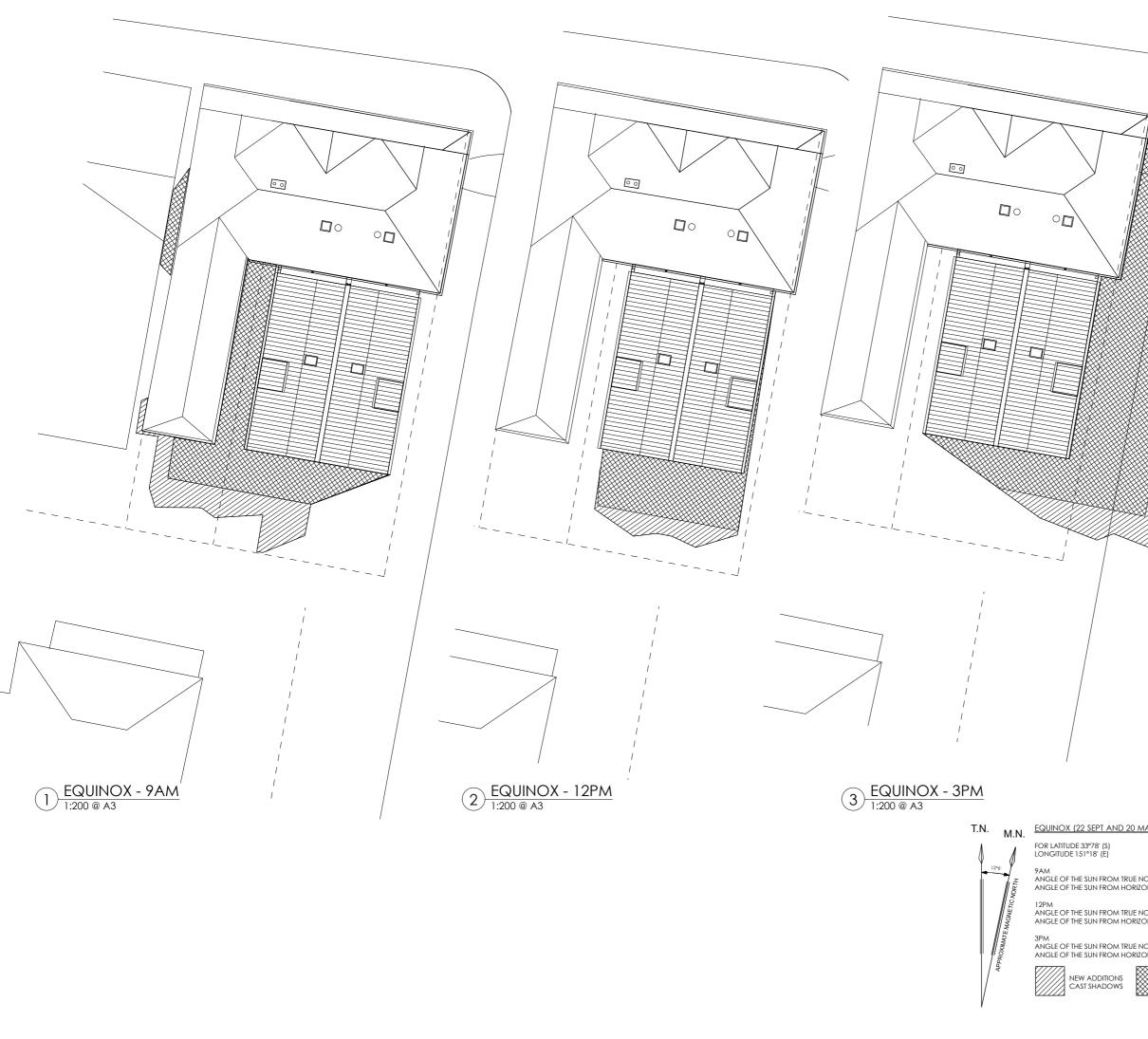
Project No. Date 01.05.19

Drawn By

FOR DEVELOPMENT APPLICATION



EXISITING DWELLING CAST SHADOWS



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JE NORTH - (Azimuth) 354°14' )RIZON - (Altitude) 56°05'	D
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EXISITING DWELLING CAST SHADOWS	Pi

Issue	Description	Date
A B	FOR INFORMATION FOR DEVELOPMENT APPLICATION	23.03.2020
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0412	ANTHA MORTON BSC (ARCH) 673 987	
Client	antha@korsa.com.au	

Charlie haynes and Samantha morton

Project

DEVELOPMENT APPLICATION FOR:

ALTERATIONS AND ADDITIONS TO EXISTING DUAL OCCUPANCY

AND STRATA TITLE SUBDIVISION INTO TWO (2) LOTS WITHIN THE SUBJECT SITE OF:

LOT: 1 DP: 965161 NO. 11 DENISON STREET, MANLY, 2095

SHADOW DIAGRAMS EQUINOX MARCH AND SEPT

Drawing No.	08	Issue B
Scale		Drawing Size
see label		A3
Project No.	Date	Drawn By
	01.05	.19

FOR DEVELOPMENT APPLICATION







EXISITING DWELLING CAST SHADOWS

Issue	Description	Date
A	FOR INFORMATION	23.03.2020
B	FOR DEVELOPMENT APPLICATION	01.05.2020



SAMANTHA MORTON BSC (ARCH) 0412 673 987 samantha@korsa.com.au Client

CHARLIE HAYNES AND SAMANTHA MORTON

Project

DEVELOPMENT APPLICATION FOR:

ALTERATIONS AND ADDITIONS TO EXISTING DUAL OCCUPANCY

AND STRATA TITLE SUBDIVISION INTO TWO (2) LOTS WITHIN THE SUBJECT SITE OF:

LOT: 1 DP: 965161 NO. 11 DENISON STREET, MANLY, 2095 Title

> SHADOW DIAGRAMS SUMMER SOLTICE 21 DECEMBER

Drawing No.	09	Issue B
Scale	Drawing Size	
see lat	bel	A3
Project No.	Date	Drawn By
	01.05	5.19

FOR DEVELOPMENT APPLICATION