
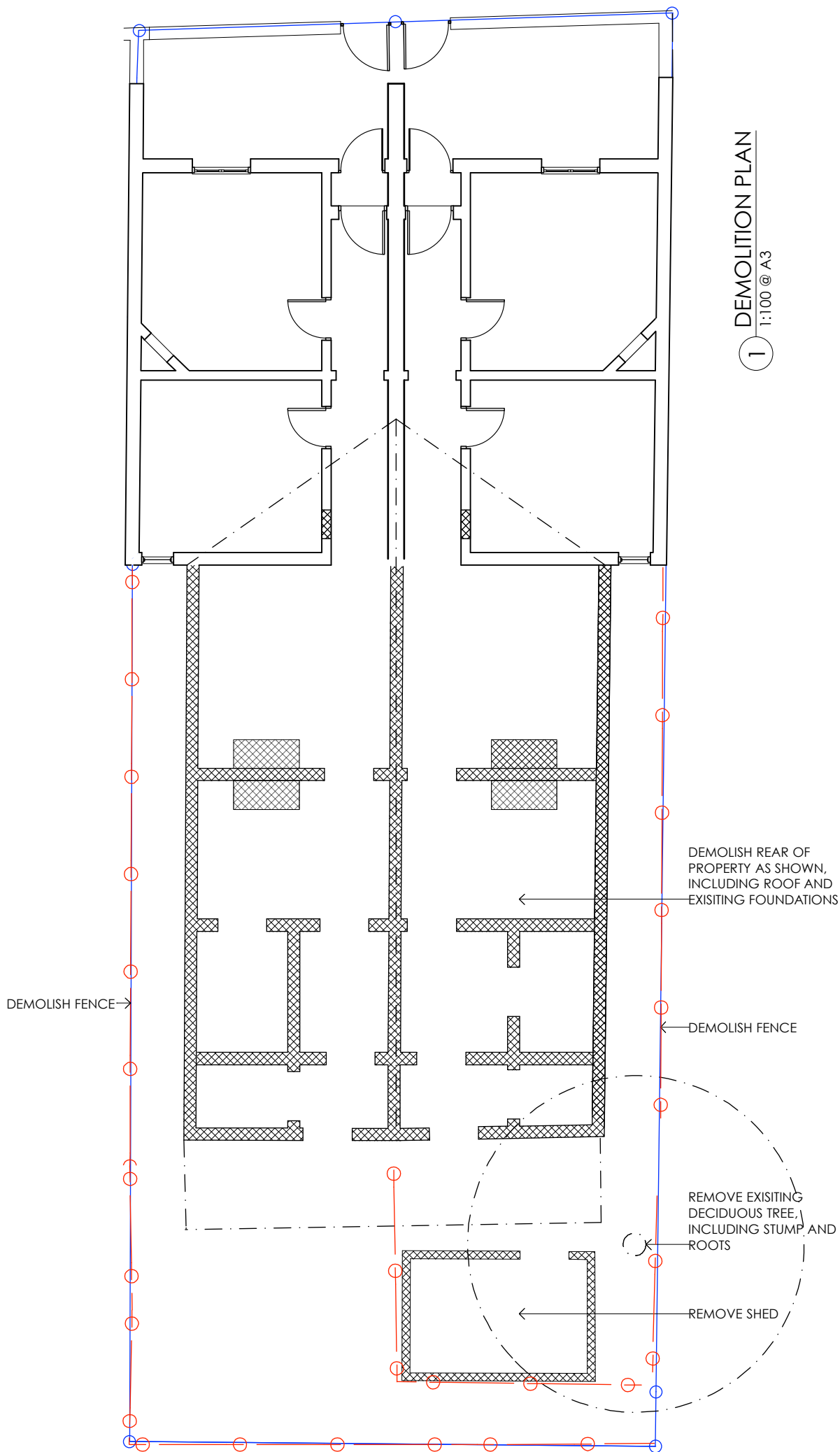


<b>DOCUMENT TRANSMITTAL</b>			
CLIENT:	SAMANTHA MORTON & CHARLIE HAYNES	MOBILE 0412 673 987	
ADDRESS:	9 & 11 DENISON STREET MANLY	EMAIL samantha@korsa.com.au	
DATE:	1-Aug-19	16 Spring Cove Ave, Manly NSW 2095	
ISSUED FOR:	FOR DA		
NUMBER	DESCRIPTION	SCALE	ISSUE
<b>DOCUMENTS</b>			
	<b>PLANS</b>		
<b>00</b>	DEMOLITION PLAN & BASIX REQUIREMENTS	1:100	B
<b>01</b>	UPPER & LOWER FLOOR PLANS	1:100	B
<b>02</b>	ROOF PLAN AND SECTIONS A, B & C	1:100	B
<b>03</b>	SECTION D & E	1:50	B
<b>04</b>	ELEVATIONS	1:100	B
<b>05</b>	LANDSCAPE PLAN	1:100	B
<b>06</b>	DENISON SITE ANALYSIS & PERSPECTIVES	1:200	B
<b>07</b>	DENISON SHADOW DIAGRAMS - 21 JUNE	1:200	B
<b>08</b>	08 DENISON SHADOW DIAGRAMS - EQUINOX	1:200	B
<b>09</b>	09 DENISON SHADOW DIAGRAMS - 21 DECEMBER	1:200	B
<b>BASIX</b>	HOUSE 9	A4	
<b>BASIX</b>	HOUSE 11	A4	
<b>HERITAGE</b>	B.4 SHI 9-11 Denison Street	A4	
<b>SOEE</b>	STATEMENT OF ENVIRONMENTAL EFFECTS - No 11 Denison Street Manly	A4	
<b>SURVEY</b>	N492 DENISON ST MANLY	1:100 @ A1	
<b>STORMWATER</b>	Stormwater Plans 190572 2019-06-20	1:100 @ A1	



2 BASIX REQUIREMENTS  
HOUSE 9

House 9 Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading Device	Frame and Glass Tyupe
			Height metres	Distance metres		
W9/2	S	1.29	0	0	none	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W9/3	W	4.56	0	0	external louvre/ blind (adjustable)	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W9/4	W	1.12	0	0	external louvre/ blind (adjustable)	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W9/5	N	1.12	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W9/6	N	1.12	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W9/7	W	0.87	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W9/8	S	1.31	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D9/2	S	7.68	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

House 9 Skylights glazing requirements			
Skylight no.	Area of glass inc. frame (m2)	Shading Device	Frame and Glass Tyupe
S9/1	0.39	none	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
S9/2	0.65	none	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

House 9 Construction		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/ skillion roof: framed	ceiling: R0.74 (up), roof: foil backed blanket (100 mm)	medium (solar absorptance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R0.58 (up), roof: foil backed blanket (100 mm)	medium (solar absorptance 0.475 - 0.70)

**HOT WATER**  
THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT: GAS INSTANTANEOUS . SEE 01/1 LOWER GROUND FLOOR PLAN

3 BASIX REQUIREMENTS  
HOUSE 11

House 11 Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading Device	Frame and Glass Tyupe
			Height metres	Distance metres		
W11/2	S	1.29	0	0	none	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W11/3	W	4.56	3.35	2.14	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W11/4	W	1.12	3.35	2.14	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W11/5	N	1.12	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W11/6	N	1.12	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W11/7	W	0.87	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W11/8	S	1.31	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D11/2	S	7.68	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

House 11 Skylights glazing requirements			
Skylight no.	Area of glass inc. frame (m2)	Shading Device	Frame and Glass Tyupe
S11/1	0.39	none	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
S11/2	0.65	none	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

House 11 Construction		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/ skillion roof: framed	ceiling: R0.74 (up), roof: foil backed blanket (100 mm)	medium (solar absorptance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R0.58 (up), roof: foil backed blanket (100 mm)	medium (solar absorptance 0.475 - 0.70)

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Issue	Description	Date
A	FOR INFORMATION	23.03.2020
B	FOR DEVELOPMENT APPLICATION	01.05.2020

- GENERAL LEGEND**
- NEW PARTY WALL - TO AS 1530.4 60/60/60 FROM FOUNDATIONS TO ROOF, DOUBLE 92MM STUD WITH 30MM CAVITY FILLED WITH R3.5 BATT, THEN 9MM VILLABOARD AND THEN 13MM FIRE RATED PLASTERBOARD TO EACH SIDE
  - NEW WALL - EXTERNAL CLADDING: 92MM TIMBER STUD, R3.5 BATT, 13MM PLASTERBOARD (GREATER THAN BASIX REQ. DUE TO ACOUSTIC REQ.)
  - NEW WALL - INTERNAL TIMBER STUD WALL WITH 13MM PLASTERBOARD EACH SIDE
  - EXISTING DOUBLE BRICK WALL TO REMAIN
  - EXISTING BRICK WALL TO BE DEMOLISHED
  - NEW ROOF FRAMING + R5.0HP BATT + INTERNAL FOIL + EF2 (SEE BELOW) (GREATER THAN BASIX REQ. DUE TO ACOUSTIC REQ.)
  - EXISTING FENCE TO BE REMOVED AND REPLACED
  - BOUNDARY LINE EXISTING
- W9/1 WINDOW ID REFER TO WINDOW SCHEDULE  
D9/1 EXTERIOR DOOR ID REFER TO DOOR SCHEDULE  
G9/2 EXTERIOR GATE ID REFER TO DOOR SCHEDULE
- EF1 EXTERIOR FINISH - PAINTED JH MATRIX 8MM FIBRE CEMENT + 19MM SCYON CAVITY TRIM  
EF2 EXTERIOR FINISH - COLORBOND ENSEAM ON 19MM PLYWOOD SUBSTRATE - SURFMAST  
EF3 EXTERIOR FINISH - NEW CLAY TILE  
EF4 EXTERIOR FINISH - EXISTING BAGGED RENDER  
EF5 EXTERIOR FINISH - EXISTING BRICKFACE

Designer  
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Project  
DEVELOPMENT APPLICATION FOR:

ALTERATIONS AND ADDITIONS TO  
EXISTING DUAL OCCUPANCY

AND STRATA TITLE SUBDIVISION INTO  
TWO (2) LOTS WITHIN THE SUBJECT  
SITE OF:

LOT: 1 DP: 965161  
NO. 11 DENISON STREET, MANLY,  
2095

Title

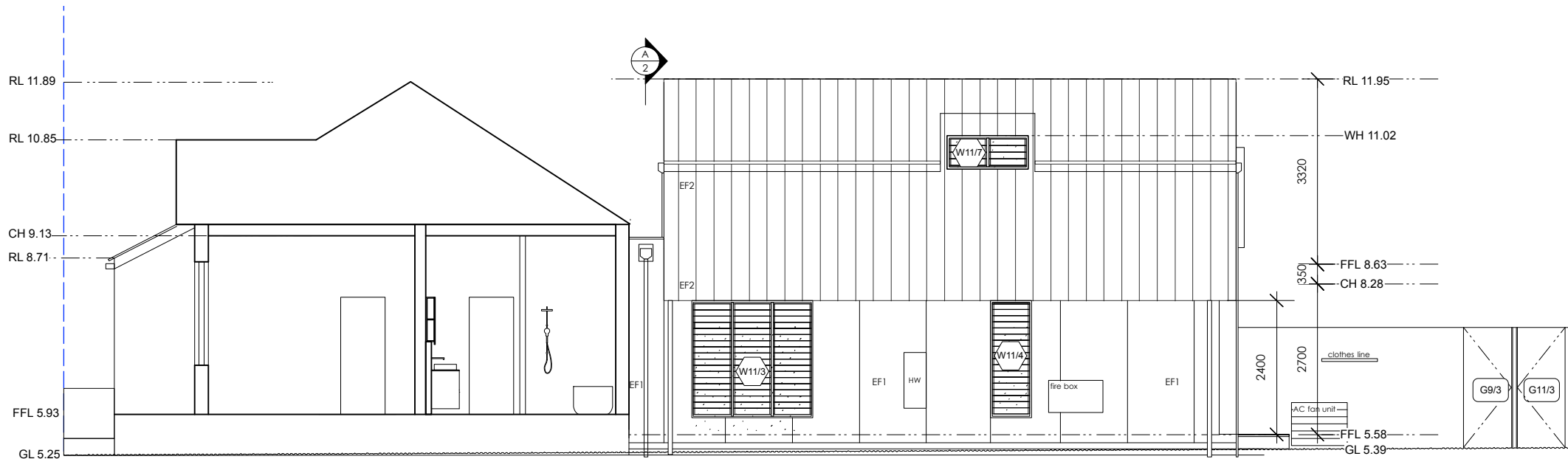
DEMOLITION PLAN &  
BASIX REQUIREMENTS

Drawing No.	00	Issue	B
Scale	see label	Drawing Size	A3
Project No.		Date	01.05.19
		Drawn By	

FOR DEVELOPMENT  
APPLICATION



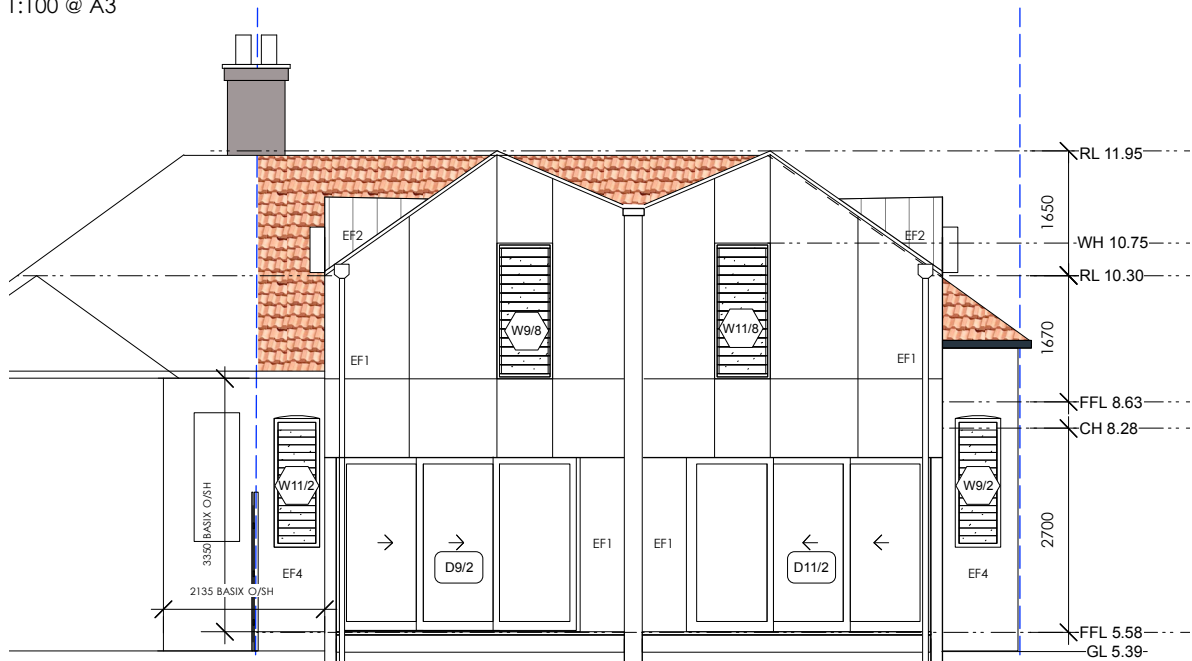
1 WEST ELEVATION  
1:100 @ A3



2 EAST ELEVATION  
1:100 @ A3



3 SOUTH ELEVATION  
1:100 @ A3



4 NORTH ELEVATION  
1:100 @ A3



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- EF5 EXTERIOR FINISH - EXISTING BRICKFACE

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LOT: 1 DP: 965161  
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#### ELEVATIONS

Drawing No.	04	Issue	B
Scale	see label	Drawing Size	A3
Project No.		Date	01.05.19

FOR DEVELOPMENT  
APPLICATION



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1:100 @ A3



DECK



## FENCE PLANTING



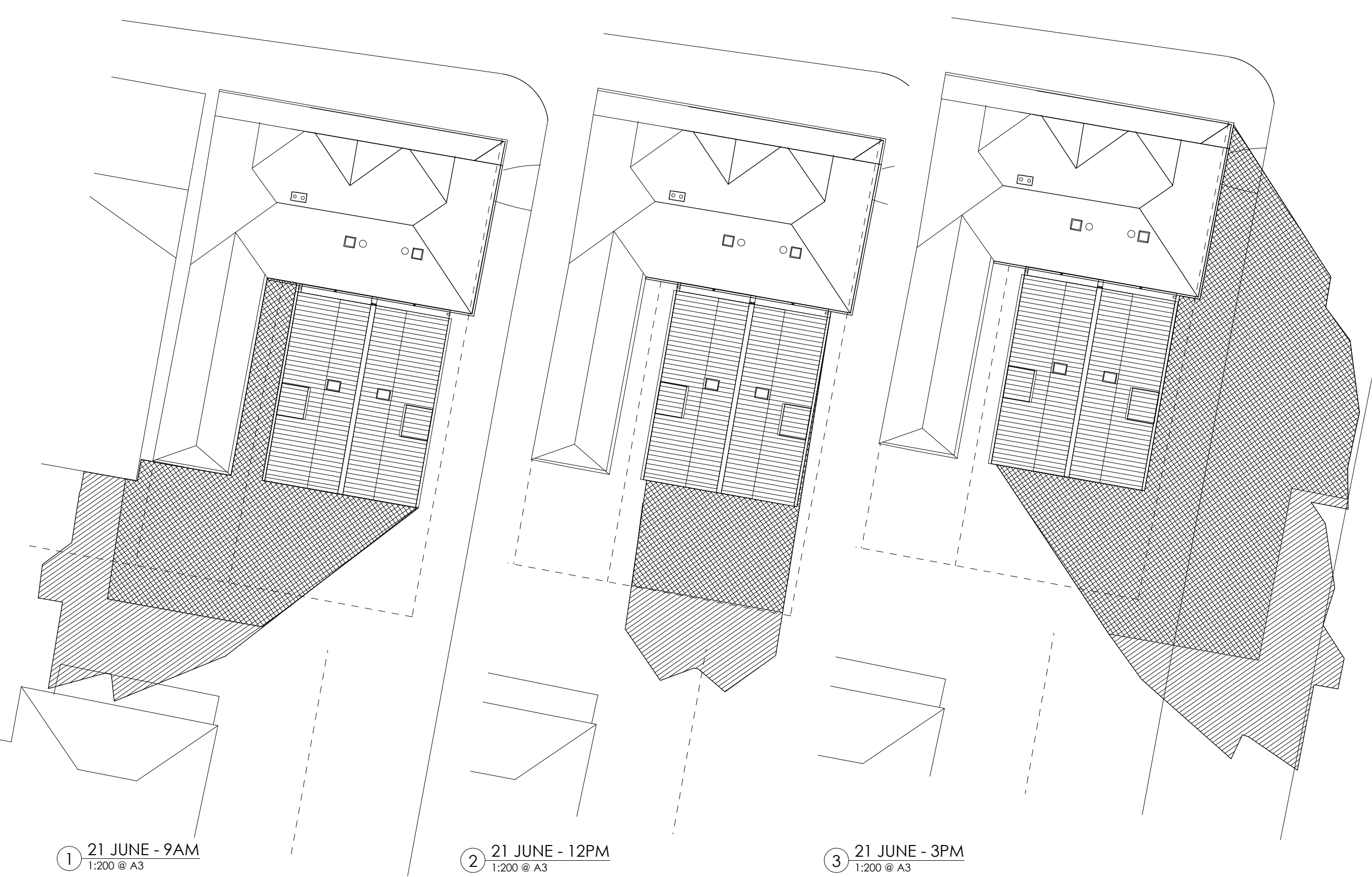
## PICKET FENCE



## PORCH TILES



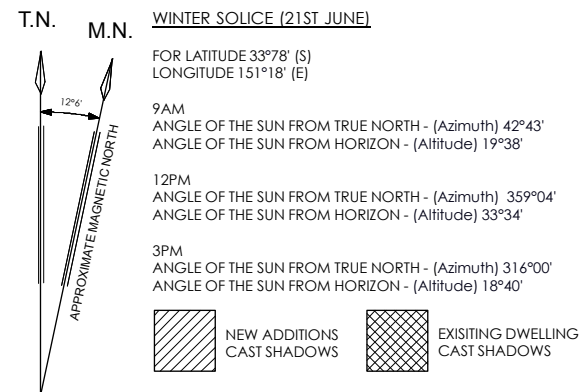




① 21 JUNE - 9AM  
1:200 @ A3

② 21 JUNE - 12PM  
1:200 @ A3

③ 21 JUNE - 3PM  
1:200 @ A3



Issue	Description	Date
A	FOR INFORMATION	23.03.2020
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NO. 11 DENISON STREET, MANLY,  
2095

Title  
**SHADOW DIAGRAMS  
WINTER SOLTICE  
21 JUNE**

Drawing No.	07	Issue	B
Scale	see label	Drawing Size	A3
Project No.		Date	01.05.19
		Drawn By	

FOR DEVELOPMENT  
APPLICATION

Issue	Description	Date
A	FOR INFORMATION	23.03.2020
B	FOR DEVELOPMENT APPLICATION	01.05.2020

Designer  
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SITE OF:

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2095

Title  
**SHADOW DIAGRAMS  
EQUINOX  
MARCH AND SEPT**

Drawing No.	08	Issue	B
Scale	see label	Drawing Size	A3
Project No.	Date	Drawn By	01.05.19

FOR DEVELOPMENT  
APPLICATION

1 EQUINOX - 9AM  
1:200 @ A3

2 EQUINOX - 12PM  
1:200 @ A3

3 EQUINOX - 3PM  
1:200 @ A3

