

BOWER STREET

34 BOWER STREET

32 BOWER STREET

BOWER STREET RESERVE

- Wall to be built on the edge of the footing
- Proposed Pedestrian Entry Gate by Architect
- Semi-Permeable Fence on wall by Architect Fence
- Reinstate verge
- Proposed *Glochidion ferdinandi*
- Side Entry from Bower Street
- Stone wall retaining and boulders
- Wall and Gate By Architect
- Stone Paving by Architect
- Retain Existing
- Boundary Wall / Fence

- Screen planting
- Lawn
- Trees and Shrub Planting to Boundary for Screening and Privacy
- Proposed *Ficus rubiginosa*

- Palms at Varying Heights to Assist with Screening and Privacy of Pool Area
- Proposed *Livistona australis*
- Pool and pool gate and fence by Architects
- Screen planting

- Planting to roof
- Retain Existing Boundary Wall / Fence

- Climbers to Boundary fence to provide screening and Privacy

- Lawn for Recreational Outdoor Space with Beachfront Views
- Spa, Pool, fence and gate by Architects

- Existing Boulders to be Retained
- Proposed *Glochidion ferdinandi*

Screen planting

Driveway by Architects

Fence to Reserve Interface
Semi-Permeable Fence by Architect
With Bandicoot access at base
150mm high and 300m wide, and at
minimum intervals of 2 metres.

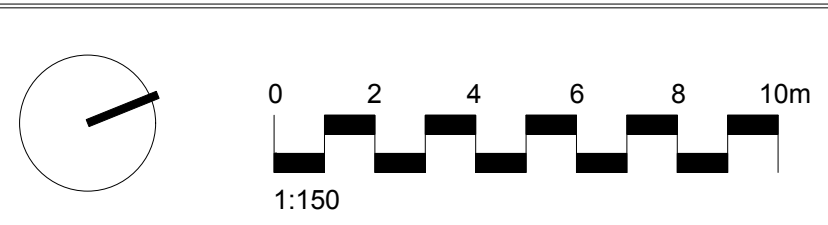
Main Pedestrian Stair Entry

Stone Steppers

- Trees and Shrub Planting to Boundary for Screening and Privacy
- Proposed *Livistona australis*
- Fence to Reserve Interface
Semi-Permeable Fence by Architect
With Bandicoot access at base
150mm high and 300m wide, and at
minimum intervals of 2 metres.

S4.55
NOT FOR CONSTRUCTION

Rev	Amendment	Date	By
A	S4.55 Issue	22/02/23	DS
B	S4.55 Revised	05/09/24	CB
C	S4.55 Revised	06/12/24	CB



IMPORTANT NOTES:
 1. This drawing is for information only.
 2. All dimensions are to be taken from the center of the object unless otherwise stated.
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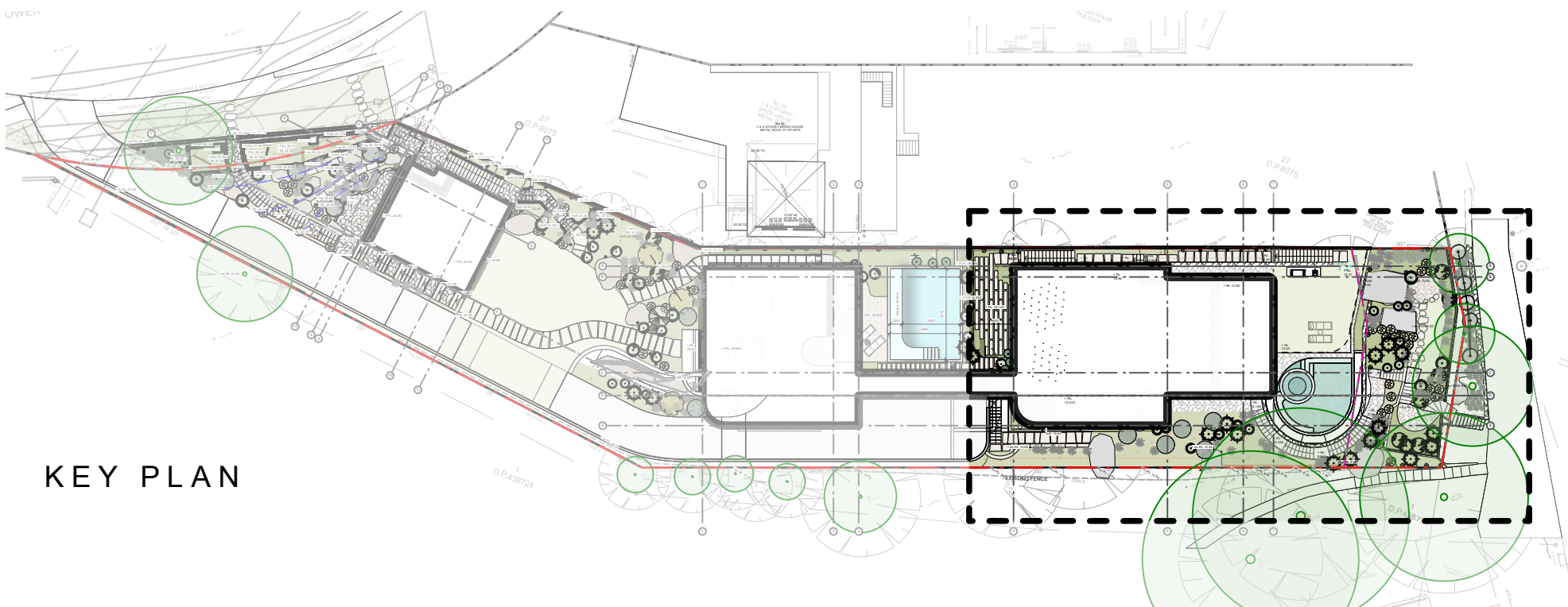
CLIENT I've Got Time Group	CHECKED GD
ARCHITECT Eaton Molina	DRAWN CB
SCALE 1:150	STAGE S4.55

DWG. TITLE
Landscape Plan - Masterplan

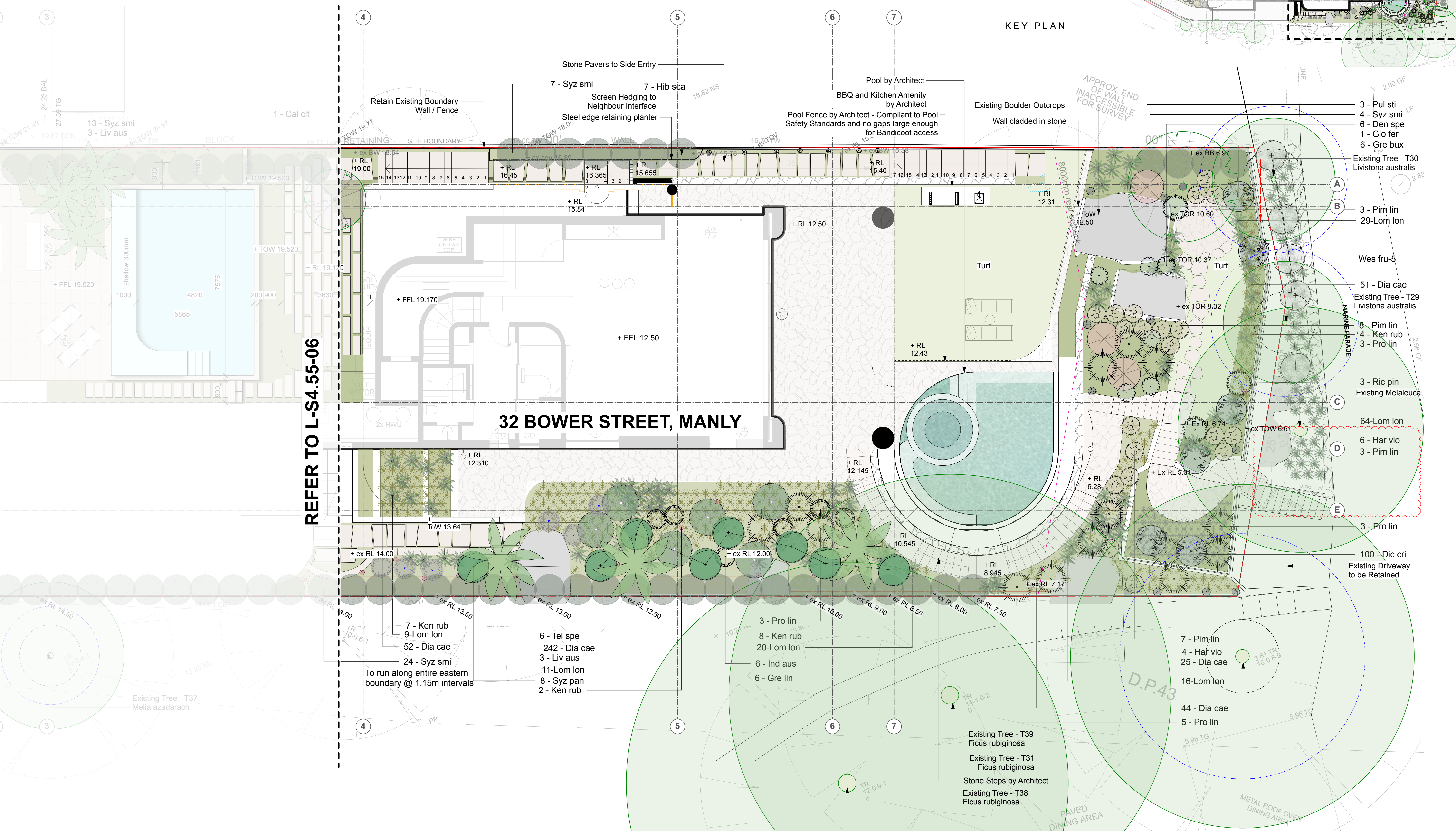
PROJECT
32 Bower St - Manly

360°
 Level 1, 1 Mary's Place
 Surry Hills, 2010
 P 02 9332 3601
 W 360.net.au
 ABN 90 146 901 322

L-S4.55-04



KEY PLAN



REFER TO L-S4.55-06

32 BOWER STREET, MANLY

7 - Ken rub
9 - Lom lon
52 - Dia cae
24 - Syz smi
To run along entire eastern boundary @ 1.15m intervals

6 - Tel spe
2242 - Dia cae
3 - Liv aus
11 - Lom lon
8 - Syz pan
2 - Ken rub

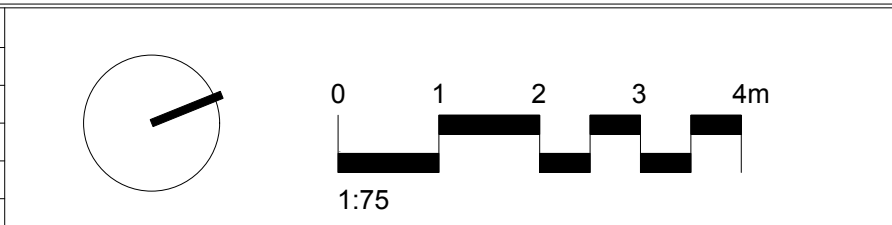
3 - Pro lin
8 - Ken rub
20 - Lom lon
6 - Ind aus
6 - Gre lin

7 - Pim lin
4 - Har vio
25 - Dia cae
16 - Lom lon
44 - Dia cae
5 - Pro lin

- 3 - Pul sti
- 4 - Syz smi
- 6 - Den spe
- 1 - Glo fer
- 6 - Gre bux
- Existing Tree - T30
Livistona australis
- 3 - Pim lin
- 29 - Lom lon
- Wes fru-5
- 51 - Dia cae
- Existing Tree - T29
Livistona australis
- 8 - Pim lin
- 4 - Ken rub
- 3 - Pro lin
- 3 - Ric pin
- Existing Melaleuca
- 64 - Lom lon
- 6 - Har vio
- 3 - Pim lin
- 3 - Pro lin
- 100 - Dic cri
- Existing Driveway
to be Retained

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IMPORTANT NOTES:
 1. This drawing is for the use of the client and is not to be used for any other purpose.
 2. All dimensions are in millimeters unless otherwise stated.
 3. All work shall be carried out in accordance with the Australian Standards and local Government Regulations.
 4. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities.
 5. The client is responsible for ensuring that the site is suitable for the proposed works.
 6. The client is responsible for ensuring that the site is protected from any potential damage during the works.
 7. The client is responsible for ensuring that the site is returned to its original condition after the works are completed.
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CLIENT I've Got Time Group	CHECKED GD
ARCHITECT Eaton Molina	DRAWN CB
SCALE 1:75	SIZE A1

DWG. TITLE Landscape Plan - Level 1
PROJECT 32 Bower St - Manly

360°
 Level 1, 1 Mary's Place
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L-S4.55-05

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