

General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS, DOCUMENTATION AND COORDINATE WITH OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.

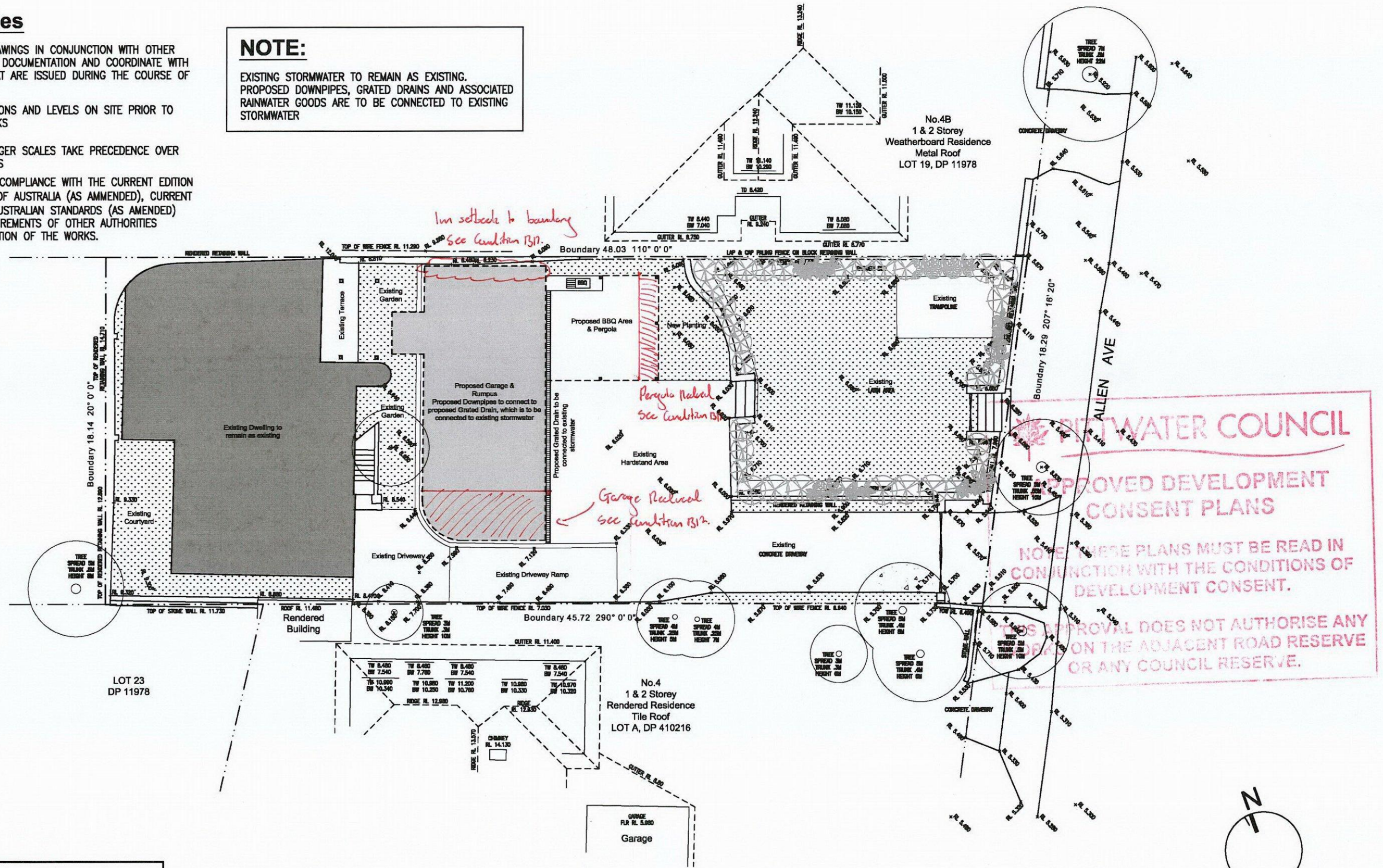
VERIFY SET-OUT DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS

DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS

EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) AND THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

NOTE:

EXISTING STORMWATER TO REMAIN AS EXISTING. PROPOSED DOWNPIPES, GRATED DRAINS AND ASSOCIATED RAINWATER GOODS ARE TO BE CONNECTED TO EXISTING STORMWATER



Development Application

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Do not scale from drawings.

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Amendments		By	Date
Issue	Description		
A	DEVELOPMENT APPLICATION ISSUED TO COUNCIL	BH	DEC 2015

BH Designs
Building Design & Drafting Services

ABN: 80 356 936 642
Mob: 0418 218 341
Email: brendan@bhdesigns.com.au

Project **No.4 Allen Avenue, Bilgola Beach**

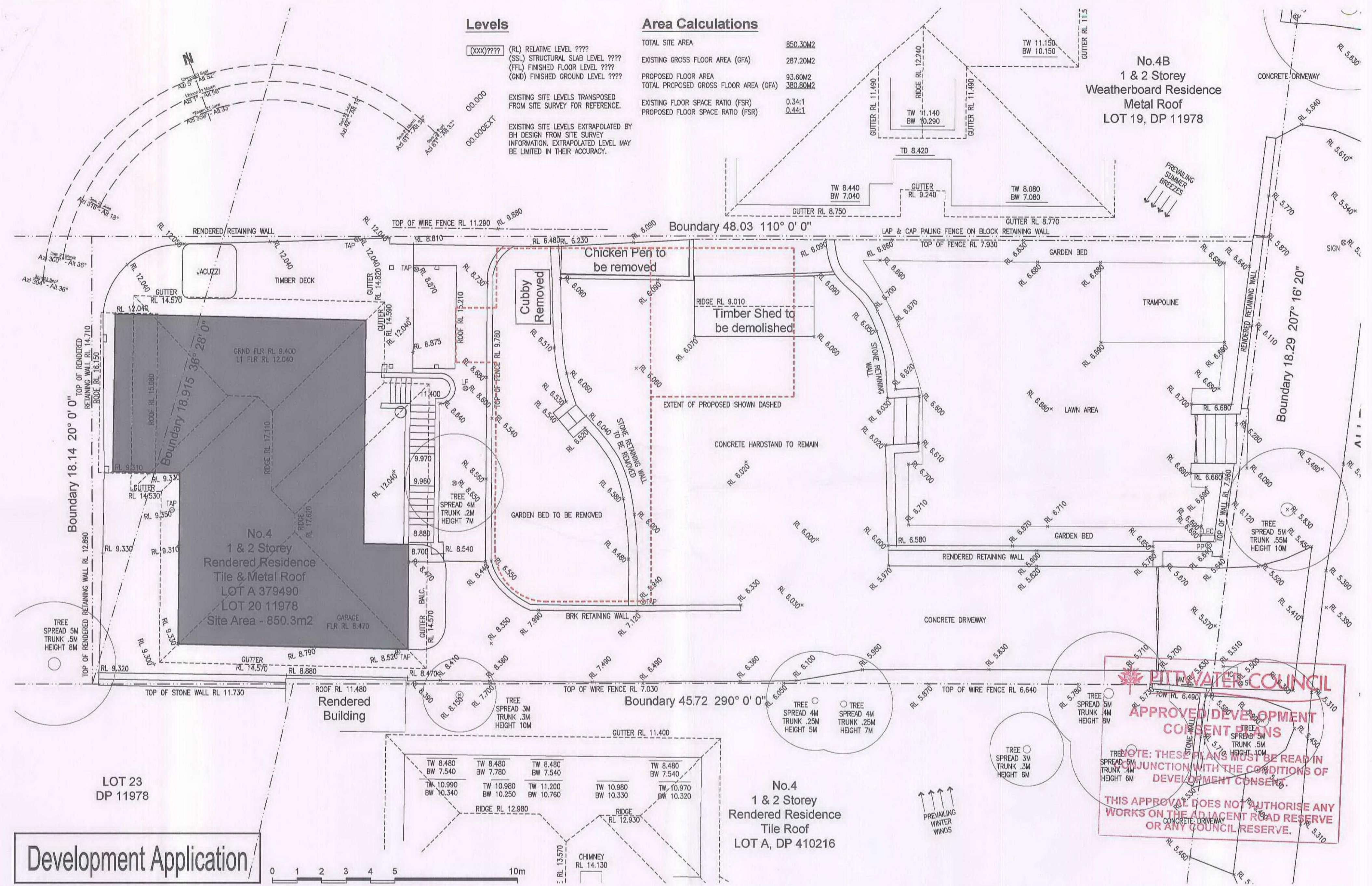
Client **Wehbe Residence**

Drawing **Proposed Landscape & Stormwater Plan**

Date **April 2016**

Scale **1:200@A3** Drawn by **bh**

Drawing # **1509/DA-14** Issue **B**



Levels

(RL) RELATIVE LEVEL ????
 (SSL) STRUCTURAL SLAB LEVEL ????
 (FFL) FINISHED FLOOR LEVEL ????
 (GND) FINISHED GROUND LEVEL ????
 EXISTING SITE LEVELS TRANSPOSED FROM SITE SURVEY FOR REFERENCE.
 EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION. EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

Area Calculations

TOTAL SITE AREA 850.30M2
 EXISTING GROSS FLOOR AREA (GFA) 287.20M2
 PROPOSED FLOOR AREA 33.60M2
 TOTAL PROPOSED GROSS FLOOR AREA (GFA) 320.80M2
 EXISTING FLOOR SPACE RATIO (FSR) 0.34:1
 PROPOSED FLOOR SPACE RATIO (FSR) 0.44:1

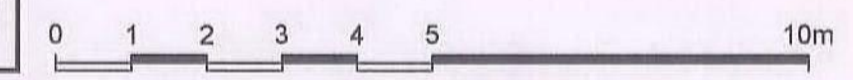
No.4B
 1 & 2 Storey
 Weatherboard Residence
 Metal Roof
 LOT 19, DP 11978

No.4
 1 & 2 Storey
 Rended Residence
 Tile & Metal Roof
 LOT A 379490
 Site Area - 850.3m2

No.4
 1 & 2 Storey
 Rended Residence
 Tile Roof
 LOT A, DP 410216

PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT
 NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.
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Development Application



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 Building Design & Drafting Services
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 Mob: 04 9 210 341
 Email: bhdesigns@bhdesigns.com.au

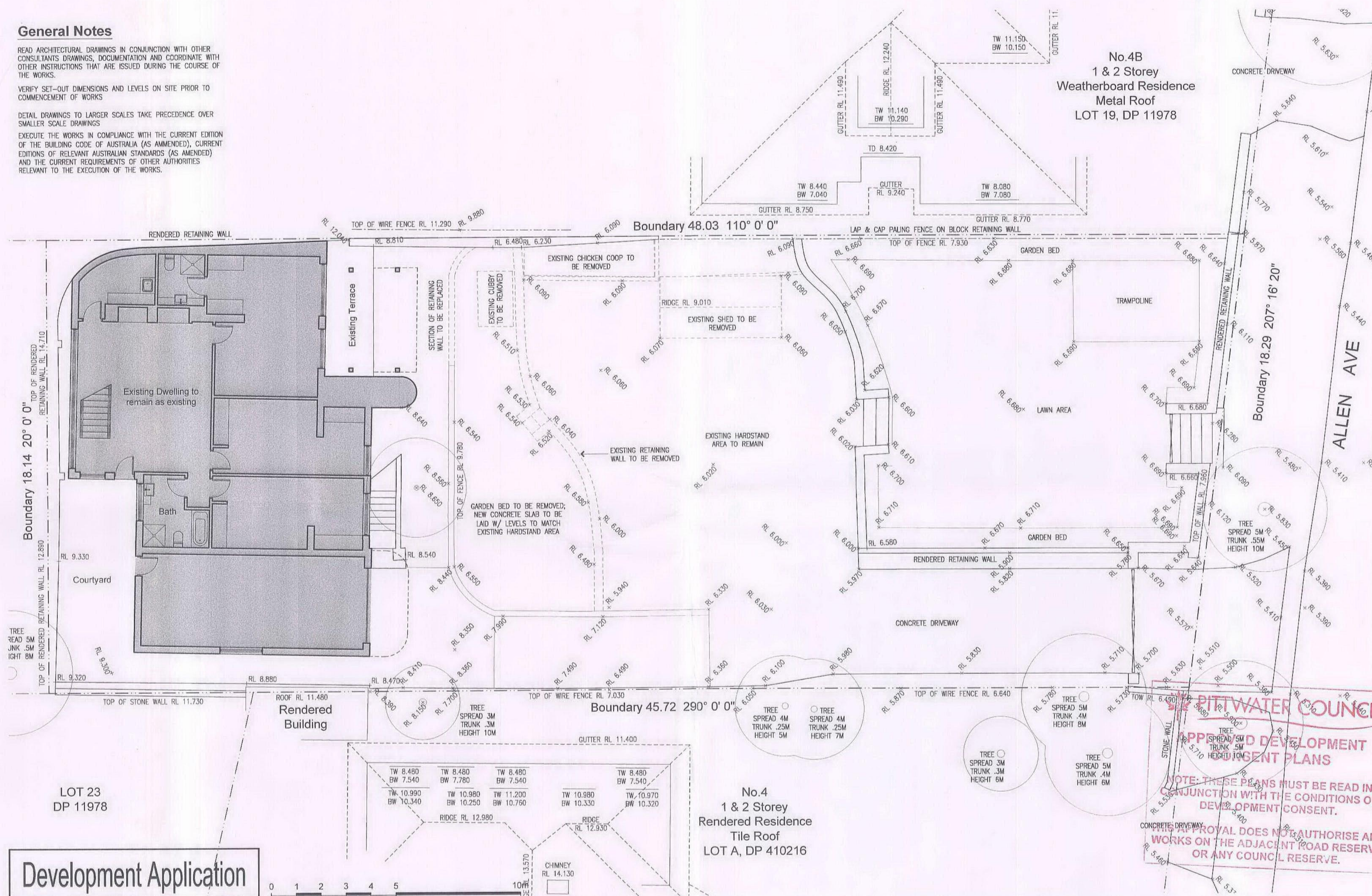
PROJECT TITLE
 Alterations & Additions to Existing Dwelling
 CLIENT
 Wehbe Residence

ADDRESS
 No.4 Allen Avenue,
 Bilgola Beach

SCALE
 1:100 @ A2
 DATE
 December 2015
 DRAWN
 BH
 CHECKED
 DRAWING NO.
 1509/DA-01
 ISSUE
 A

General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS, DOCUMENTATION AND COORDINATE WITH OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.
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A	DEVELOPMENT APPLICATION ISSUED TO COUNCIL		BH	DEC 2015

BH Designs
 Building Design & Drafting Services
 ABRN 60 269 036 042
 MAB 0418 218 541
 Email: bhdesigns@bhdesigns.com.au

PROJECT TITLE:
 Alterations & Additions to Existing Dwelling
 CLIENT:
 Wehbe Residence

ADDRESS:
 No.4 Allen Avenue
 Bilgola Beach
 DRAWING TITLE:
 Existing Ground Floor Plan

SCALE:
 1:100 @ A2
 DATE:
 December 2015
 DRAWN:
 bh
 CHECKED:
 DRAWING NO:
 1509/DA-02
 ISSUE:
 A

PITWATER COUNCIL
 APPROVED DEVELOPMENT
 CONSENT PLANS
 NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.
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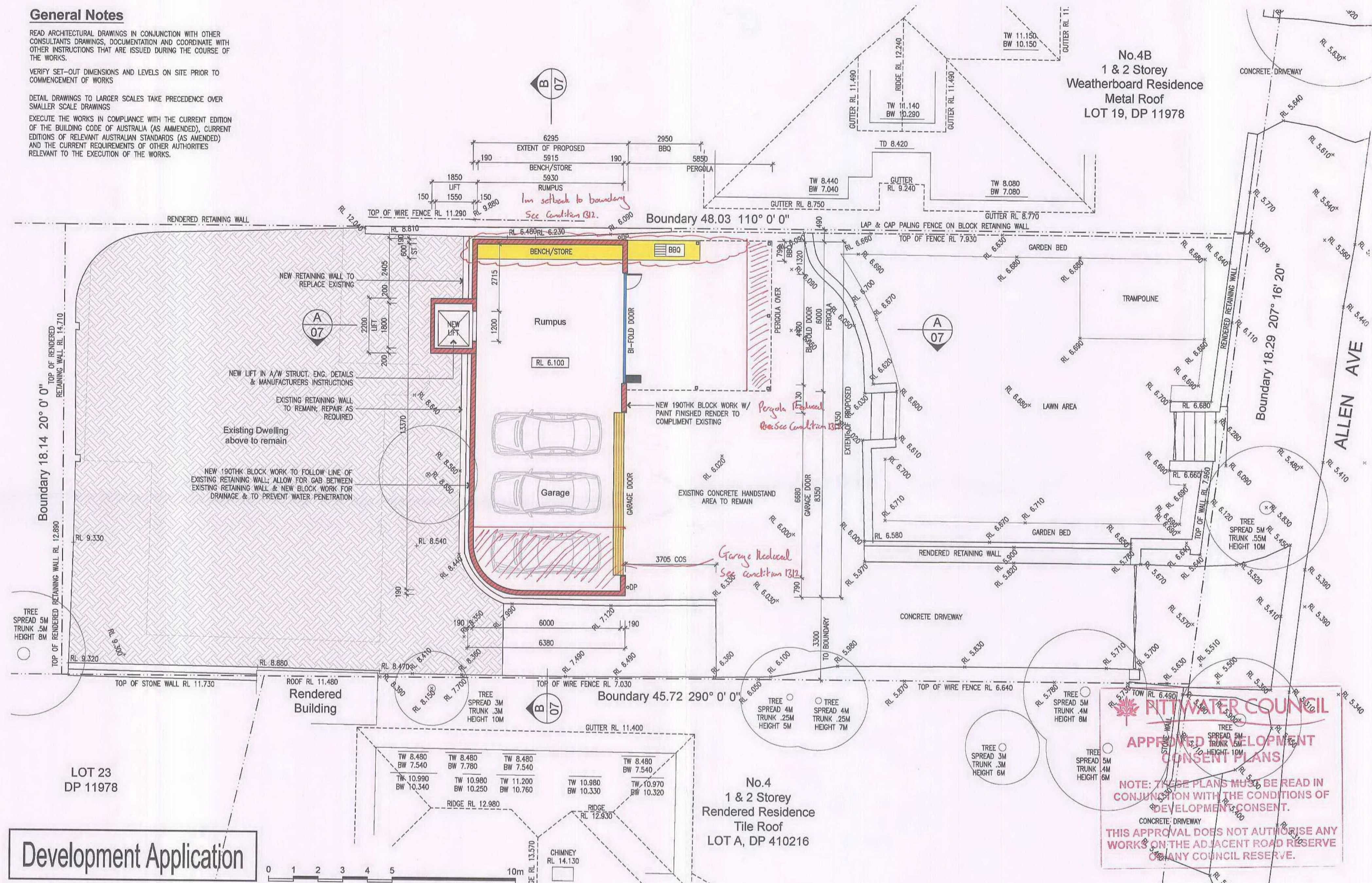
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Issue	Description	By	Date
A	DEVELOPMENT APPLICATION ISSUED TO COUNCIL	BH	DEC 2015

BH Designs
Building Design & Drafting Services
ABN: 80 306 936 642
Mob: 0418 218 341
Email: bhdesigns@bhdesigns.com.au

PROJECT TITLE
Alterations & Additions to Existing Dwelling
CLIENT:
Wehbe Residence

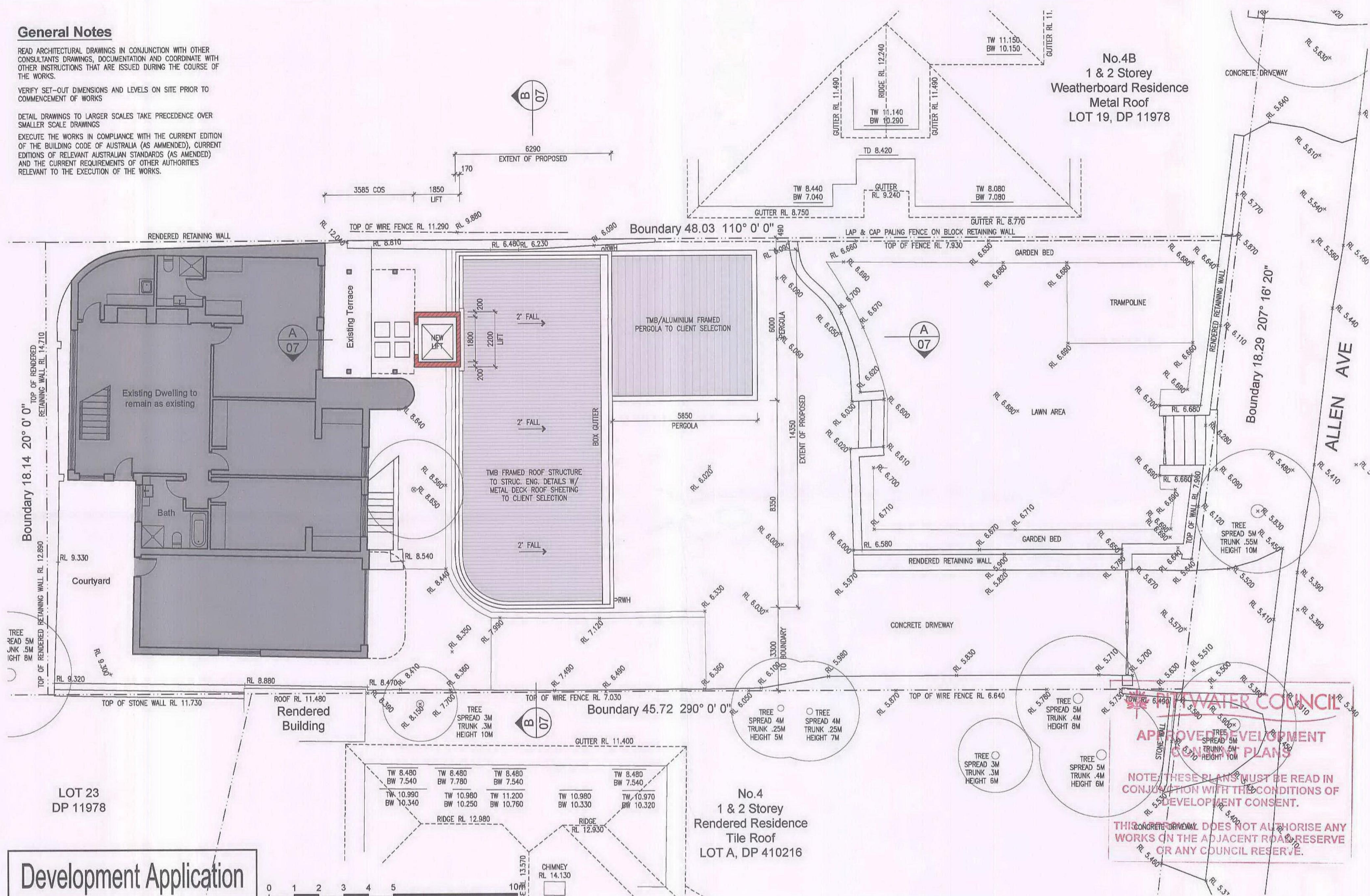
ADDRESS:
No.4 Allen Avenue
Bilgola Beach

SCALE:
1:100 @ A2
DATE:
December 2015
DRAWN:
bh
CHECKED:
DRAWING NO:
1509/DA-03
ISSUE:
A

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
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Amendments	By	Date
A DEVELOPMENT APPLICATION ISSUED TO COUNCIL	BH	DEC 2015

BH Designs
 Building Design & Drafting Services
 ABN: 60 306 636 642
 Mob: 0419 218 341
 Email: bndesign@bhdesign.com.au

PROJECT TITLE:
 Alterations & Additions to Existing Dwelling
CLIENT:
 Wehbe Residence

ADDRESS:
 No.4 Allen Avenue
 Bilgola Beach
DRAWING TITLE:
 Proposed Ground Floor Plan

SCALE:
 1:100 @ A2
DATE:
 December 2015
DRAWN:
 BH
CHECKED:
 [Signature]
DRAWING NO:
 1509/DA-04
ISSUE:
 A

WATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLAN
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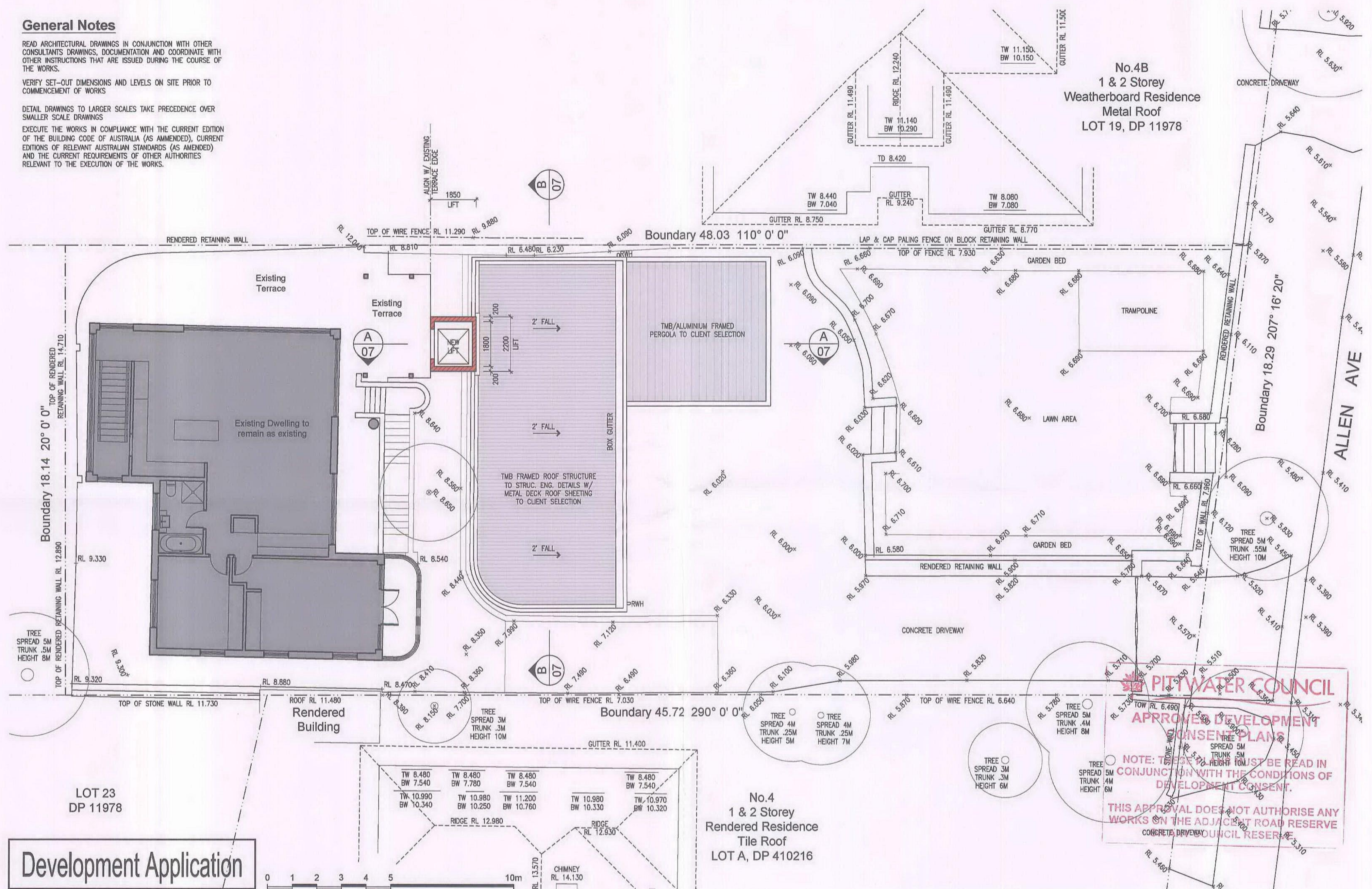
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Amendment	Description	By	Date
A	DEVELOPMENT APPLICATION ISSUED TO COUNCIL	BH	DEC 2015

BH Designs
Building Design & Drafting Services
ABN: 80 356 938 642
Mob: 0418 218 341
Email: bhdesign@bhdesign.com.au

PROJECT TITLE:
Alterations & Additions to Existing Dwelling

CLIENT:
Wehbe Residence

ADDRESS:
No.4 Allen Avenue Bilgola Beach

DRAWING TITLE:
Proposed Level 1 Floor Plan

SCALE:
1:100 @ A2

DATE:
December 2015

DRAWN:
bh

CHECKED:

DRAWING NO.:

1509/DA-05

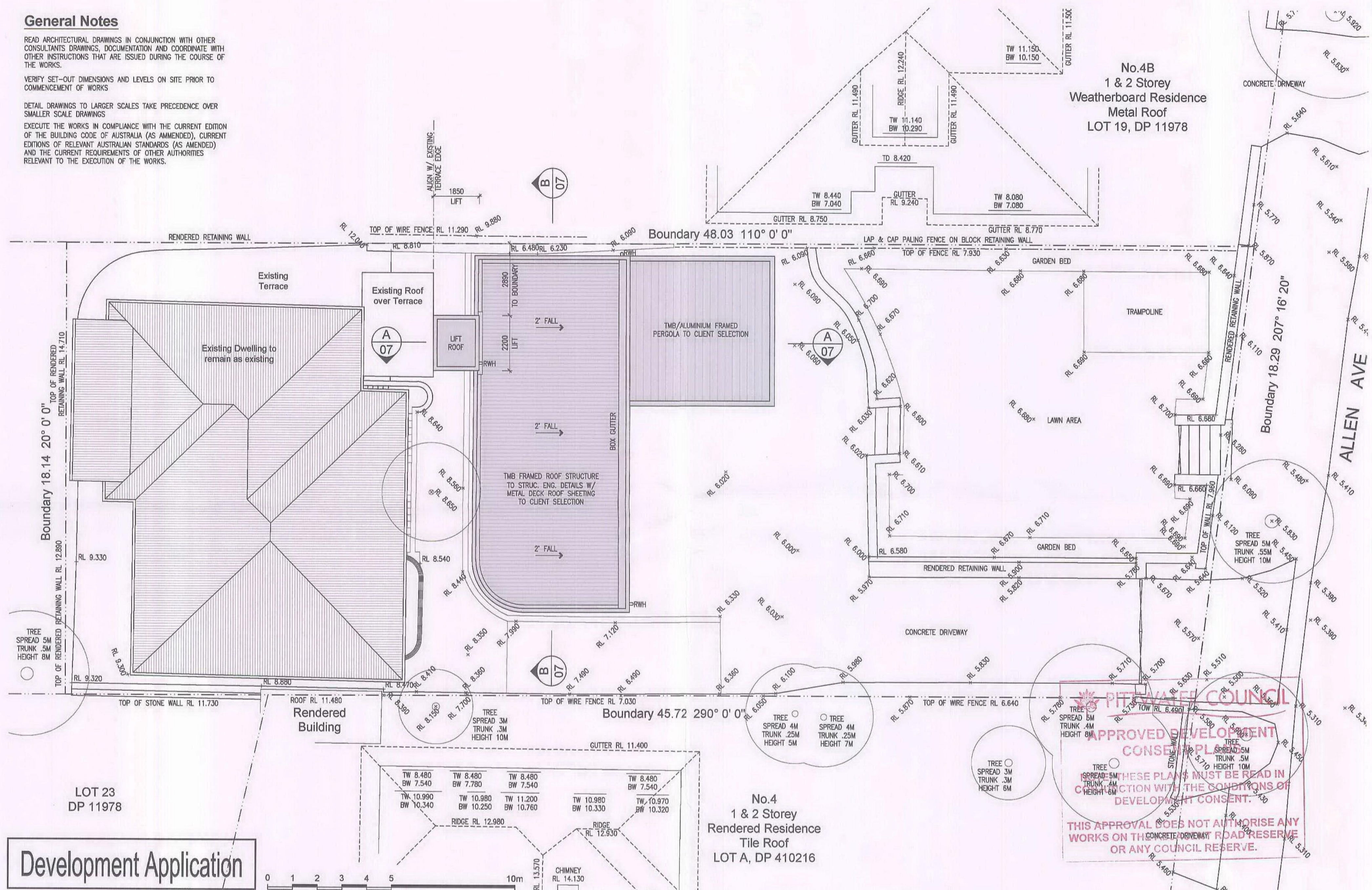
ISSUE:

A

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLAN
NOTE: THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE.
CONCRETE DRIVEWAY

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Amendments		
Issue	Description	By Date
A	DEVELOPMENT APPLICATION ISSUED TO COUNCIL	BH DEC 2015

BH Designs
 Building Design & Drafting Services

ABN: 60 355 935 643
 Mob: 0418 218 341
 Email: brendan@bhdesigns.com.au

PROJECT TITLE:
Alterations & Additions to Existing Dwelling
 CLIENT:
Wehbe Residence

ADDRESS:
**No.4 Allen Avenue
 Bilgola Beach**
 DRAWING TITLE:
Proposed Roof Plan

SCALE:
1:100 @ A2
 DATE:
December 2015
 DRAWN:
bh
 CHECKED:
 DRAWING NO:
1509/DA-06
 ISSUE:
A

General Notes

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Levels

- (XXX)???? (RL) RELATIVE LEVEL ????
- (SSL) STRUCTURAL SLAB LEVEL ????
- (FFL) FINISHED FLOOR LEVEL ????
- (GND) FINISHED GROUND LEVEL ????

00.000 EXISTING SITE LEVELS TRANSPOSED FROM SITE SURVEY FOR REFERENCE.

00.000EXT EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION. EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

BASIX Compliance

LIGHTING
ENSURE A MIN.40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED W/ FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE LAMPS.

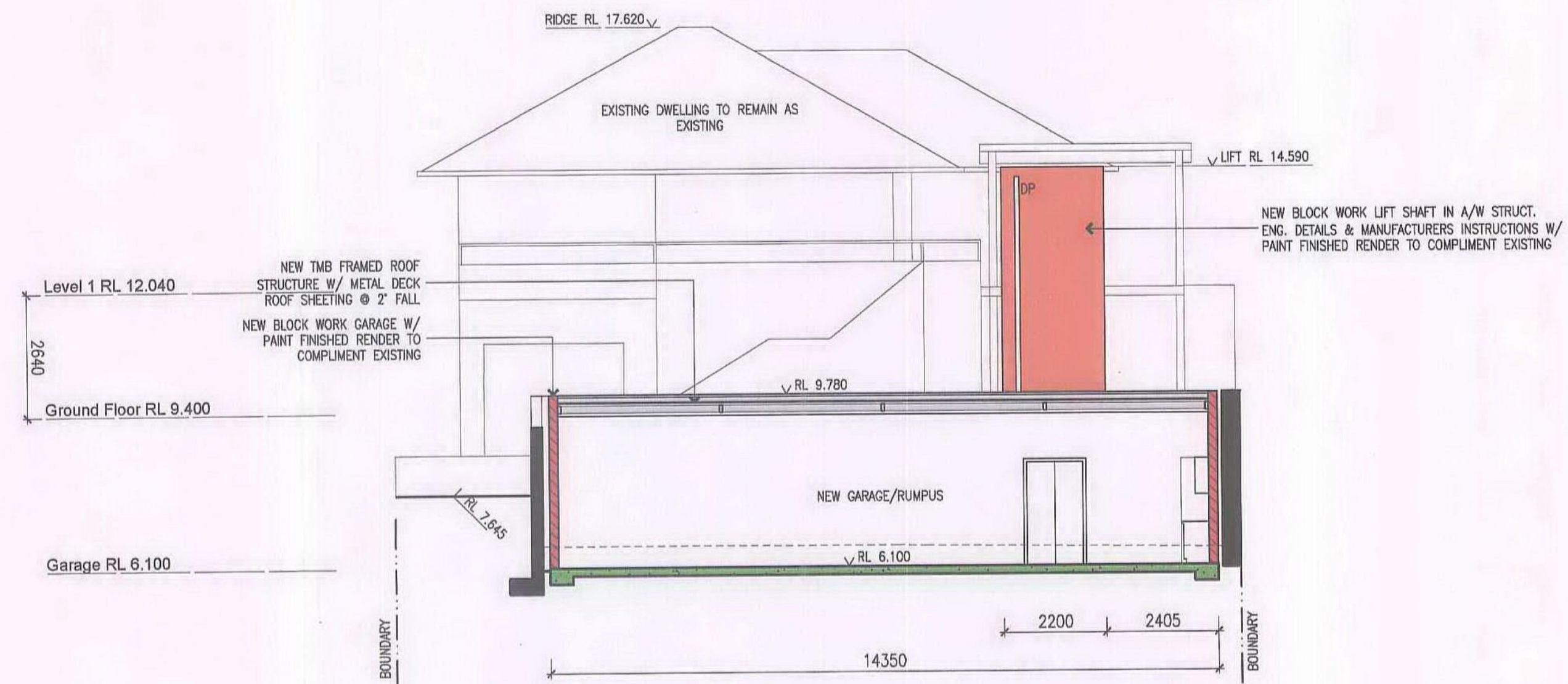
FIXTURES
INSTALL GAS INSTANTANEOUS HOT WATER SYSTEM.
ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A 3 STAR WATER RATING.
ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4L/AVERAGE FLUSH OR A MIN. 3 STAR WATER RATING.
ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A MIN. 3 STAR WATER RATING.

INSULATION REQUIREMENTS
FLOOR ABOVE EXISTING DWELLING OR BUILDING - NIL
EXTERNAL WALL: BRICK VENEER - R1.16 (OR R1.70 INCLUDING CONSTRUCTION).
EXTERNAL WALL: FRAMED - R1.30 (OR R1.70 INCLUDING CONSTRUCTION).
FLAT CEILING, PITCHED ROOF - CEILING R2.50 (UP), ROOF: FOIL/SARKING. MEDIUM SOLAR ABSORPTANCE 0.475-0.70.
RAKED CEILING, PITCHED/SKILLION ROOF: FRAMED - CEILING R2.50 (UP), ROOF: FOIL/SARKING. MEDIUM SOLAR ABSORPTANCE 0.475-0.70.

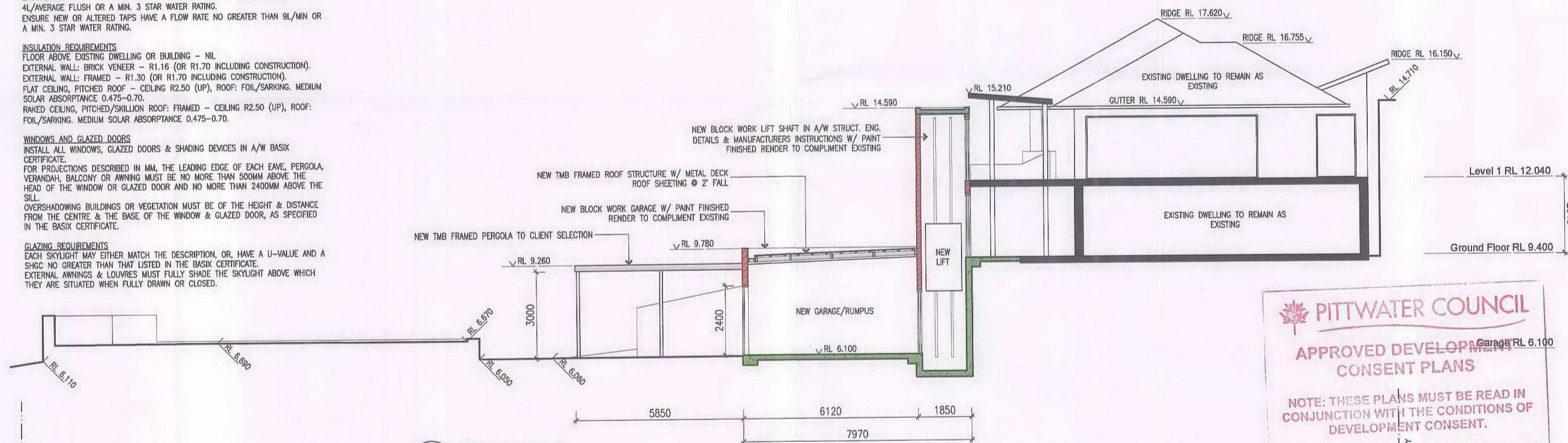
WINDOWS AND GLAZED DOORS
INSTALL ALL WINDOWS, GLAZED DOORS & SHADING DEVICES IN A/W BASIX CERTIFICATE.
FOR PROJECTIONS DESCRIBED IN MM, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDA, BALCONY OR WINING MUST BE NO MORE THAN 500MM ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400MM ABOVE THE SILL.
OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT & DISTANCE FROM THE CENTRE & THE BASE OF THE WINDOW & GLAZED DOOR, AS SPECIFIED IN THE BASIX CERTIFICATE.

GLAZING REQUIREMENTS
EACH SKYLIGHT MAY EITHER MATCH THE DESCRIPTION, OR, HAVE A U-VALUE AND SHGC NO GREATER THAN THAT LISTED IN THE BASIX CERTIFICATE.
EXTERNAL AWNINGS & LOUVRES MUST FULLY SHADE THE SKYLIGHT ABOVE WHICH THEY ARE SITUATED WHEN FULLY DRAWN OR CLOSED.

Section B-B
1:100@A2

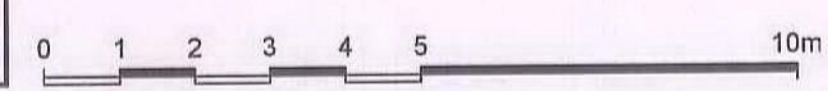


Section A-A
1:100@A2



PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
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Development Application



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Amendments		By	Date
A	DEVELOPMENT APPLICATION ISSUED TO COUNCIL	BH	DEC 2015

BH Designs
Building Design & Drafting Services
ABN: 80 355 936 642
Mob: 0418 218 341
Email: bhdesign@bhdesigns.com.au

PROJECT TITLE:
Alterations & Additions to Existing Dwelling
CLIENT:
Wehbe Residence

ADDRESS:
No.4 Allen Avenue Bilgola Beach
DRAWING TITLE:
Proposed Sections

SCALE:	DATE:
1:100 @ A2	December 2015
DRAWN:	CHECKED:
bh	
DRAWING NO:	ISSUE:
1509/DA-07	A

General Notes

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BASIX Compliance

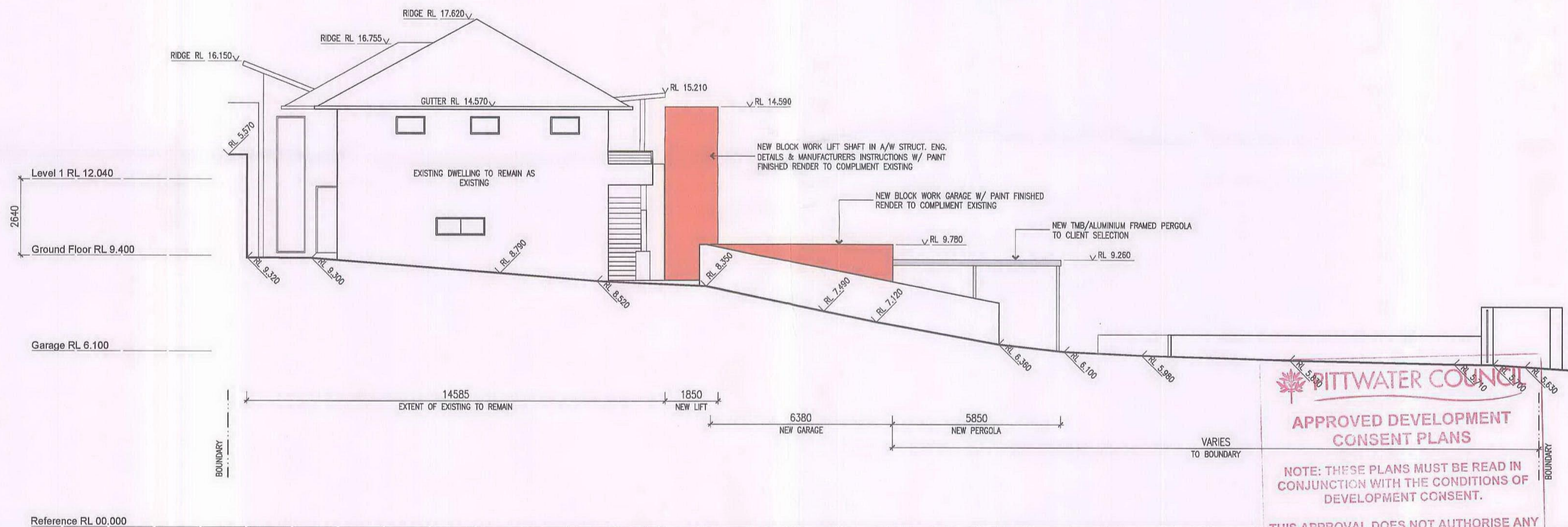
LIGHTING
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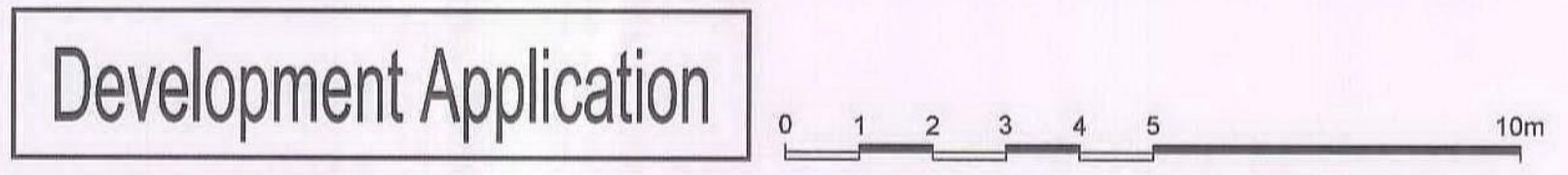
INSULATION REQUIREMENTS
 FLOOR ABOVE EXISTING DWELLING OR BUILDING - NIL
 EXTERNAL WALL: BRICK VENEER - R1.16 (OR R1.70 INCLUDING CONSTRUCTION).
 EXTERNAL WALL: FRAMED - R1.30 (OR R1.70 INCLUDING CONSTRUCTION).
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PITTWATER COUNCIL
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Issue	Description	By Date
A	DEVELOPMENT APPLICATION ISSUED TO COUNCIL	BH DEC 2015

BH Designs
 Building Design & Drafting Services
 ABN: 60 330 038 642
 Mob: 0416 218 341
 Email: brenda@bhdesigns.com.au

PROJECT TITLE:
Alterations & Additions to Existing Dwelling
 CLIENT:
Wehbe Residence

ADDRESS:
No.4 Allen Avenue Bilgola Beach
 DRAWING TITLE:
Proposed South Elevation

SCALE:
1:100 @ A2
 DATE:
December 2015
 DRAWN:
bh
 CHECKED:

 DRAWING NO:
1509/DA-08
 ISSUE:
A

General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS, DOCUMENTATION AND COORDINATE WITH OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.
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BASIX Compliance

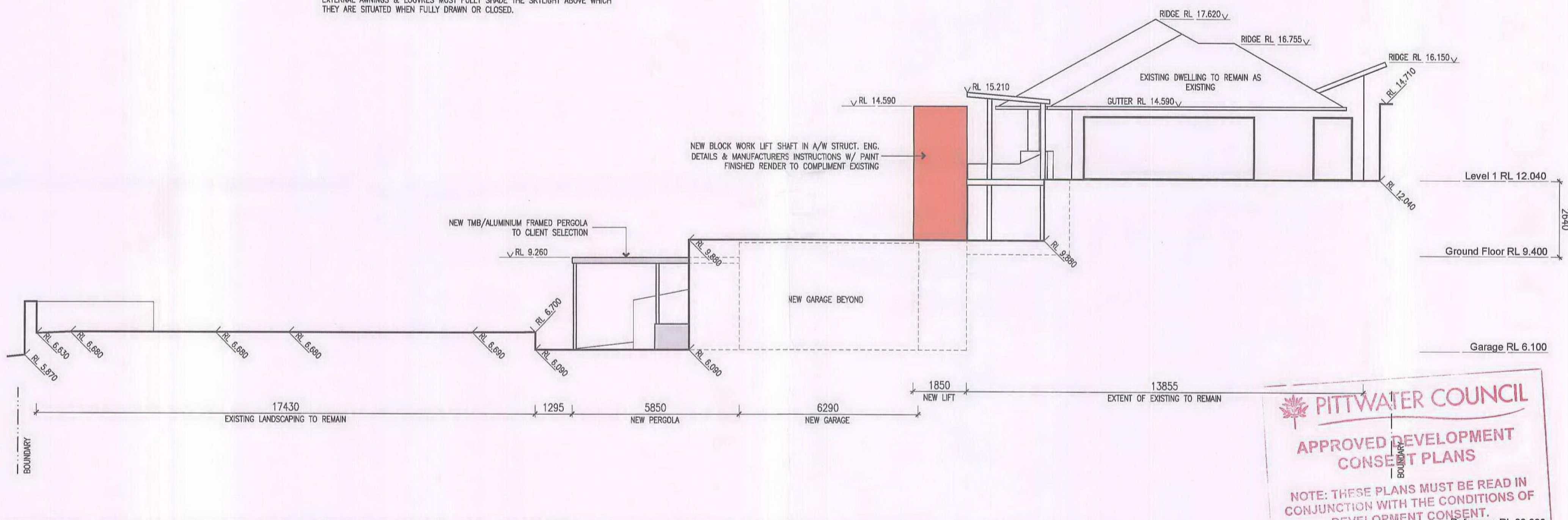
LIGHTING
 ENSURE A MIN. 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED W/ FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE LAMPS.

FIXTURES
 INSTALL GAS INSTANTANEOUS HOT WATER SYSTEM.
 ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A 3 STAR WATER RATING.
 ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4L/AVERAGE FLUSH OR A MIN. 3 STAR WATER RATING.
 ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9L/MIN OR A MIN. 3 STAR WATER RATING.

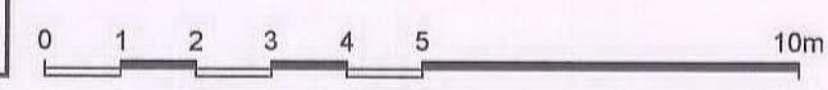
INSULATION REQUIREMENTS
 FLOOR ABOVE EXISTING DWELLING OR BUILDING - NIL
 EXTERNAL WALL: BRICK VENEER - R1.16 (OR R1.70 INCLUDING CONSTRUCTION).
 EXTERNAL WALL: FRAMED - R1.30 (OR R1.70 INCLUDING CONSTRUCTION).
 FLAT CEILING, PITCHED ROOF - CEILING R2.50 (UP), ROOF: FOIL/SARKING, MEDIUM SOLAR ABSORPTANCE 0.475-0.70.
 RAKED CEILING, PITCHED/SKILLION ROOF: FRAMED - CEILING R2.50 (UP), ROOF: FOIL/SARKING, MEDIUM SOLAR ABSORPTANCE 0.475-0.70.

WINDOWS AND GLAZED DOORS
 INSTALL ALL WINDOWS, GLAZED DOORS & SHADING DEVICES IN A/W BASIX CERTIFICATE.
 FOR PROJECTIONS DESCRIBED IN MM, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500MM ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400MM ABOVE THE SILL.
 OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT & DISTANCE FROM THE CENTRE & THE BASE OF THE WINDOW & GLAZED DOOR, AS SPECIFIED IN THE BASIX CERTIFICATE.

GLAZING REQUIREMENTS
 EACH SKYLIGHT MAY EITHER MATCH THE DESCRIPTION, OR, HAVE A U-VALUE AND A SHGC NO GREATER THAN THAT LISTED IN THE BASIX CERTIFICATE.
 EXTERNAL AWNINGS & LOUVRES MUST FULLY SHADE THE SKYLIGHT ABOVE WHICH THEY ARE SITUATED WHEN FULLY DRAWN OR CLOSED.



Development Application



PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
 NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.
 Reference RL 00.000
 THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.

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Amendments		
Issue	Description	By Date
A	DEVELOPMENT APPLICATION ISSUED TO COUNCIL	BH DEC 2015

BH Designs
 Building Design & Drafting Services
 ABN: 80 956 938 642
 Mob: 0415 210 345
 Email: brandan@bhdesigns.com.au

PROJECT TITLE:
Alterations & Additions to Existing Dwelling
 CLIENT:
Wehbe Residence

ADDRESS:
**No.4 Allen Avenue
 Bilgola Beach**

SCALE:
 1:100 @ A2
 DATE:
 December 2015
 DRAWN:
 bh
 CHECKED:
 DRAWING NO:
1509/DA-09
 ISSUE:
A

General Notes

READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS, DOCUMENTATION AND COORDINATE WITH OTHER INSTRUCTIONS THAT ARE ISSUED DURING THE COURSE OF THE WORKS.

VERIFY SET-OUT DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS

DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS

EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS (AS AMENDED) AND THE CURRENT REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

Levels

- (000)???? (RL) RELATIVE LEVEL ????
- (SSL) STRUCTURAL SLAB LEVEL ????
- (FLL) FINISHED FLOOR LEVEL ????
- (GND) FINISHED GROUND LEVEL ????

00.000 EXISTING SITE LEVELS TRANSPOSED FROM SITE SURVEY FOR REFERENCE.

00.000@EXT EXISTING SITE LEVELS EXTRAPOLATED BY BH DESIGN FROM SITE SURVEY INFORMATION. EXTRAPOLATED LEVEL MAY BE LIMITED IN THEIR ACCURACY.

BASIX Compliance

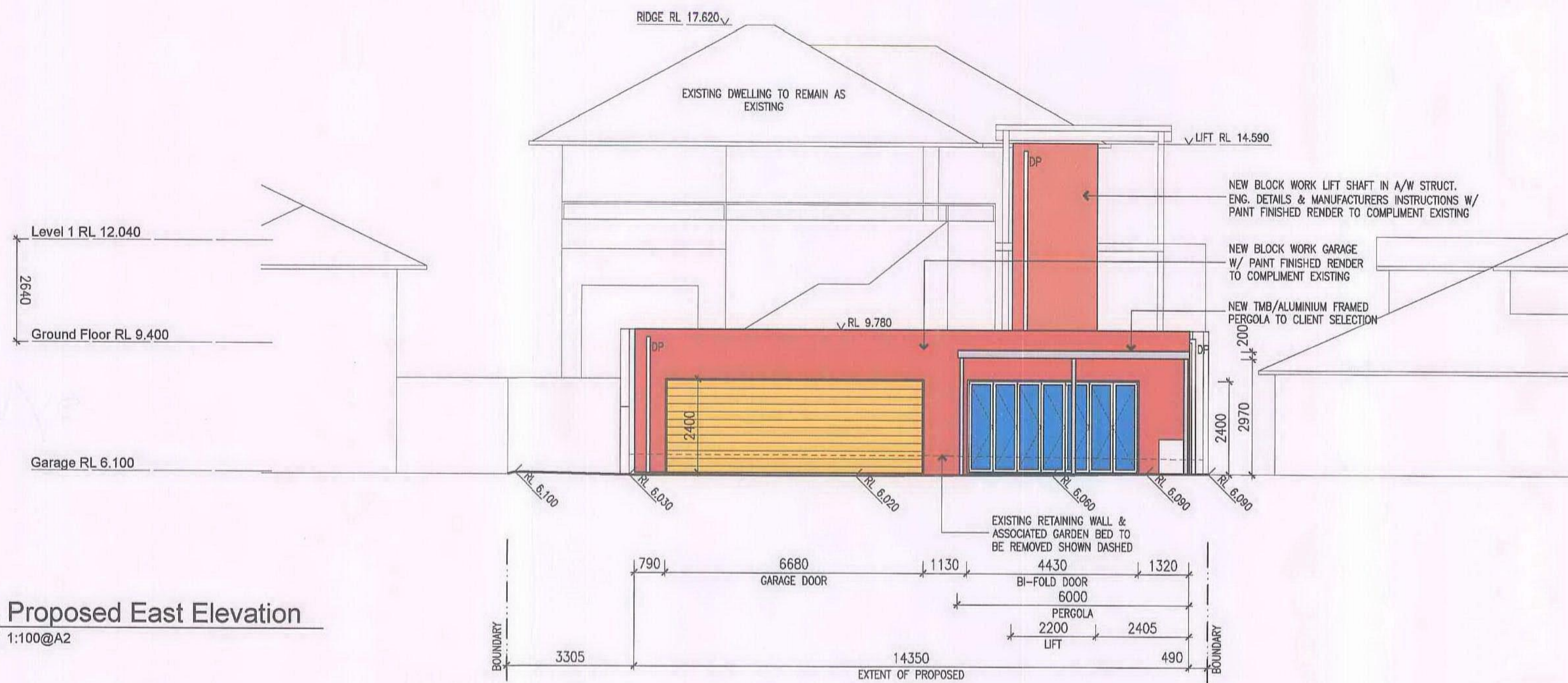
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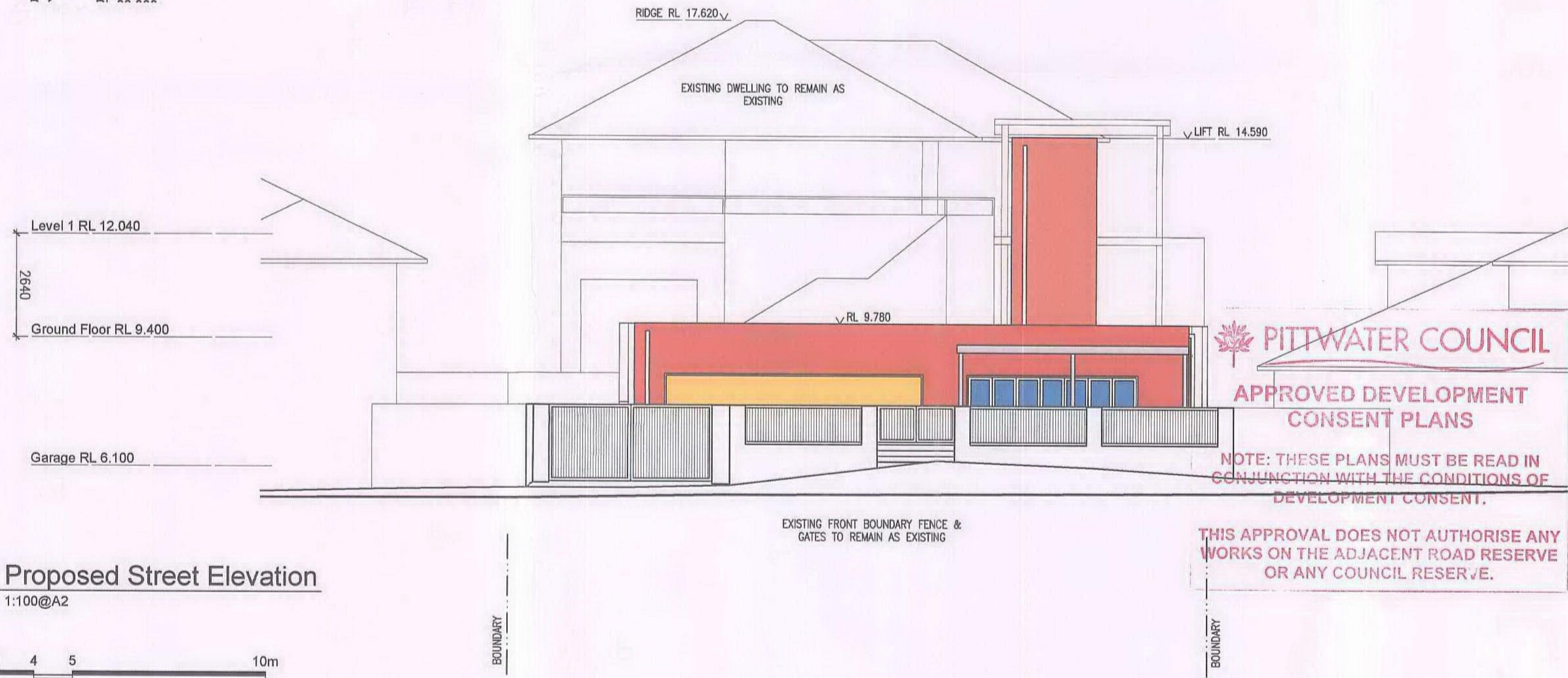
INSULATION REQUIREMENTS
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EXTERNAL WALL: FRAMED - R1.30 (OR R1.70 INCLUDING CONSTRUCTION).
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RAKED CEILING, PITCHED/SKILLION ROOF: FRAMED - CEILING R2.50 (UP), ROOF: FOIL/SARKING, MEDIUM SOLAR ABSORPTANCE 0.475-0.70.

WINDOWS AND GLAZED DOORS
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OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT & DISTANCE FROM THE CENTRE & THE BASE OF THE WINDOW & GLAZED DOOR, AS SPECIFIED IN THE BASIX CERTIFICATE.

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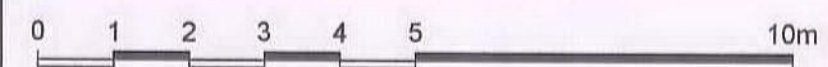


Proposed East Elevation
1:100@A2



Proposed Street Elevation
1:100@A2

Development Application



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Amendments		
Issue	Description	By Date
A	DEVELOPMENT APPLICATION ISSUED TO COUNCIL	BH DEC 2015

BH Designs
Building Design & Drafting Services

ABN: 82 255 936 642
Mob: 0418 218 341
Email: brendan@bhdesigns.com.au

PROJECT TITLE:
Alterations & Additions to Existing Dwelling

CLIENT:
Wehbe Residence

ADDRESS:
**No.4 Allen Avenue
Bilgola Beach**

DRAWING TITLE:
Proposed East & Street Elevation

SCALE:
1:100 @ A2

DRAWN:
bh

DRAWING NO:
1509/DA-10

DATE:
December 2015

CHECKED:

ISSUE:
A

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.
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