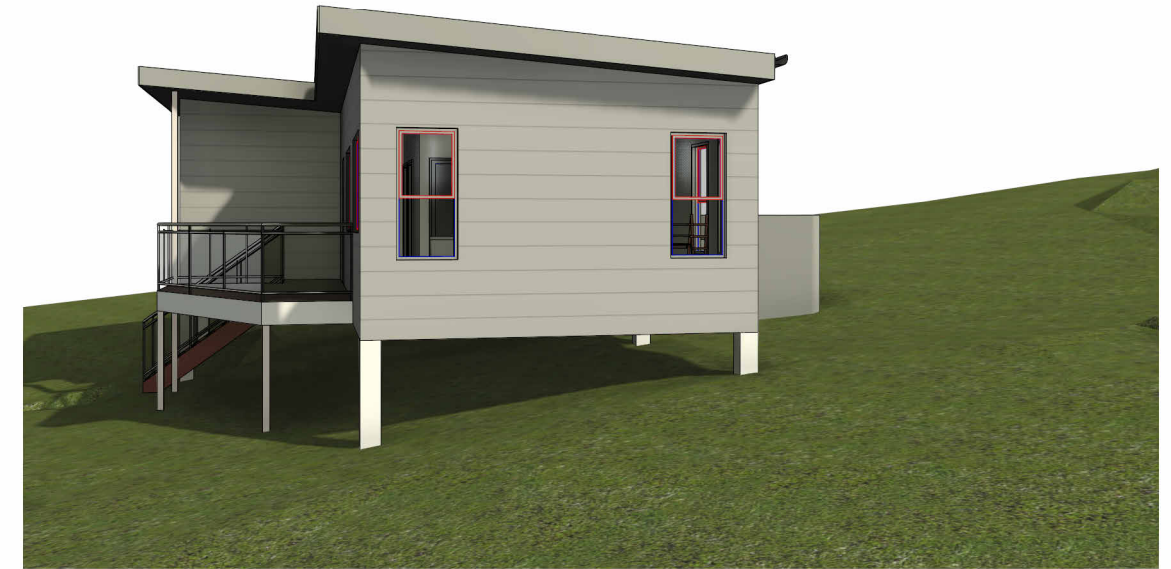


4 WOLLOMBI ROAD BILGOLA PLATEAU
RESIDENCE

SHEET LIST (A)

SHEET NUMBER	SHEET NAME	ISSUE
A 0	3D VIEWS	F
A 1	NOTES	F
A 2	BASIX	F
A 3	SITE AND ROOF PLAN	F
A 4	GROUND FLOOR PLAN	F
A 5	ELEVATIONS AND SECTION	F
A 6	AREA CALCULATIONS	F



GENERAL NOTES

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LS	06/09/24	C	ISSUE FOR DA
LS	27/09/24	D	ISSUE FOR DA
LS	07/11/24	E	ISSUE FOR DA

project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

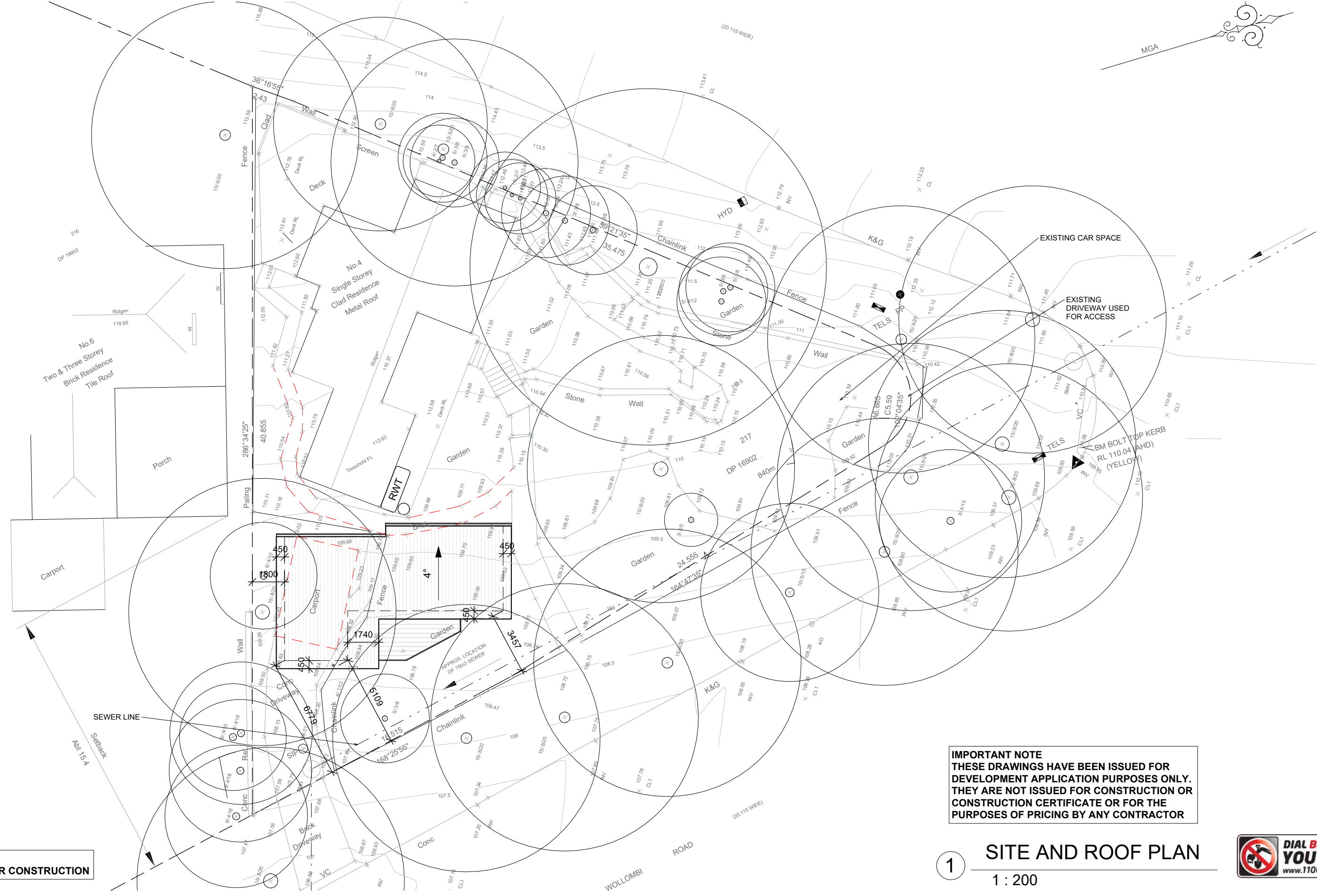
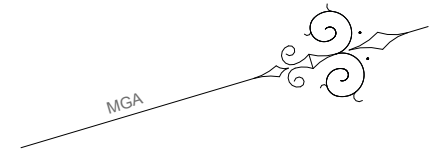
client
WADE ORTH




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drawing	project no	date	sheet no.	scale @ A3	issue	checked
3D VIEWS	24-47	05/08/24	A 0		F	?





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PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

1 SITE AND ROOF PLAN
 1 : 200



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LS	10/01/25	F	ISSUE FOR DA

project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

client
WADE ORTH

project no
 24-47

date
 05/08/24

sheet no.
 A 3

scale @ A3
 1 : 200

issue
 F

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WINDOW SCHEDULE (W)

ALL WINDOW AND DOOR DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO ORDERING

MARK	LEVEL	HEIGHT	WIDTH	AREA
W1	GROUND FLOOR	1200	1810	2.2 m ²
W2	GROUND FLOOR	300	850	0.3 m ²
W3	GROUND FLOOR	1500	700	1.1 m ²
W4	GROUND FLOOR	1500	700	1.1 m ²
W5	GROUND FLOOR	1500	700	1.1 m ²
W6	GROUND FLOOR	1500	700	1.1 m ²
W7	GROUND FLOOR	1200	1810	2.2 m ²
W8	GROUND FLOOR	1200	1810	2.2 m ²
W9	GROUND FLOOR	1200	1810	2.2 m ²
				13.1 m ²

GLAZED DOOR SCHEDULE (WD)

ALL WINDOW AND DOOR DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO ORDERING

MARK	LEVEL	HEIGHT	WIDTH	AREA
WD1	GROUND FLOOR	2100	820	1.7 m ²
				1.7 m ²

LEGEND

FLOOR WASTE 

SMOKE ALARM 

(HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED AS PER CLAUSE 9.5.4 OF THE HOUSING PROVISIONS 2022 & AS 3786)

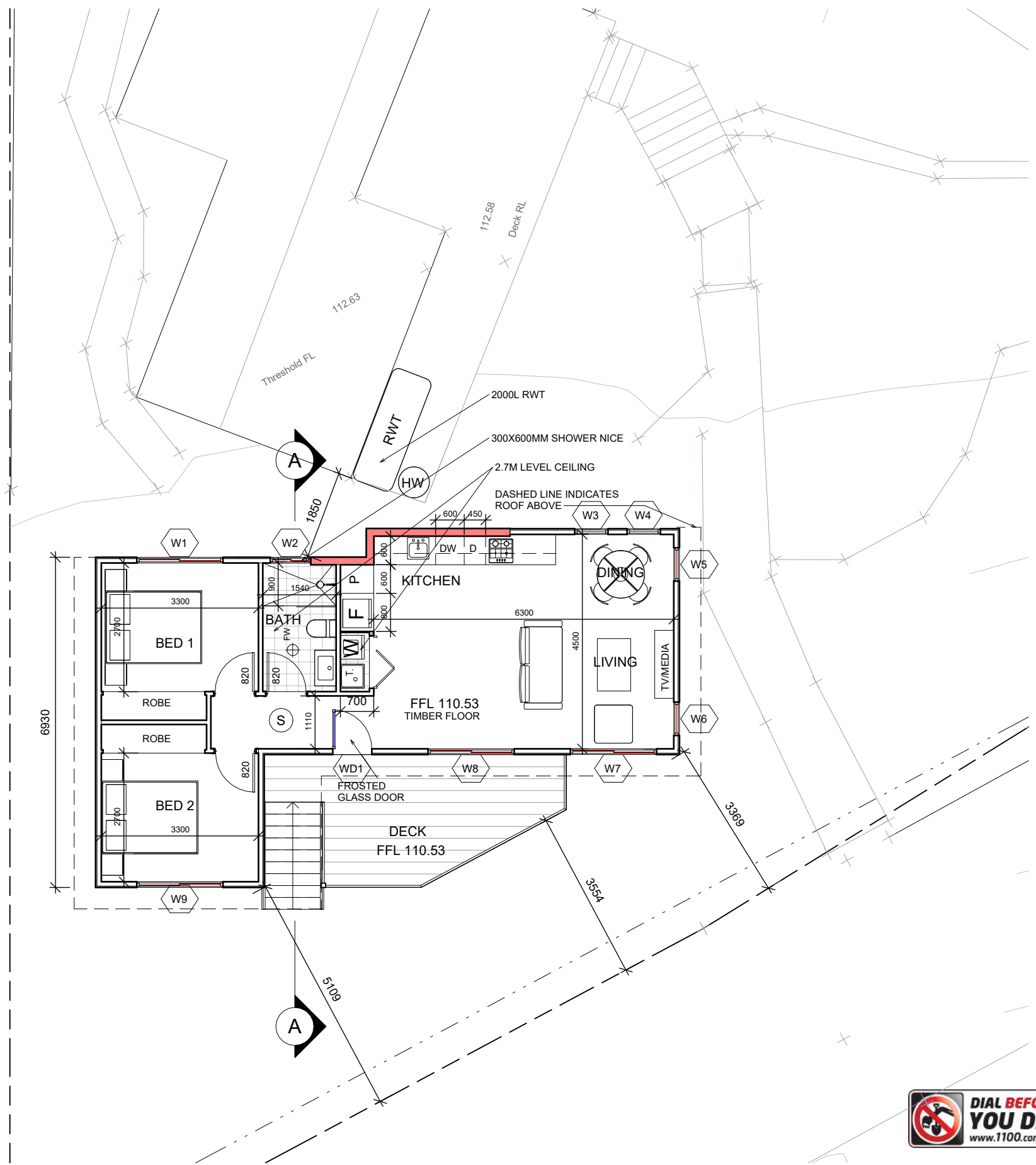
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1

GROUND FLOOR PLAN

1 : 100



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project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

client
WADE ORTH

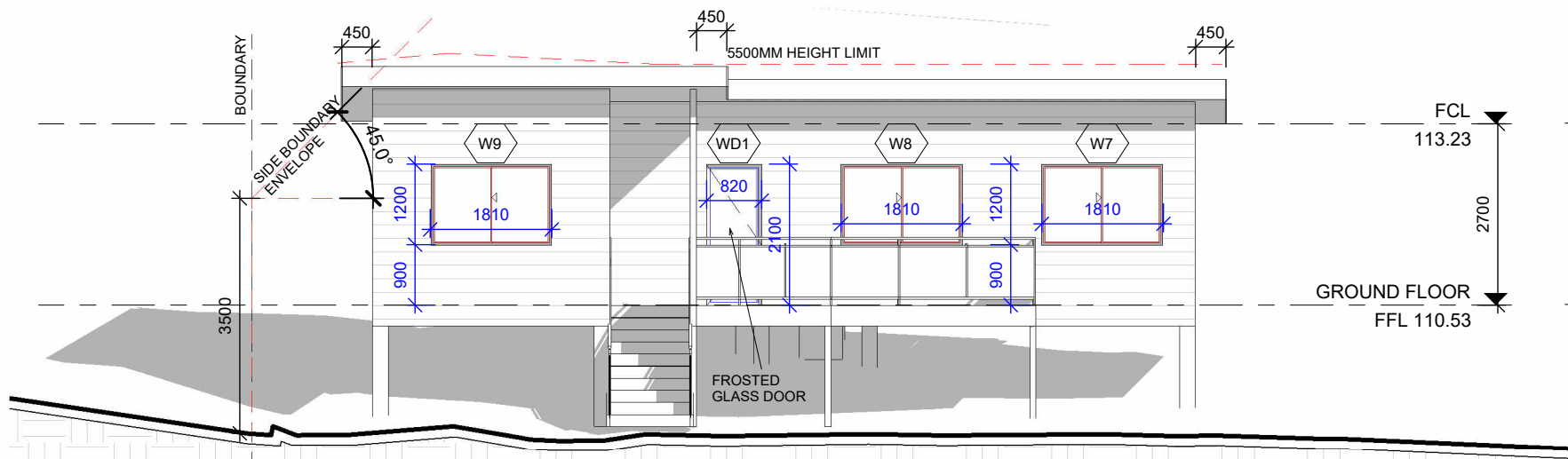
client logo: 

bdca
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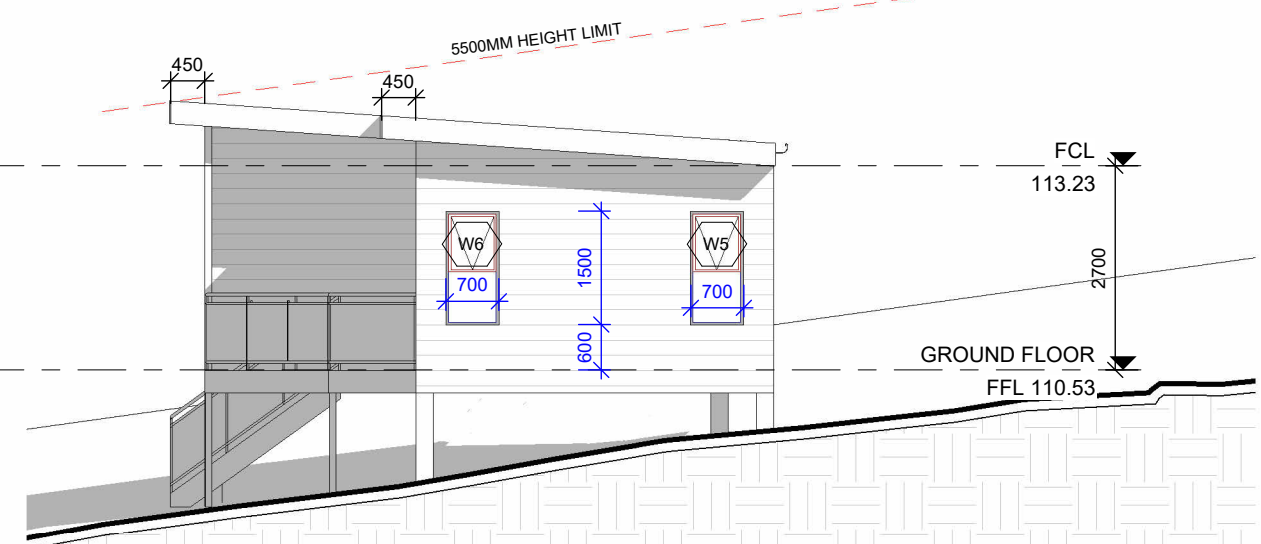
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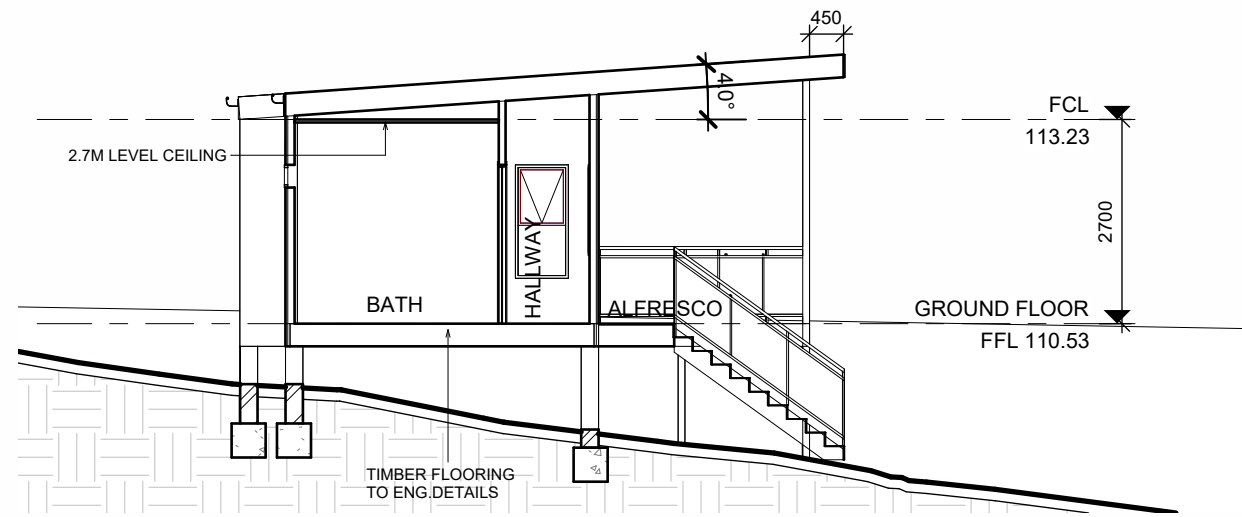
project no	date	sheet no.	scale @ A3	issue	checked
24-47	05/08/24	A 4	1 : 100	F	?



1 EAST ELEVATION
1 : 100

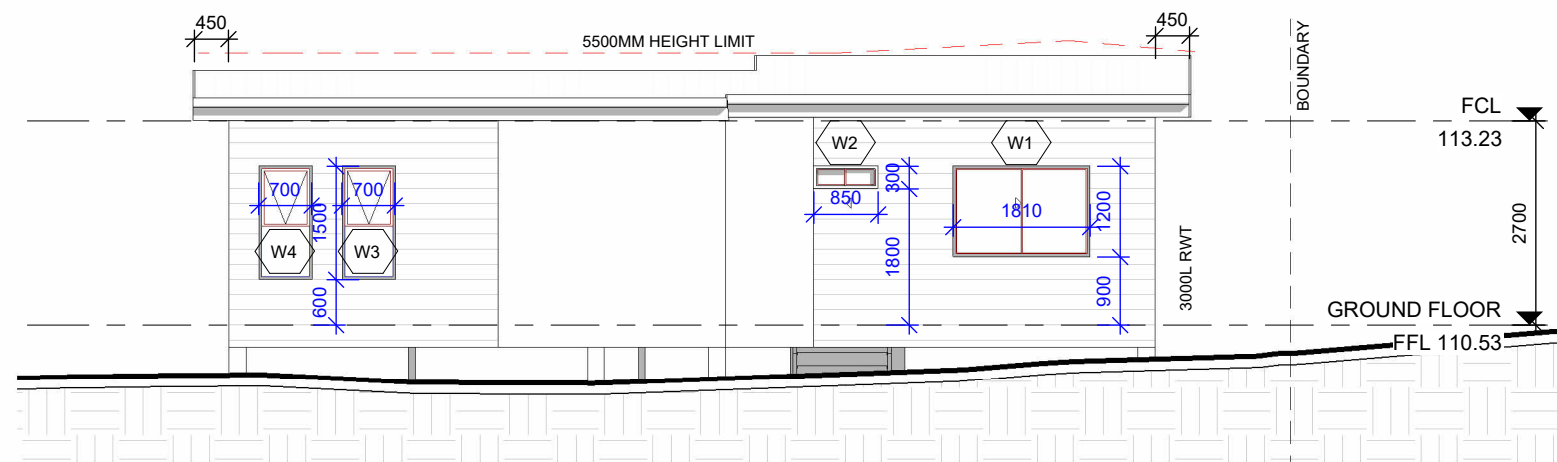


2 NORTH ELEVATION
1 : 100

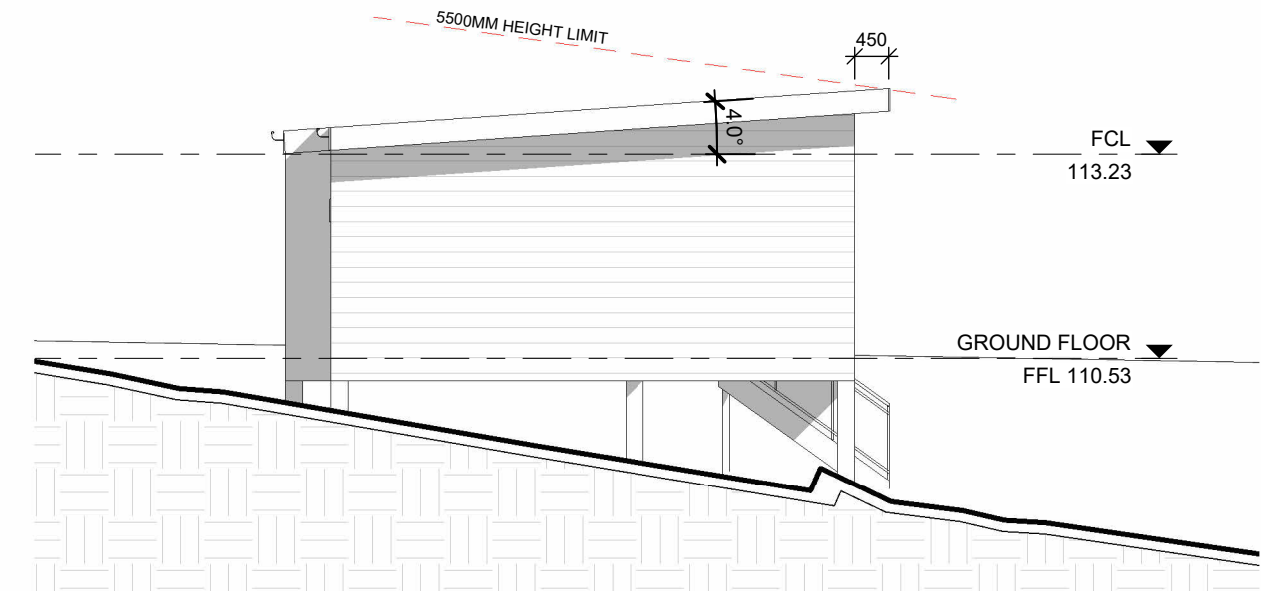


5 SECTION A-A
1 : 100

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3 WEST ELEVATION
1 : 100



4 SOUTH ELEVATION
1 : 100

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project	PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902
client	WADE ORTH
client logo	

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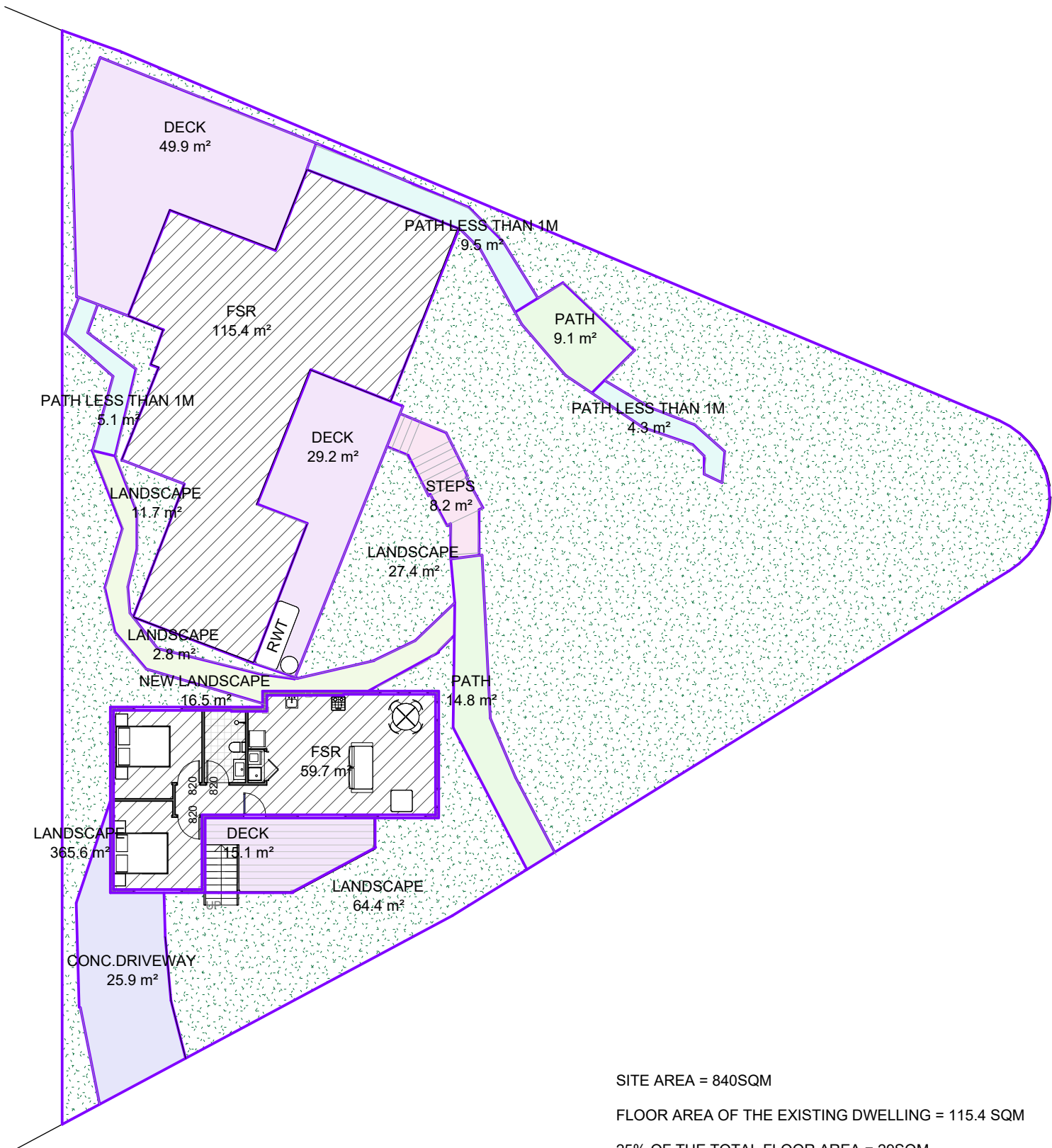
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client	WADE ORTH	true north	drawing	ELEVATIONS AND SECTION							
project no	24-47	date	05/08/24	sheet no.	A 5	scale @ A3	1 : 100	issue	F	checked	?

RK
DESIGNS

AREA CALCULATIONS SCHEDULE

NAME	LEVEL	COUNT	TOTAL
CONC.DRIVEWAY	GROUND FLOOR	1	25.9 m ²
CONC.DRIVEWAY: 1			25.9 m ²
DECK	GROUND FLOOR	3	94.2 m ²
DECK: 3			94.2 m ²
FSR	Not Placed	2	0.0 m ²
FSR	GROUND FLOOR	2	175.1 m ²
FSR: 4			175.1 m ²
LANDSCAPE	Not Placed	3	0.0 m ²
LANDSCAPE	GROUND FLOOR	5	471.9 m ²
LANDSCAPE: 8			471.9 m ²
NEW CONC.AREA	Not Placed	1	0.0 m ²
NEW CONC.AREA: 1			0.0 m ²
NEW LANDSCAPE	GROUND FLOOR	1	16.5 m ²
NEW LANDSCAPE: 1			16.5 m ²
PATH	Not Placed	2	0.0 m ²
PATH	GROUND FLOOR	2	23.9 m ²
PATH: 4			23.9 m ²
PATH LESS THAN 1M	Not Placed	1	0.0 m ²
PATH LESS THAN 1M	GROUND FLOOR	3	18.8 m ²
PATH LESS THAN 1M: 4			18.8 m ²
STEPS	GROUND FLOOR	1	8.2 m ²
STEPS: 1			8.2 m ²



SITE AREA = 840SQM

FLOOR AREA OF THE EXISTING DWELLING = 115.4 SQM

25% OF THE TOTAL FLOOR AREA = 29SQM

TOTAL FLOOR AREA OF THE SECONDARY DWELLING =60SQM

MINIMUM REQUIRED LANDSCAPED AREA = 60% = 504SQM

PROPOSED LANDSCAPED AREA =507.2 SQM INCLUDING IMPERVIOUS AREAS LESS THAN 1M WIDE

THEREFORE THE PROPOSAL COMPLIES WITH PDCP

1 GROUND FLOOR
1 : 200

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project
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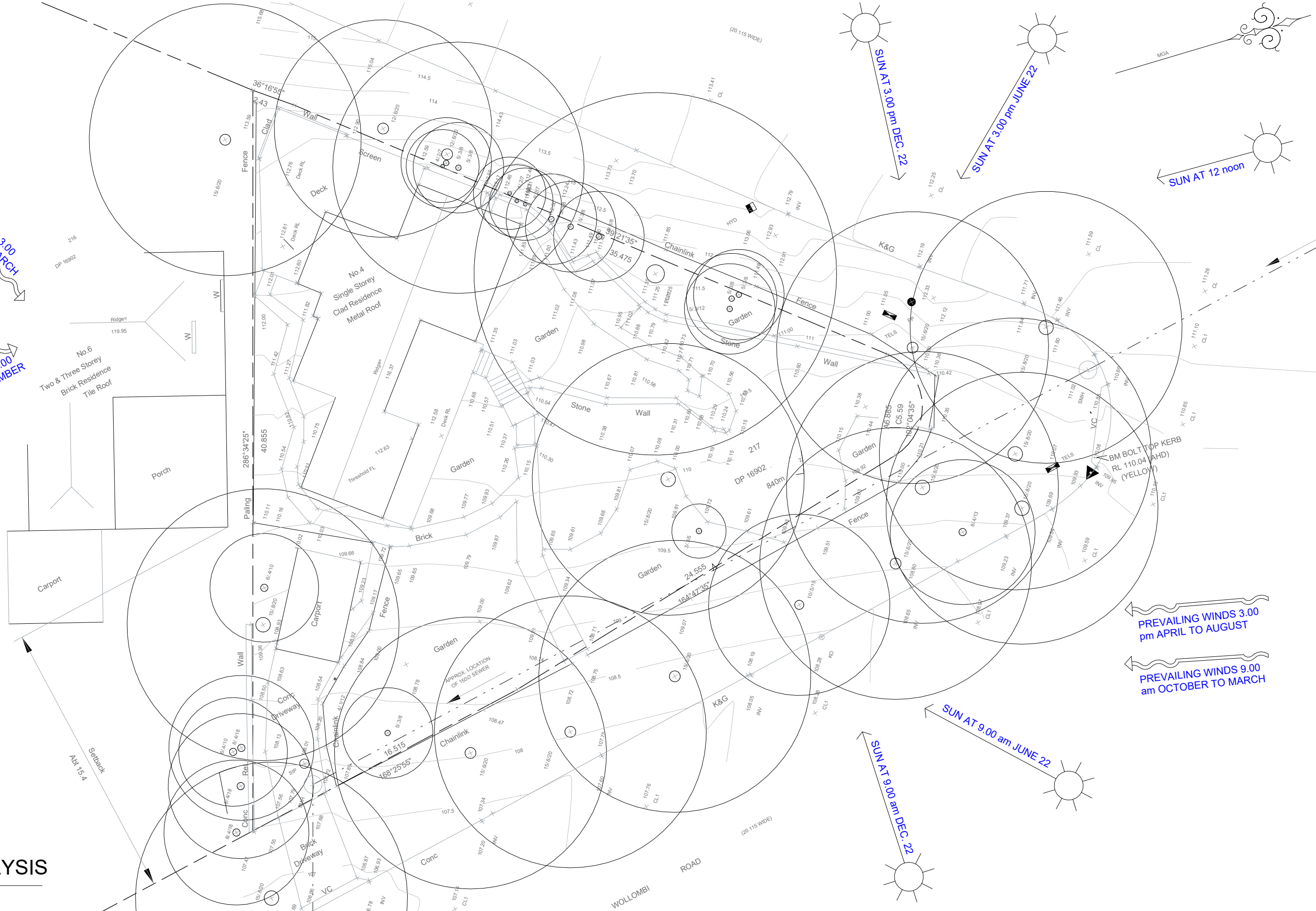
client
WADE ORTH

project no 24-47
 date 05/08/24
 sheet no. A 6
 scale @ A3 1 : 200
 issue F
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1 SITE ANALYSIS
1 : 200

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LS	10/01/25	F	ISSUE FOR DA

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client	WADE ORTH

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drawing	SITE ANALYSIS	project no	24-47
date	05/08/24	sheet no.	DA 1
scale @ A3	1 : 200	issue	F
checked	?		



DEMOLISH & REMOVE FROM THE SITE, AS PER THE SPECIFICATION, THE COUNCIL REQUIREMENTS & AS 2601 ALL THE EXISTING BUILDINGS, CARPORT, FENCES, DRIVEWAY, PATHS AND THE LIKE, AS SHOWN HATCHED AND/OR AS REQUIRED TO ACHIEVE THE PROPOSED WORK. DISCONNECT, CAP OFF & SEAL ALL REDUNDANT SERVICES PRIOR TO THE COMMENCEMENT OF DEMOLITION

LEGEND

--- TO BE DEMOLISHED

NOTES

1. SOIL AND EROSION CONTROL MEASURES:
 i) NO PARKING OR STOCKPILING OF MATERIAL IS PERMITTED ON FOOTPATH.
 ii) ACCESS IS TO BE GAINED VIA TEMPORARY

ENTRY

- iii) SILT STOP FENCING TO BE PLACED ALONG THE NORTH, SOUTH AND WEST BOUNDARIES. PROVIDE SILT STOP FENCING ON THE EASTERN SIDE WHERE SHOWN ON PLAN.

2. MAINTENANCE PROCEDURES DURING CONSTRUCTION:
 i) ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AT ALL TIMES SO THAT THOSE MEASURES ARE FULLY FUNCTIONAL/OPERATIONAL DURING THE CURRENCY OF WORKS. ALL SUCH CONTROLS MUST ALSO BE FULLY FUNCTIONAL/ OPERATIONAL SHOULD WORK OPERATIONS CEASE TEMPORARILY. (eg WEEKENDS, ROSTERED DAYS OFF, etc.)
 ii) ALL FILTER BARRIERS ARE TO BE REGULARLY INSPECTED, PARTICULARLY FOLLOWING RUNOFF EVENTS, SO THAT DISLODGED OR BROKEN BALES/BAGS CAN BE IMMEDIATELY REPLACED. SEDIMENT ACCUMULATION BEHIND STRAWBALE SANDBAGS SHALL BE REMOVED.
 iii) RESPREAD MATERIAL GAINED DURING MAINTENANCE OPERATION OR ALTERNATIVELY PLACE ON STOCKPILES.

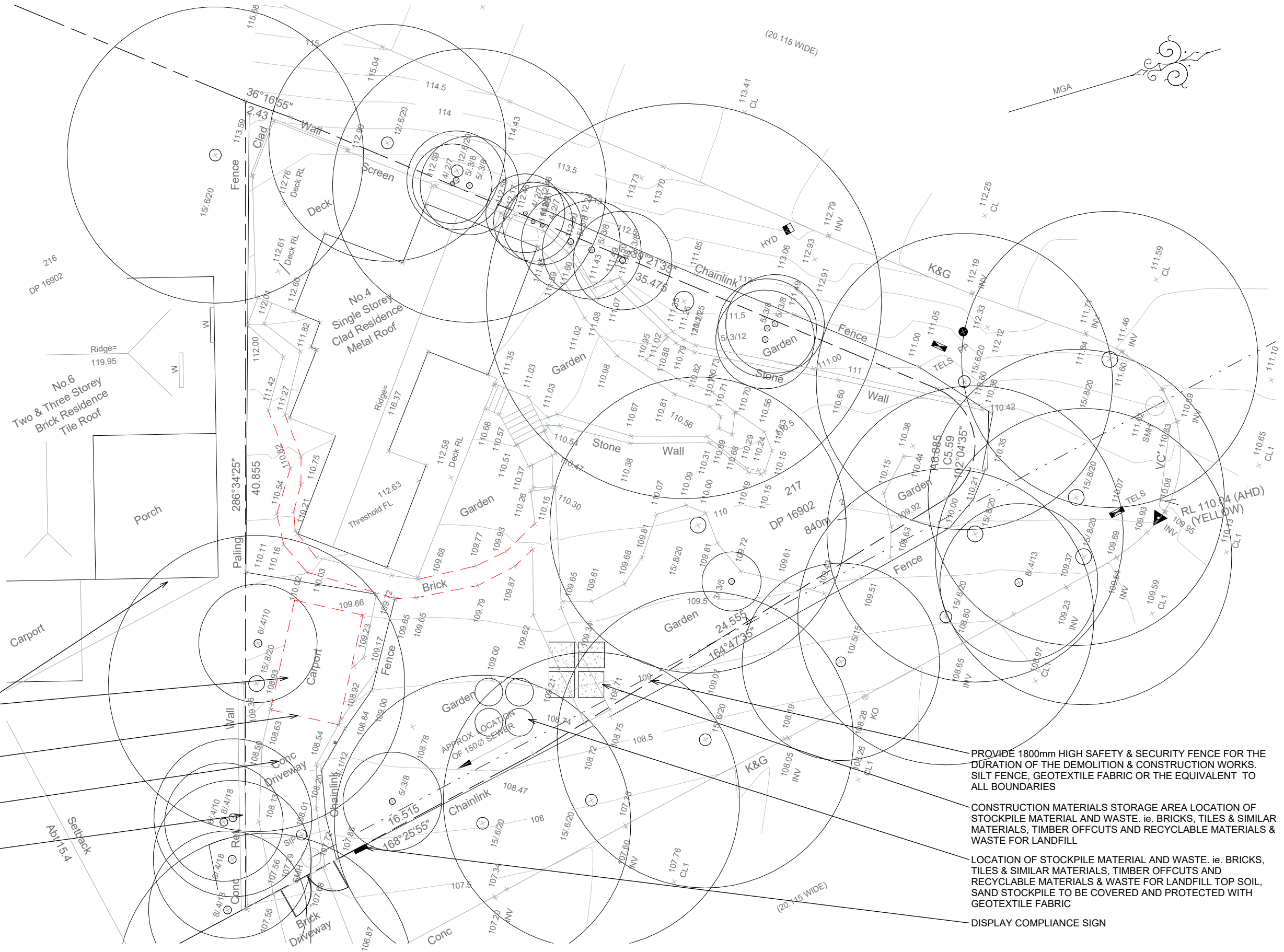
3. MINIMISE DISTURBED AREAS.
 4. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATH.
 5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
 6. ALL TRUCK LOADS ARE TO BE COVERED WHEN ENTERING AND EXITING THE SITE SO AS TO AVOID SPILLAGE.

ANY DAMAGE TO EXISTING &/OR ADJOINING PROPERTY &/OR SERVICES IS TO BE MADE GOOD WITH MINIMAL IF ANY INCONVENIENCE TO ALL PROPRIETORS. IF ANY DAMAGE IS DUE TO NEGLIGENCE, IT IS TO BE RECTIFIED AT THE COST OF THE NEGLIGENT PARTY WHICH CAUSED THAT DAMAGE.

METHOD OF SUPPORT OF EXCAVATION ADJACENT TO ADJOINING PROPERTIES TO ENG'S DETAILS AND IT IS TO BE CERTIFIED BY A CERTIFIER ACCREDITED IN CIVIL ENGINEERING

VEHICLES CARRYING LOOSE BUILDING MATERIALS TO BE COVERED IN COMPLIANCE WITH ROAD TRAFFIC REGULATIONS. SAFE ACCESS FOR HEAVY EQUIPMENT PLANT AND MATERIALS DELIVERY.

SEDIMENT CONTROLS TO BE PLACED ACROSS DRIVEWAY



PROVIDE 1800mm HIGH SAFETY & SECURITY FENCE FOR THE DURATION OF THE DEMOLITION & CONSTRUCTION WORKS. SILT FENCE, GEOTEXTILE FABRIC OR THE EQUIVALENT TO ALL BOUNDARIES

CONSTRUCTION MATERIALS STORAGE AREA LOCATION OF STOCKPILE MATERIAL AND WASTE. ie. BRICKS, TILES & SIMILAR MATERIALS, TIMBER OFFCUTS AND RECYCLABLE MATERIALS & WASTE FOR LANDFILL

LOCATION OF STOCKPILE MATERIAL AND WASTE. ie. BRICKS, TILES & SIMILAR MATERIALS, TIMBER OFFCUTS AND RECYCLABLE MATERIALS & WASTE FOR LANDFILL TOP SOIL, SAND STOCKPILE TO BE COVERED AND PROTECTED WITH GEOTEXTILE FABRIC

DISPLAY COMPLIANCE SIGN

1 DEMOLITION PLAN
 1 : 200

GENERAL NOTES

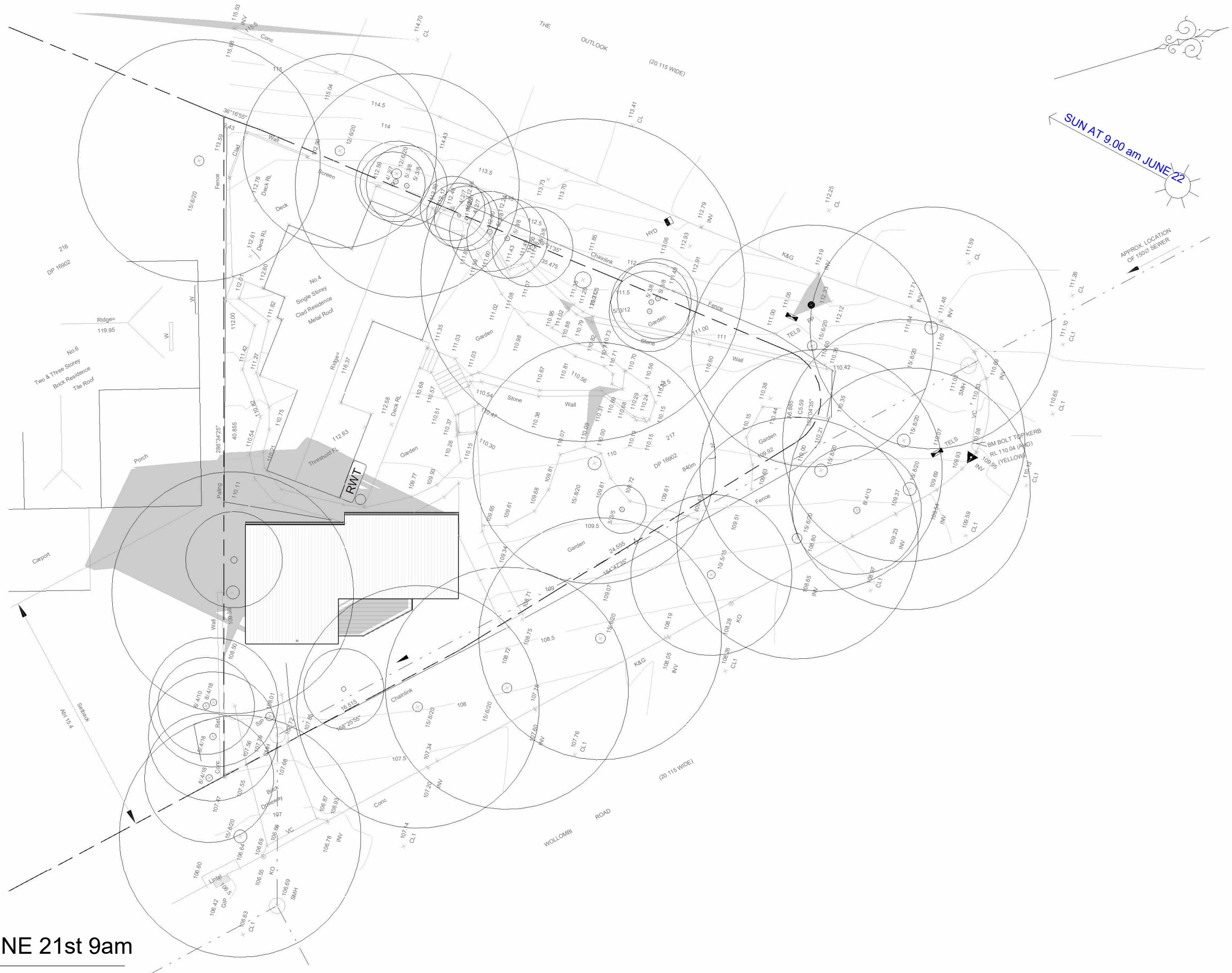
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LS	10/01/25	F	ISSUE FOR DA

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client	WADE ORTH

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	drawing DEMOLITION PLAN	project no 24-47
date 05/08/24	sheet no. DA 3	scale @ A3 1 : 200
issue F	checked ?	



1

SHADOW DIAGRAM JUNE 21st 9am

1 : 250

GENERAL NOTES

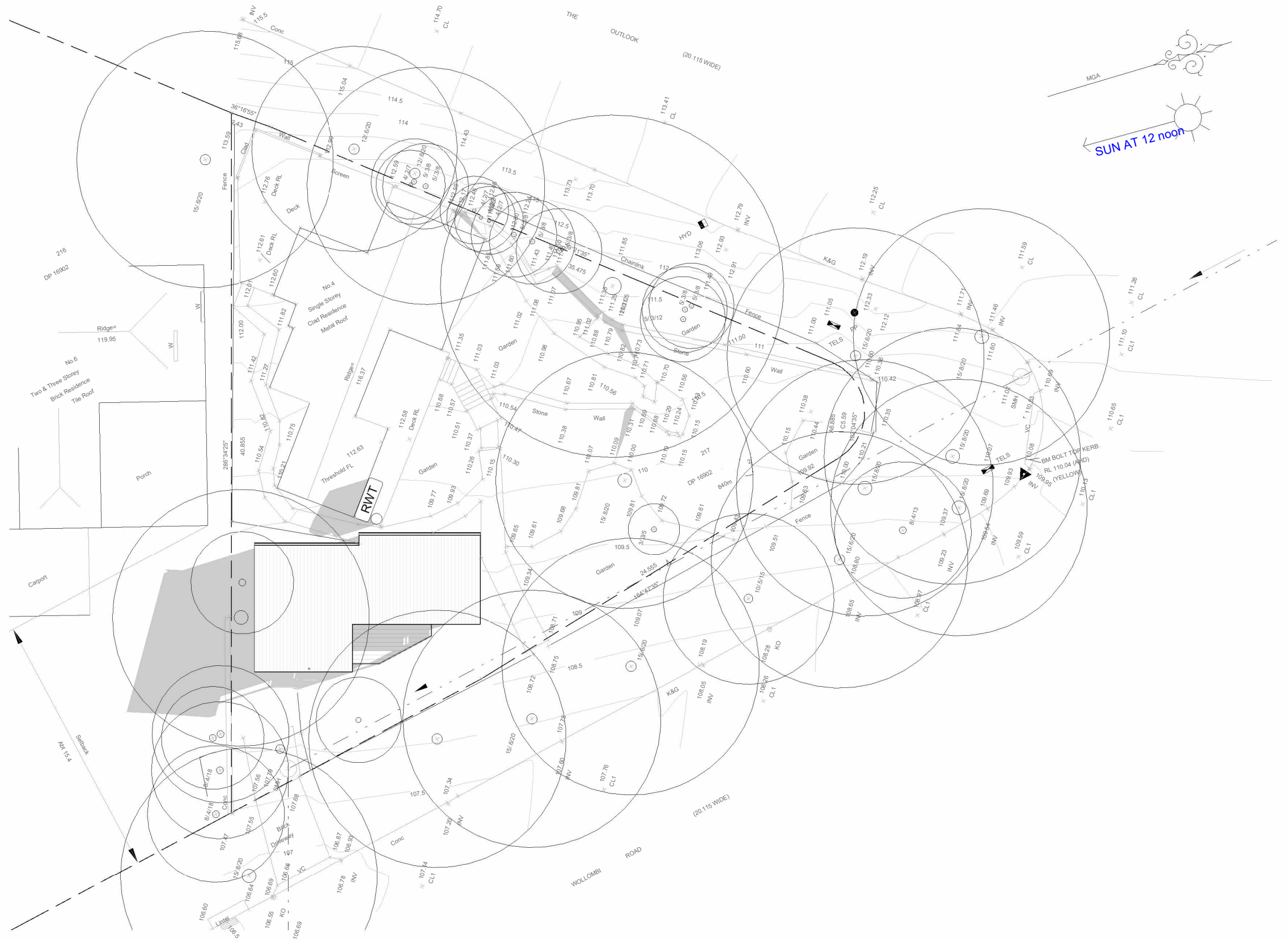
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- . Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
- . All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.
- . All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

drawn	date	issue	description
LS	10/01/25	F	ISSUE FOR DA

project PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902	
client WADE ORTH	

6/7 Parkes Street, Parramatta NSW 2150 www.rkdesigns.com.au admin@rkdesigns.com.au 02 9633 4797 abn. 68 659 200 389 spaces designed for life													
true north drawing SHADOW DIAGRAM JUNE 21st 9am	<table border="1"> <tr> <th>project no</th> <th>date</th> <th>sheet no.</th> <th>scale @ A3</th> <th>issue</th> <th>checked</th> </tr> <tr> <td>24-47</td> <td>05/08/24</td> <td>.1 of 3</td> <td>1 : 250</td> <td>F</td> <td>?</td> </tr> </table>	project no	date	sheet no.	scale @ A3	issue	checked	24-47	05/08/24	.1 of 3	1 : 250	F	?
project no	date	sheet no.	scale @ A3	issue	checked								
24-47	05/08/24	.1 of 3	1 : 250	F	?								





1 SHADOW DIAGRAM JUNE 21st 12pm
1 : 250

GENERAL NOTES

- All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.
- No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
- No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.
- In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.
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drawn	date	issue	description
LS	10/01/25	F	ISSUE FOR DA

project	PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902				
client	WADE ORTH				
true north	drawing				
	SHADOW DIAGRAM JUNE 21st 12pm				
project no	date	sheet no.	scale @ A3	issue	checked
24-47	05/08/24	.2 of 3	1 : 250	F	?

bdca
ACCREDITED
BUILDING DESIGNER

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1

SHADOW DIAGRAM JUNE 21st 3pm


1 : 250

GENERAL NOTES

- . All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.
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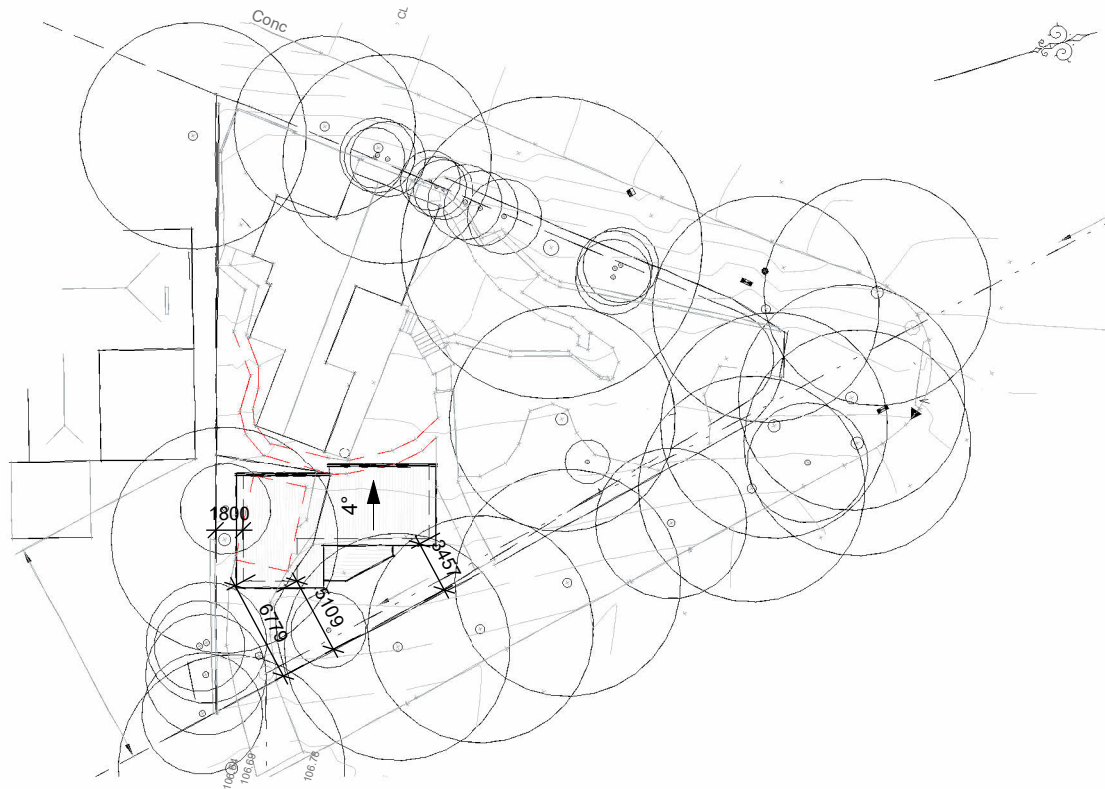
drawn	date	issue	description
LS	10/01/25	F	ISSUE FOR DA

project		PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902	
client		WADE ORTH	
project no	date	sheet no.	scale @ A3
24-47	05/08/24	.3 of 3	1 : 250
issue	checked		
F	?		

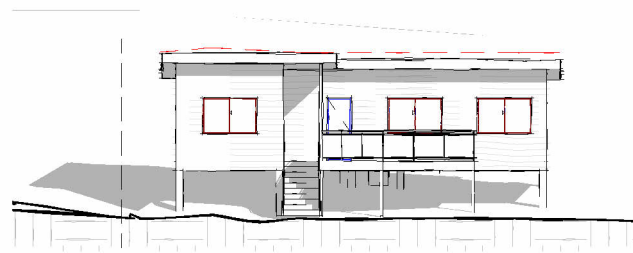


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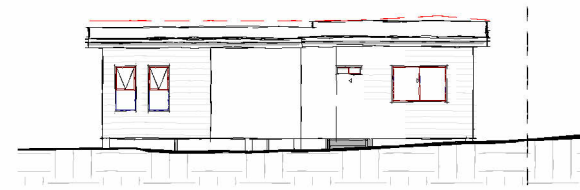




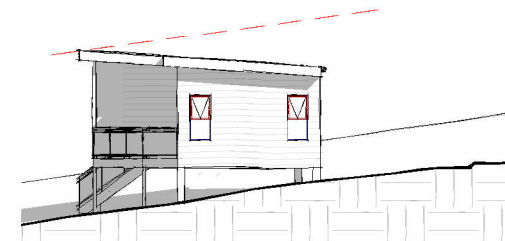
1 SITE AND ROOF PLAN.
1 : 500



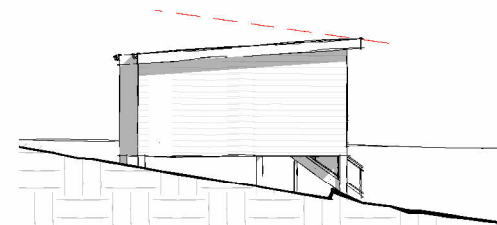
2 EAST ELEVATION.
1 : 250



3 WEST ELEVATION.
1 : 250



4 NORTH ELEVATION.
1 : 250



5 SOUTH ELEVATION.
1 : 250

project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902



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client
 WADE ORTH

true north drawing
 NOTIFICATION PLAN



project no	date	sheet no.	scale @ A4	issue	checked
24-47	05/08/24	DA 2	As indicated	F	?

