

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A350446

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 11, June 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0911

LOT 29 SEC 23 DP 758044



Description of project

Project address	
Project name	12 Dobroyd
Street address	12 Dobroyd Road Balgowlah Heights 2093
Local Government Area	Manly Council
Plan type and number	Deposited Plan 758044
Lot number	28
Section number	23
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	MRW DESIGN
ABN (if applicable):	55141479030

BASIX Certificate number: A350446

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Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
external wall: other/undecided	R1.70 (including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	

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Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

LEGEND

FSR

FSR Calculation:
Existing:
178.53/581.10 =31%

Proposed:
Lower Ground 40.67
Ground Floor 137.32
First Floor 74.7
253.09/581.1 0.435



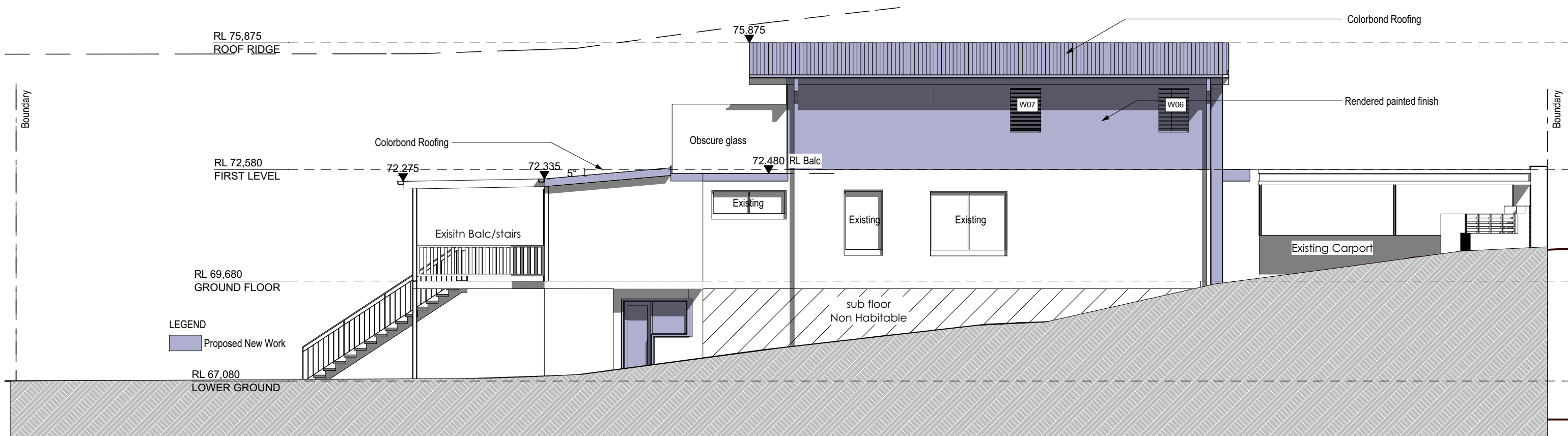
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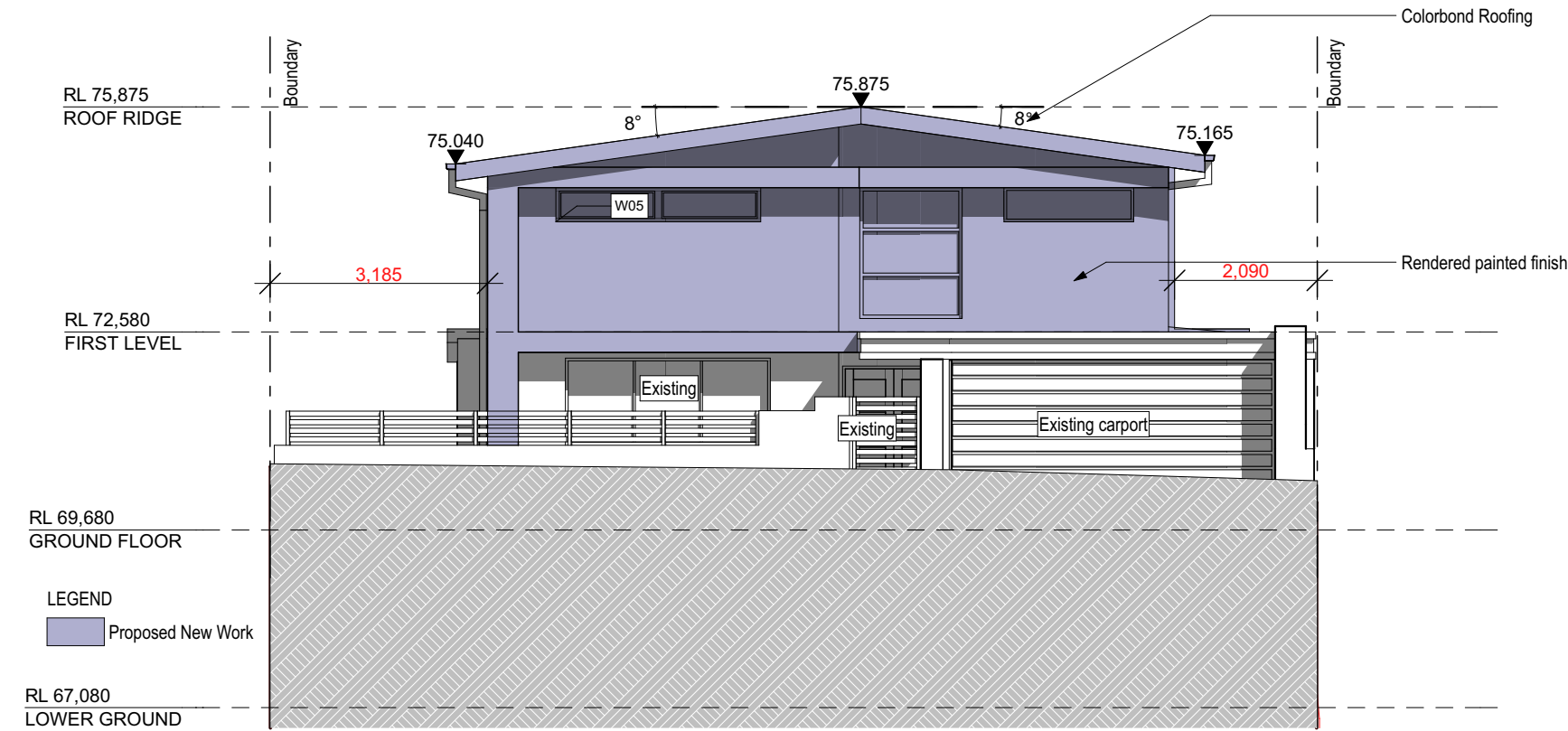


1:100 East Elevation



1:100 West Elevation

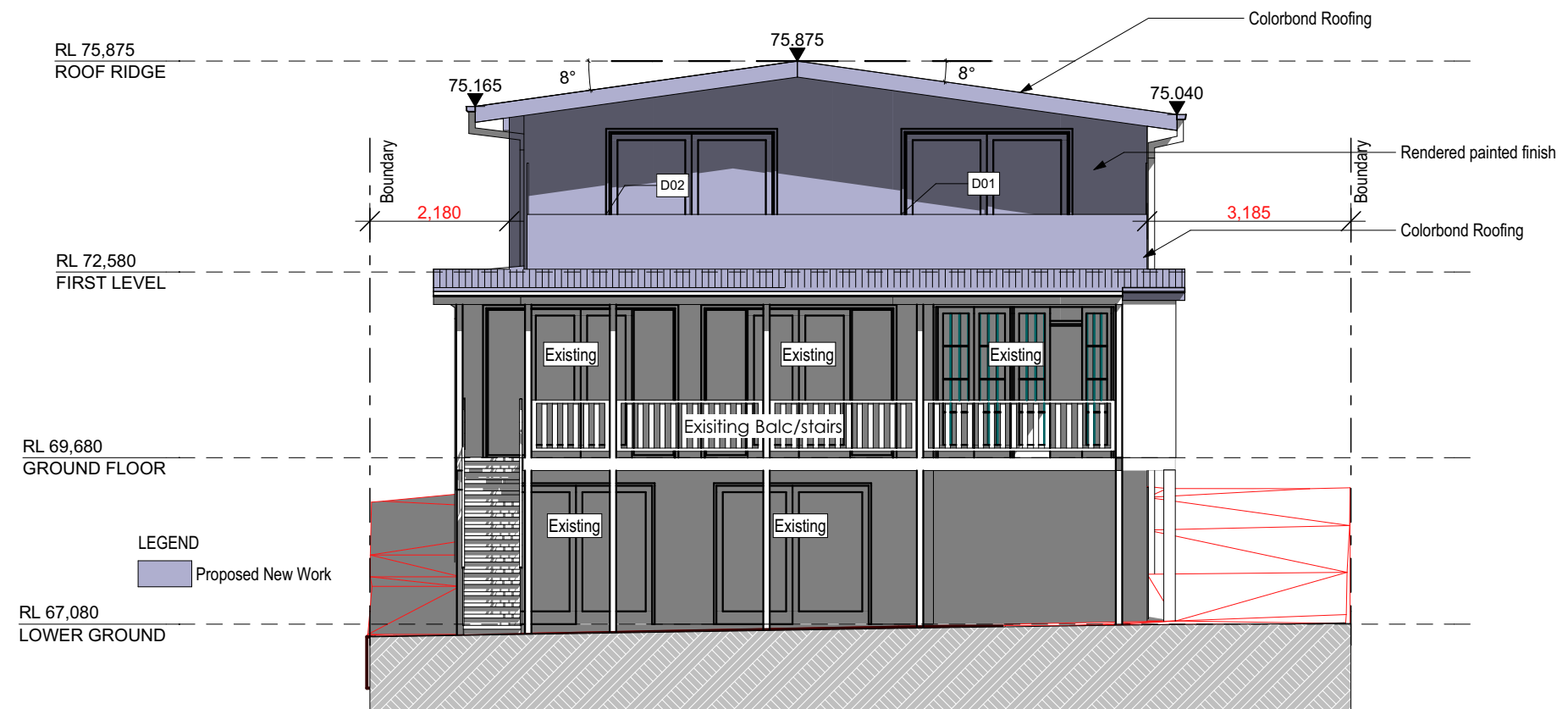
this drawing is COPYRIGHT and is the property of MRW DESIGN and may not be used or copied in whole or in part without written consent	Rev	Date	Amendment	 <div>52 MINKARA ROAD BAYVIEW 2104 0488586859</div>	client Terry & Kay Reynolds project Alteration & Addition of 12 Dobroyd Road Balgowlah Heights title ELEVATIONS	scale 1:100@A3	drawing number 05 issue A plotted 22-Aug-19 2:44 PM
						drawn MW	
						date 22-Aug-19	
	VERIFY ALL DIMENSIONS ONSITE					job no. 118	




1:100 South Elevation

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1:100 North Elevation

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						drawn MW	
						date 26-Jul-19	
						job no. 118	
VERIFY ALL DIMENSIONS ONSITE							plotted 26-Jul-19 12:45 PM

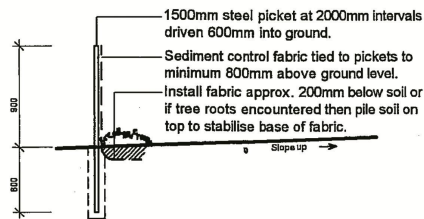


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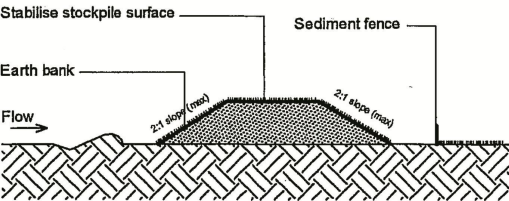
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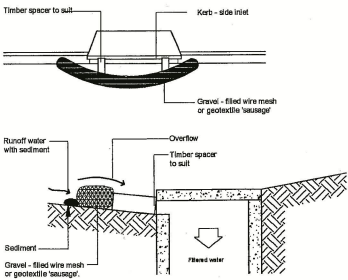
Detail 1
Sedimentation control fence



Detail 2
Soil stockpile detail n.t.s.

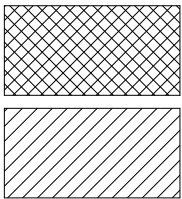
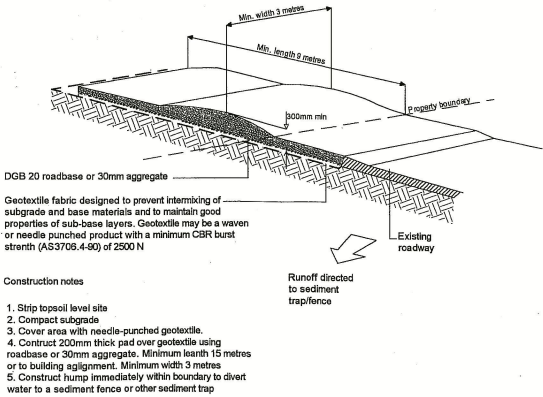


Detail 3
Mesh & gravel inlet filter




Detail 4

Construction site



Hay Bales
Material Stockpiling Area
Sediment Control Fence

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						drawn MW	
						date 23-Jul-19	
						job no. 118	
			VERIFY ALL DIMENSIONS ONSITE				

52 MINKARA
ROAD BAYVIEW 2104
0488586859

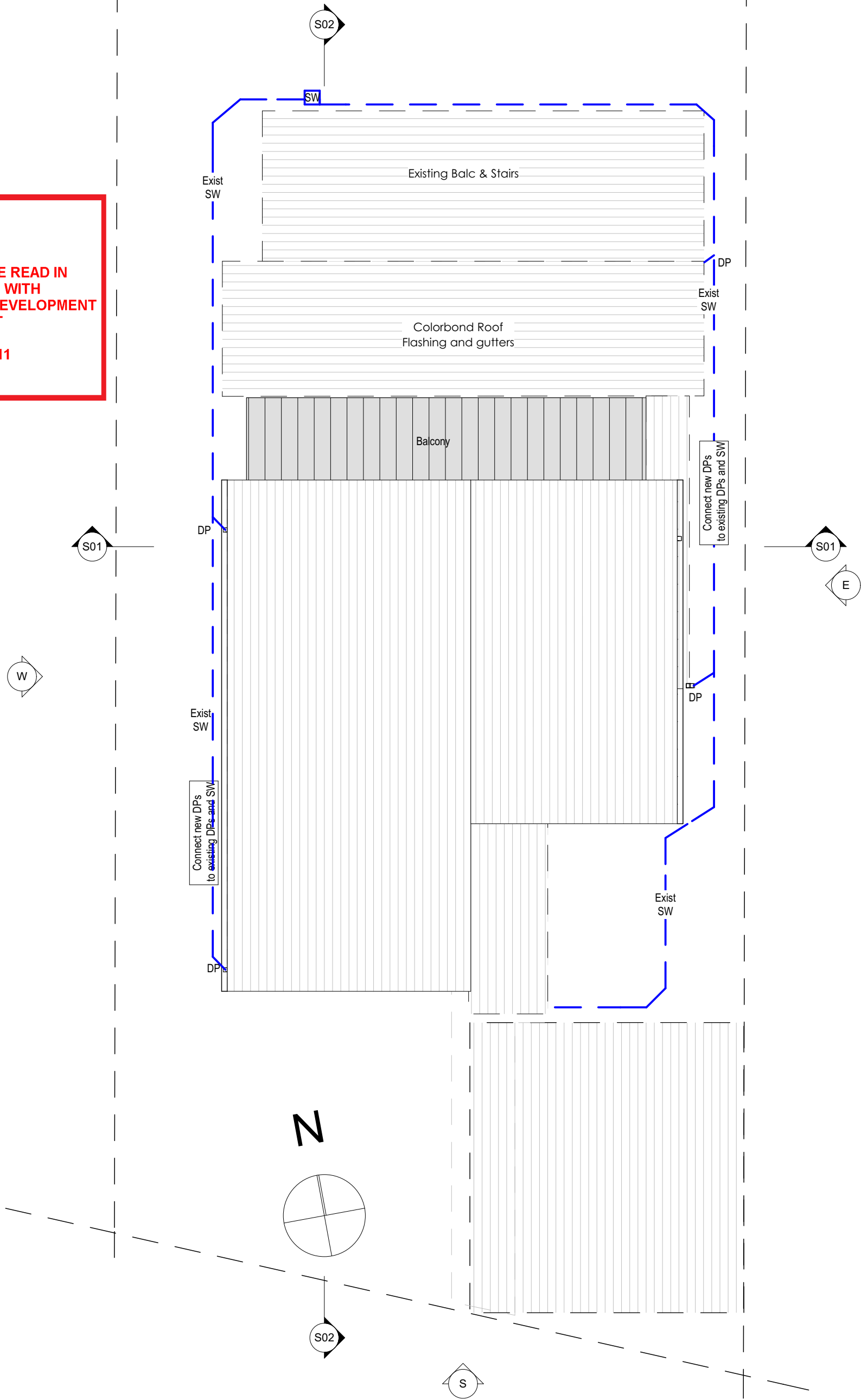
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					project Alteration & Addition of 12 Dobroyd Road Balgowlah Heights	drawn MW	
						date 22-Aug-19	
	VERIFY ALL DIMENSIONS ONSITE				title STORMWATER	job no. 118	issue A