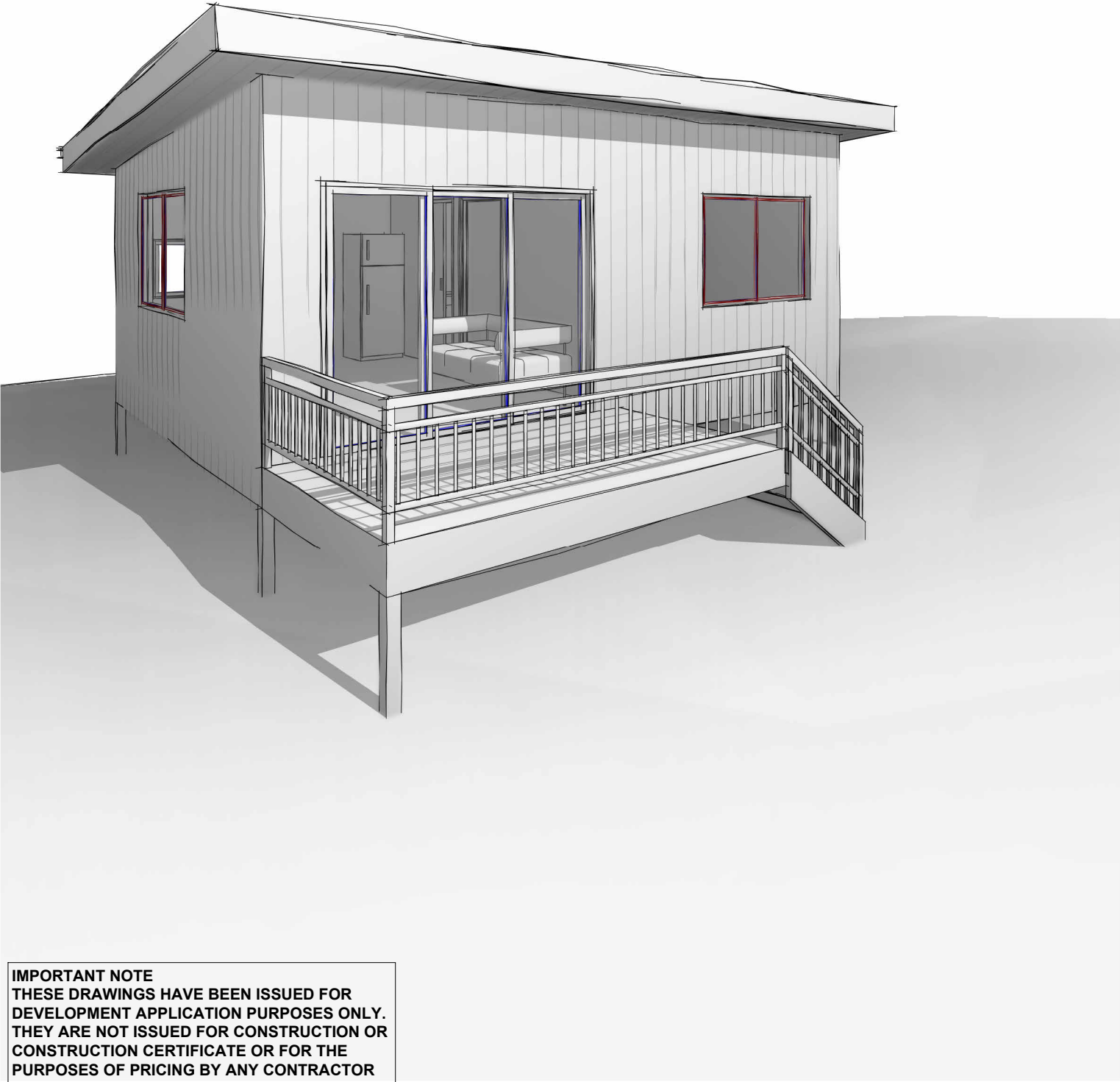


ADDRESS 66 BARRENJOEY ROAD MONA VALE

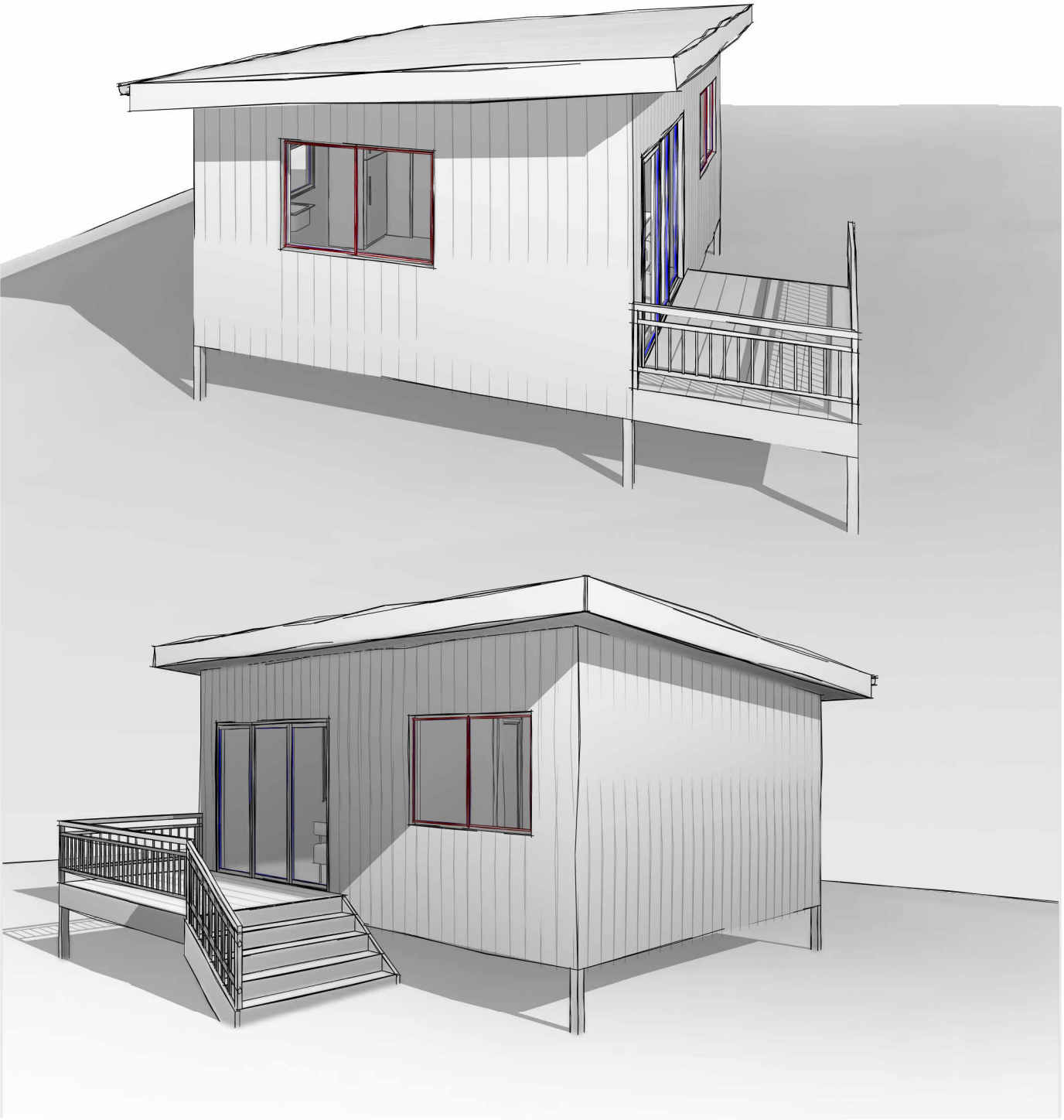
RESIDENCE

SHEET LIST (A)

SHEET NUMBER	SHEET NAME	ISSUE
A 0	COVER PAGE	C
A 1	NOTES	C
A 2	SITE AND ROOF PLAN	C
A 3	GROUND FLOOR PLAN	C
A 4	ELEVATIONS AND SECTION	C
A 5	AREA CALCULATIONS	C
A 6	BASIX COMMITMENTS	C



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LS	20/01/25	C	ISSUE FOR DA

project

PROPOSED CONSTRUCTION OF A STUDIO AT 66  
BARRENJOEY ROAD MONA VALE NSW 2103 LOT 6/F/DP7236

client

LINDA AND GARY CALVERT

 Bungalow Homes

drawing	COVER PAGE	project no	date	sheet no.	scale @ A3	issue	checked
		24-80	18/11/24	A 0		C	?



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ALL ASPECTS OF CONSTRUCTION ARE TO COMPLY WITH THE APPLICABLE PERFORMANCE REQUIREMENTS OF THE NCC 2022 AND THE HOUSING PROVISIONS

NO SURVEY HAS BEEN MADE ON THE BOUNDARIES, ALL BEARINGS,  
DISTANCES AND AREAS HAVE BEEN TAKEN FROM THE CONTOUR  
SURVEY PLAN. A SURVEY MUST BE CARRIED OUT TO CONFIRM THE  
EXACT BOUNDARY LOCATIONS

IN THE EVENT OF ENCOUNTERING ANY DISCREPANCIES ON THESE  
DRAWINGS, SPECIFICATION OR SUBSEQUENT INSTRUCTIONS  
ISSUED, THE BUILDER/SUBCONTRACTOR SHALL CONTACT THE  
DESIGNER BEFORE PROCEEDING FURTHER WITH ANY WORK

MEASUREMENTS FOR THE FABRICATION OF SECONDARY COMPONENTS SUCH AS, WINDOWS, DOORS, INTERNAL FRAMES, STRUCTURAL STEEL COMPONENTS AND THE LIKE, ARE NOT TO BE TAKEN FROM THESE DOCUMENTS. MEASUREMENTS MUST BE TAKEN ON SITE TO SUIT THE WORK AS CONSTRUCTED

ALL EXISTING STRUCTURES NEED TO BE EXAMINED FOR STRUCTURAL ADEQUACY, AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT A CERTIFICATE OF STRUCTURAL ADEQUACY IS AVAILABLE PRIOR TO THE START OF ANY WORK

FINISHED FLOOR LEVELS MAY VARY (+/- 50MM) FROM THOSE  
INDICATED  
ON PLAN, DUE TO SITE CLEARING, DEMOLITION, CONTOUR  
INCONSISTENCIES ETC

ANY STRUCTURE SHOWN AS EXEMPT DEVELOPMENT IS TO BE  
WORKED OUT ON SITE, CONTRACTOR TO ENSURE THE  
CONSTRUCTION IS DONE IN ACCORDANCE TO THE EXEMPT  
DEVELOPMENT CONTROLS IN FULL PRIOR TO CONSTRUCTING

TERMITE MANAGEMENT MUST BE CARRIED OUT IN ACCORDANCE WITH NCC 2022 PART 3.4 OF THE HOUSING PROVISIONS AND THE RELEVANT GUIDELINES SETOUT IN THE AUSTRALIAN STANDARDS AS3660.1 TERMITE MANAGEMENT

BULKHEADS TO BE INSTALLED IN ACCORDANCE WITH RELEVANT  
NCC REQUIREMENTS. LOCATIONS OF BULKHEADS TO BE  
CONFIRMED ON SITE BY THE BUILDER ON SITE

CONTRACTOR IS TO ENSURE THAT ANY SHARED WALLS ARE FIRE RATED IN ACCORDANCE WITH CLAUSE 9.3.1 OF THE HOUSING PROVISIONS 2022, HAVE NO PENETRATIONS AND A SOUND SEPARATION AS PER CLAUSE 10.7.1 OF THE HOUSING PROVISIONS 2022

IF AIR CONDITIONING IS TO BE PROVIDED, ALLOW FOR THE AIR CONDITIONING TO BE CONCEALED IN THE CEILING, THE ROOF AND IN DUCTS. AIR CONDITIONING IS TO BE AS PER THE AIR CONDITIONING CONSULTANTS DETAILS AND THE BASIX CERTIFICATE REQUIREMENTS

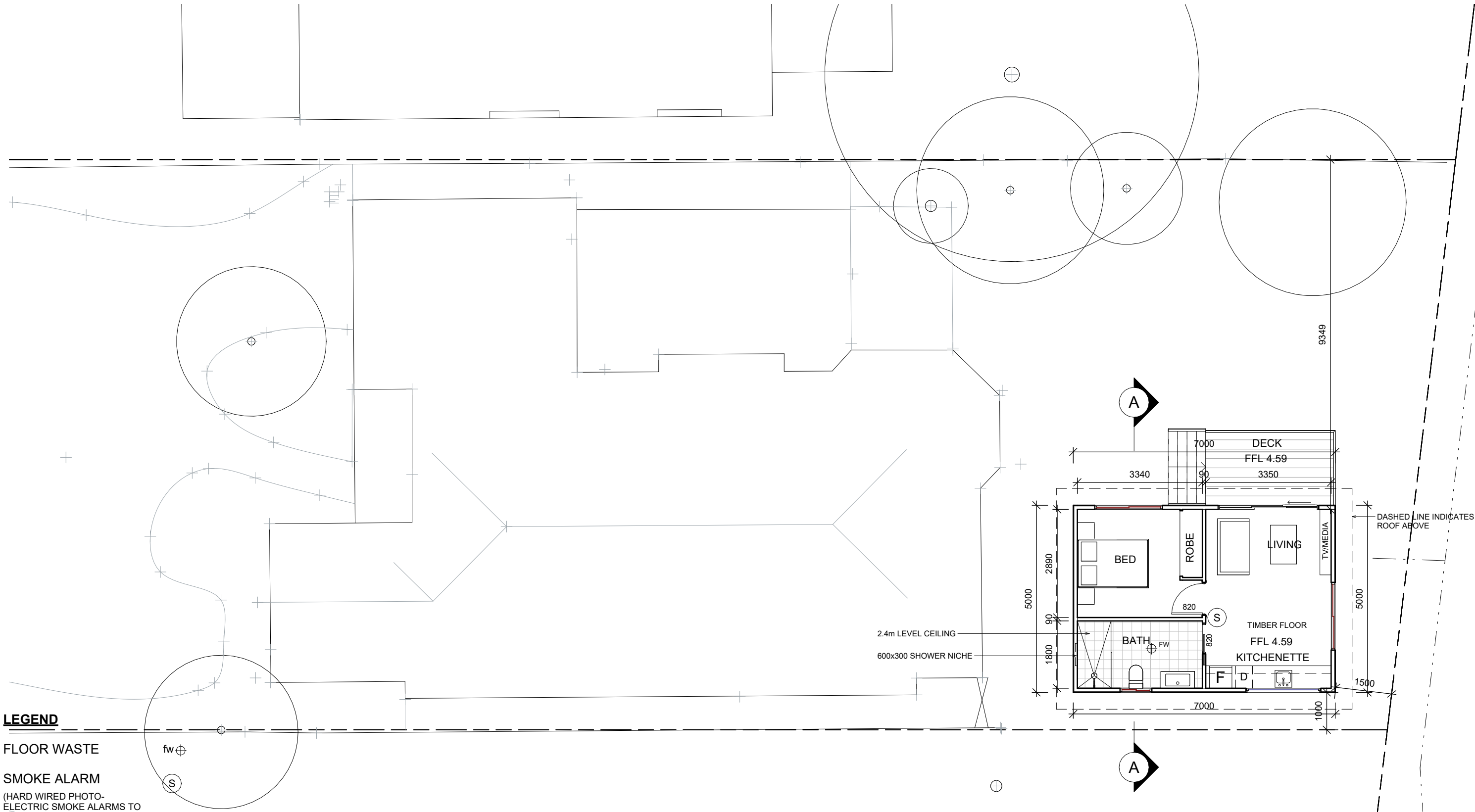
THE CONTRACTOR MUST ALLOW FOR ALL LABOUR AND MATERIALS NECESSARY FOR THE SUPPLY AND INSTALLATION OF ALL WINDOWS AND DOORS INDICATED THROUGHOUT THE PROPOSED BUILDING. HE MUST ALSO ALLOW FOR THE PREPARATION OF A DETAILED WINDOW AND DOOR SCHEDULE THAT PROVIDES DETAIL INFORMATION AS TO THE TYPE, NUMBER AND CONFIGURATION OF EACH AND EVERY DOOR AND WINDOW FOR THE APPROVAL OF THE OWNERS BEFORE ORDERING AND OF THE DOORS AND WINDOWS. THIS DETAIL SCHEDULE IS NOT PART OF THE CONSTRUCTION CERTIFICATE DOCUMENTATION AND MUST BE ALLOWED FOR BY THE CONTRACTOR IN THE TENDER PRICE. ALL WINDOW AND DOOR DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO ORDERING THESE ITEMS

CONTRACTOR MUST ENSURE THAT THE ACCESS LIFT COMPLIES WITH THE REQUIREMENTS OF AS1735.12. THE LIFT SHAFT IS TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE MANUFACTURERS AND STRUCTURAL ENG DETAIL. THE CONTRACTOR MUST LIAISE WITH THE LIFT MANUFACTURERS AND ALLOW FOR THE ITEMS TO BE PROVIDED BY OTHER CONTRACTORS AS REQUIRED IN THE "WORK BY OTHERS" THE LIFT SHAFT AND PIT ARE TO BE WATERPROOFED AS PER THE ARCHITECTURAL SPECIFICATION AND MANUFACTURERS REQUIREMENTS

<div>GENERAL NOTES</div> <div><div><div>No dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Designer before commencement of any work.</div><div>No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.</div><div>No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.</div><div>In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.</div><div>All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.</div><div>Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.</div><div>All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.</div><div>All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.</div></div></div>	<table><tr><th>drawn</th><th>date</th><th>issue</th><th>description</th></tr><tr><td>LS</td><td>18/11/24</td><td>A</td><td>ISSUE FOR DA</td></tr><tr><td>LS</td><td>29/11/29</td><td>B</td><td>ISSUE FOR DA</td></tr><tr><td>LS</td><td>20/01/25</td><td>C</td><td>ISSUE FOR DA</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>	drawn	date	issue	description	LS	18/11/24	A	ISSUE FOR DA	LS	29/11/29	B	ISSUE FOR DA	LS	20/01/25	C	ISSUE FOR DA																									<table><tr><td colspan="2">project</td><td colspan="2" rowspan="2"><div><div><div><div>bdaa</div><div>ACCREDITED</div><div>BUILDING DESIGNER</div></div></div><div><div>6/7 Parkes Street, Parramatta NSW 2150 www.rkdesigns.com.au admin@rkdesigns.com.au 02 9633 4797 abn. 68 659 200 389</div><div>spaces designed for life</div></div></div></td></tr><tr><td colspan="2">PROPOSED CONSTRUCTION OF A STUDIO AT 66 BARRENJOEY ROAD MONA VALE NSW 2103 LOT 6/F/DP7236</td></tr></table>	project		<div><div><div><div>bdaa</div><div>ACCREDITED</div><div>BUILDING DESIGNER</div></div></div><div><div>6/7 Parkes Street, Parramatta NSW 2150 www.rkdesigns.com.au admin@rkdesigns.com.au 02 9633 4797 abn. 68 659 200 389</div><div>spaces designed for life</div></div></div>		PROPOSED CONSTRUCTION OF A STUDIO AT 66 BARRENJOEY ROAD MONA VALE NSW 2103 LOT 6/F/DP7236		<table><tr><td colspan="2">client</td><td>true north</td><td colspan="4">drawing</td></tr><tr><td colspan="2">LINDA AND GARY CALVERT</td><td></td><td colspan="4">NOTES</td></tr><tr><td rowspan="2"><div><div><div><div></div><div></div><div></div></div><div>Bungalow Homes</div></div></div></td><td>project no</td><td>date</td><td>sheet no.</td><td>scale @ A3</td><td>issue</td><td>checked</td></tr><tr><td>24-80</td><td>18/11/24</td><td>A 1</td><td></td><td>C</td><td>?</td></tr></table>	client		true north	drawing				LINDA AND GARY CALVERT			NOTES				<div><div><div><div></div><div></div><div></div></div><div>Bungalow Homes</div></div></div>	project no	date	sheet no.	scale @ A3	issue	checked	24-80	18/11/24	A 1		C	?	<div><div>RK</div><div>DESIGNS</div></div>
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### LEGEND

FLOOR WASTE

SMOKE ALARM

(HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED AS PER CLAUSE 9.5.4 OF THE HOUSING PROVISIONS 2022 & AS 3786)

PRELIMINARY  
DO NOT USE FOR CONSTRUCTION

1

## GROUND FLOOR PLAN

1 : 100

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project  
**PROPOSED CONSTRUCTION OF A STUDIO AT 66  
BARRENJOEY ROAD MONA VALE NSW 2103 LOT 6/F/DP7236**

client  
**LINDA AND GARY CALVERT**



true north



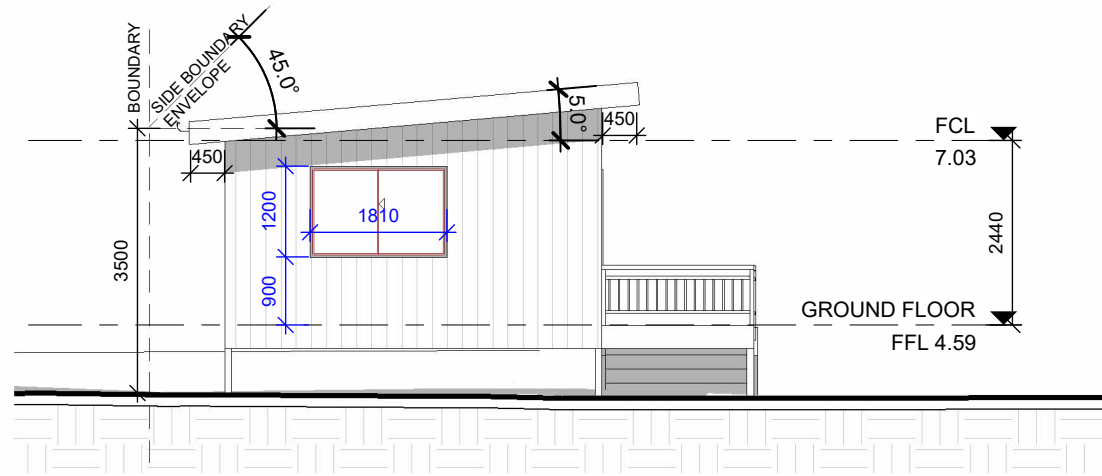
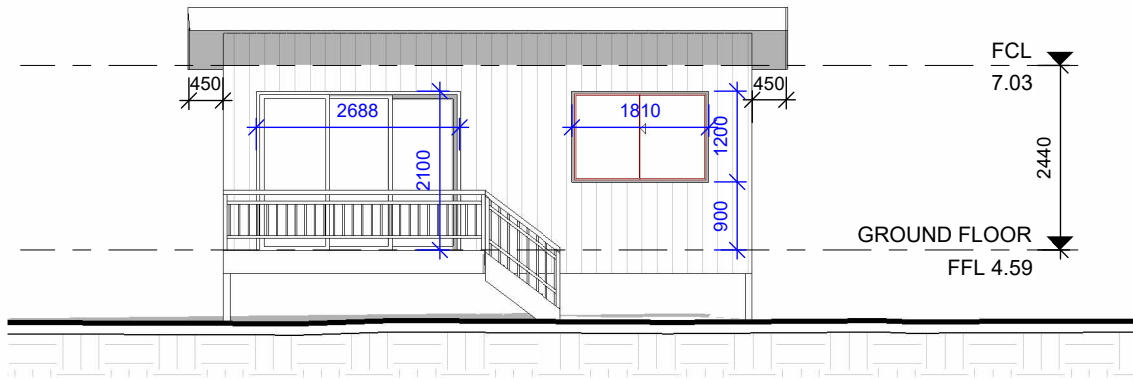
drawing  
**GROUND FLOOR PLAN**

project no	date	sheet no.	scale @ A3	issue	checked
24-80	18/11/24	A 3	1 : 100	C	?

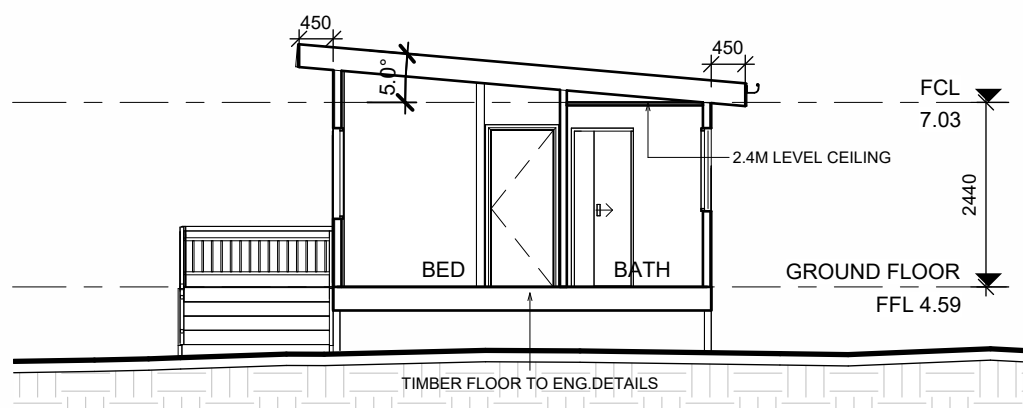


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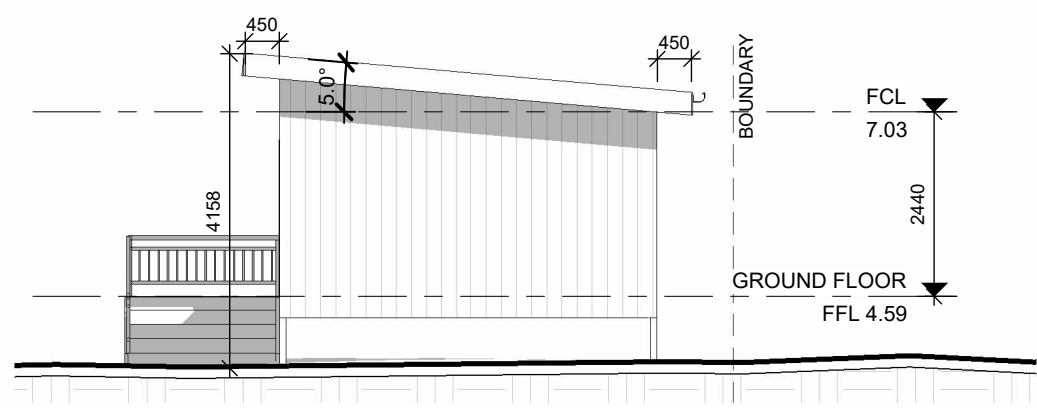
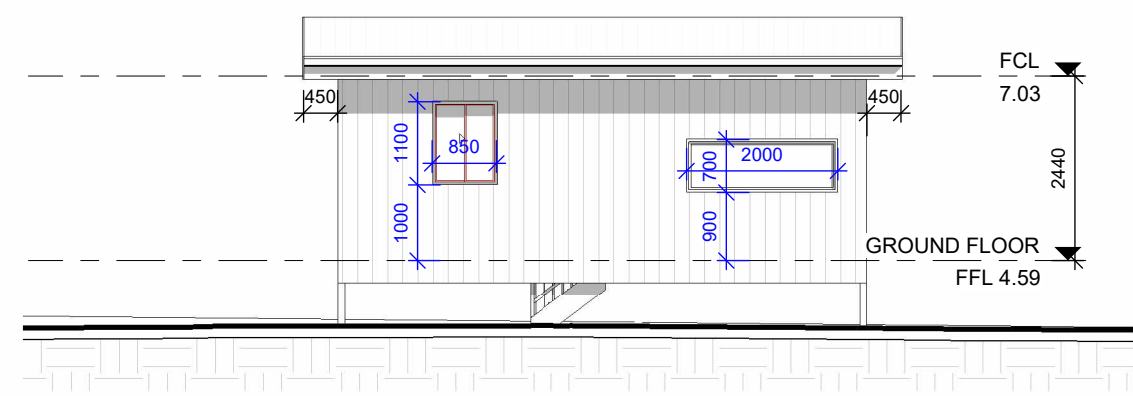
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DESIGNS**



5 SECTION A-A  
1 : 100



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client

LINDA AND GARY CALVERT




true north


drawing

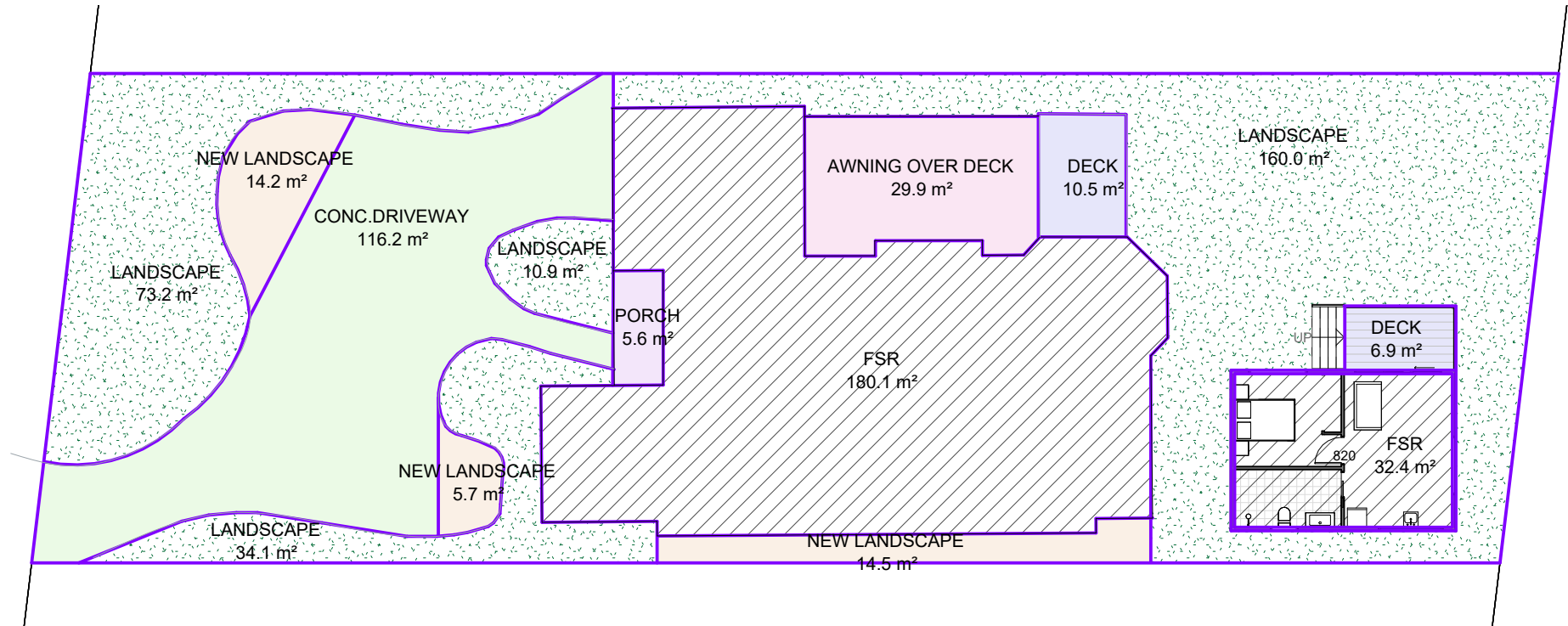
ELEVATIONS AND SECTION

project no	date	sheet no.	scale @ A3	issue	checked
24-80	18/11/24	A 4	1 : 100	C	?

  
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1 GROUND FLOOR  
1 : 200

SITE AREA = 696.7 SQM

MINIMUM REQUIRED LANDSCAPED AREA = 50% WITH A MINIMUM 1M WIDTH

MINIMUM REQUIRED LANDSCAPED AREA = 348.35 SQM

PROPOSED LANDSCAPED AREA = 312.6SQM

6% OF THE TOTAL SITE AREA MAY BE PROVIDED AS LANDSCAPED AS PER D9.10 OF MONA VALE LOCALITY WITHIN AREA 3

6% OF TOTAL SITE = 41.80 SQM

TOTAL PROPOSED LANDSCAPED AREA = 354.4SQM

THEREFORE, THE PROPOSAL COMPLIES WITH PDCP

AREA CALCULATIONS SCHEDULE

NAME	LEVEL	COUNT	TOTAL
AWNING OVER DECK	GROUND FLOOR	1	29.9 m²
AWNING OVER DECK: 1			29.9 m²
CONC.DRIVEWAY	GROUND FLOOR	1	116.2 m²
CONC.DRIVEWAY: 1			116.2 m²
DECK	GROUND FLOOR	2	17.4 m²
DECK: 2			17.4 m²
FSR	GROUND FLOOR	2	212.5 m²
FSR: 2			212.5 m²
LANDSCAPE	GROUND FLOOR	4	278.2 m²
LANDSCAPE: 4			278.2 m²
NEW LANDSCAPE	Not Placed	1	0.0 m²
NEW LANDSCAPE	GROUND FLOOR	3	34.4 m²
NEW LANDSCAPE: 4			34.4 m²
PORCH	GROUND FLOOR	1	5.6 m²
PORCH: 1			5.6 m²

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
PROPOSED CONSTRUCTION OF A STUDIO AT 66  
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client

LINDA AND GARY CALVERT




true north




drawing

AREA CALCULATIONS

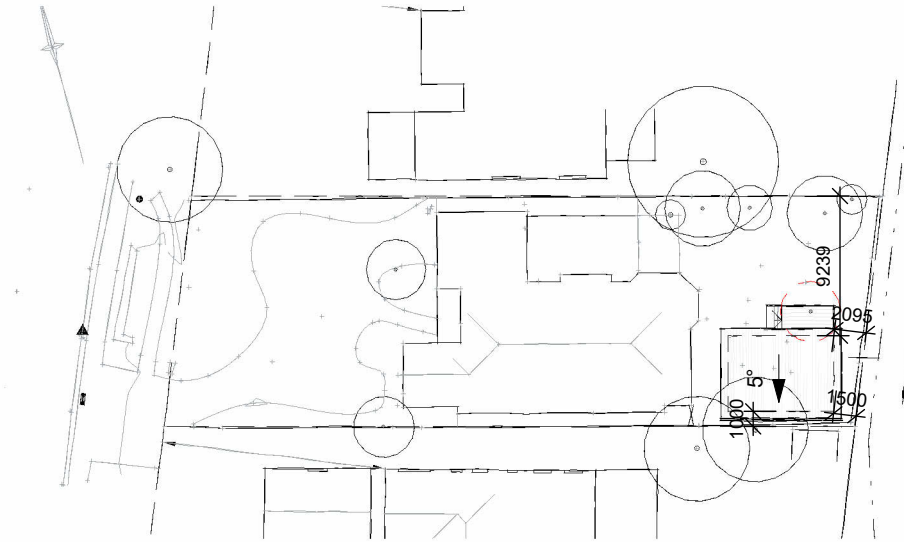
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24-80	18/11/24	A 5	1 : 200	C	?

  
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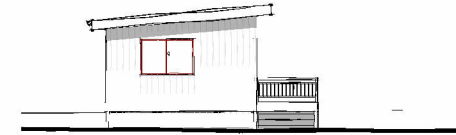




1 SITE AND ROOF PLAN .  
1 : 500



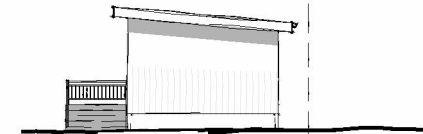
2 NORTH ELEVATION .  
1 : 250



3 EAST ELEVATION .  
1 : 250



4 SOUTH ELEVATION .  
1 : 250



5 WEST ELEVATION .  
1 : 250

project  
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LINDA AND GARY CALVERT



true north



drawing  
NOTIFICATION PLAN

project no 24-80	date 18/11/24	sheet no. 3	scale @ A4 As indicated	issue C	checked ?
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**RK**  
DESIGNS



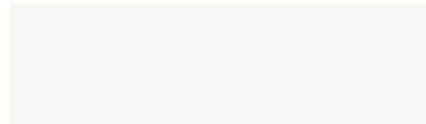


17/02/2025

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE  
CONSTRUCTION OF A STUDIO AT 66 BARRENJOEY ROAD MONA VALE**

**EXTERNAL WALLS**

Finish	<b>Paint Finish</b>
Manufacturer	<b>Dulux</b>
Colour	<b>Vivid white</b>



**ROOF**

Manufacturer	<b>Colorbond</b>
Colour	<b>Pale Eucalypt</b>
Finish	<b>Metal Finish</b>



**Fascia and gutter**

Manufacturer	<b>Colorbond</b>
Colour	<b>Wilderness</b>
Finish	<b>Metal Finish</b>



**DOOR TRIMS/ WINDOW TRIMS**

Manufacturer	<b>Colorbond</b>
Colour	<b>Vivit White</b>
Finish	<b>Paint Finish</b>

