



**Statement of Environmental Effects**  
**at**  
**157 Plateau Road**  
**Bilgola Plateau, NSW 2107**  
**For**  
**Richard & Nicole Mangano**

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LOVETT DESIGNS

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# 1 INTRODUCTION

This statement Of Environmental Effects accompanies the development application for the proposed alterations and additions at 157 Plateau Road in Bilgola Plateau.

This statement seeks to express that the proposal complies with council's ordinances and has compliance with the Council's objectives.

In formulating this Development Application careful consideration has been given to the sensitivity of the site, its relationship with surrounding properties, and the unique character of the streetscape and the nature of the surrounding area.

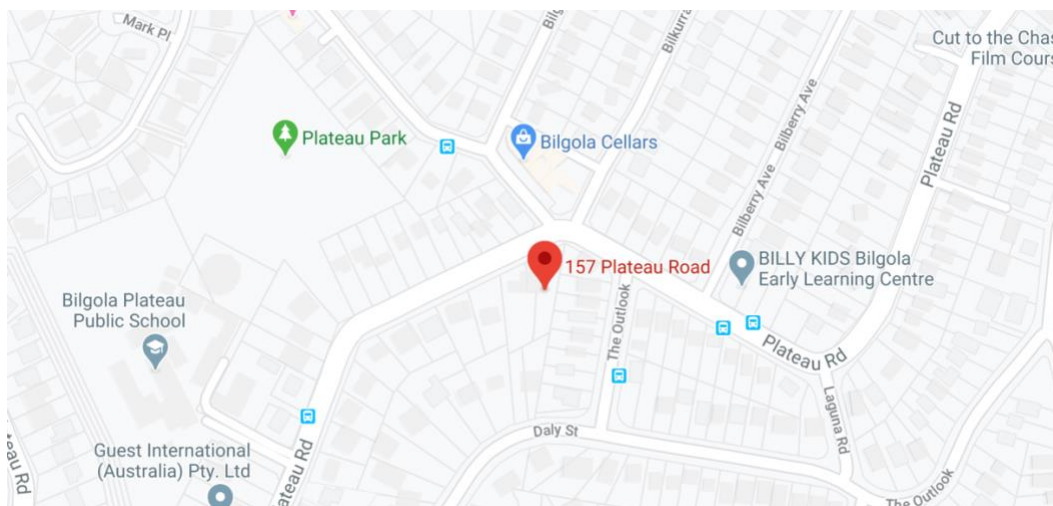
## 2 THE EXISTING BUILDING

### 2.1 Site

The residence is located on the Southern side of Plateau Road in the residential neighbourhood of Bilgola Plateau.

Site Address: No 58 Woorarra Avenue, North Narrabeen

### LOCATION PLAN



### 2.2 Local Authority

The local authority for this site is:

Northern Beaches Council

Avalon Customer Service Centre, 59A Old Barrenjoey Road,

Avalon NSW 2107

Telephone: 1300 434 434

### 2.3 Zoning

Lot 121 DP. 843981 Known as 157 Plateau Road, Bilgola Plateau, has a Zoning of E4 Environmental Living. This property does not fall within a Conservation Area.

### 2.4 Planning Controls

Planning controls used for the assessment of this Development Application are:

Pittwater Local Environmental Plan 2014

Pittwater Development Control Plan 2015

## 2.5 Context and Streetscape

The house is situated in a street that is characterised by large old gums overhanging the road and period homes. The Street presents as a typical garden suburb characterised by large mature gum trees and smaller trees. A mixture of brick and timber fences line the road with thick hedges that represent property fencing set back from the pedestrian walkway that stretches the length of the street.

Properties in the street have a mix of trees and small shrubs. The Property is part of an existing dwelling that have been subdivided since 2011 making it a single dwelling with a large carport. The existing carport is located back from the property boundary surrounded by manicured landscaping. The houses in the street vary in size between one to two stories with large off-street garages. Existing houses are from varying periods with a mix of period homes & architectural style housing.

The locality is an E4 environmental area. An important characteristic and element of Bilgola Plateau is the thick bushland in which the houses sit, and the views achieved over the peninsula

## 2.2 Existing Areas Of The Dwelling

The site has an existing one-story dwelling with a large carport to the North eastern side of the house. An existing deck sits of the back of the house which shares a common boundary wall due to its subdivision.

## 2.3 Existing Off-Street Parking

There is parking for 2 cars in the existing carport with room for multiple cars in its driveway. There is no necessity for street parking.

## 2.4 Existing Landscaping

The landscaping to the existing property consists of a large garden/turfed area behind a brick fence to the front (North) of the property with large eucalyptus small native plants bordering the front of the property. To the rear of the property (South) side a deck sits of the back of the house with stairs to a sloped grass lawn, medium sized trees and planter boxes lining the western fence line. The existing landscape to the rear of the property is to be altered to allow for a new deck and plunge pool area.

## 3. THE PROPOSAL

Visual character of the street will remain consistent with the local dwellings as maintaining the garden suburb. The existing carport will be demolished to make way for a new garage to safely secure the residents cars off-street. The appearance & bulk of the new garage is to be maintained to match the existing carport. The proposed garage is to be brought in from the existing boundary allowing access along the boundary fence line. A new deck will replace the existing tiled entrance to the front door. The North facade of the existing dwelling will not be

altered maintaining the consistent character of the street. A proposed plunge pool with an incorporated deck will replace the existing deck to the South of the property. This will sit comfortably within the proposed landscaping stepping with the slope of the block to ensure privacy between neighbouring properties. New access will be incorporated to the deck via two new doorways from the existing dwelling. New retaining and planting will be provided along the western fence line and to the rear of the proposed plunge pool, this will achieve a level lawn and retain the slope of the property.

The proposal is in sympathy with the existing residence maintaining the scale and character of the house and the garden suburb.

### 3.1 Features Of The Proposal

#### Externally the proposal encompasses

- New lightweight construction of the proposed garage
- New front entrance deck to replace existing dated tiles.
- New plunge pool with surrounding decks and privacy screening to rear of property
- 2 x new doorways to proposed deck of rear of property
- New retaining walls for pool and property
- New entrance to allow for access to under the existing dwelling due to new deck
- New brick partition wall to structurally suffice
- New landscaping to rear of dwelling
- 

Internally the proposal encompasses:

N/A

### 3.2 Present And Future Of The Residence

The present use of the residence is a single detached private dwelling on its own title and this will **NOT** change with the proposal

### 3.3 Purpose For The Additions

The new proposal provides better provision for entertainment, living and off-street parking areas for the residents while maintaining the bulk of the dwelling that sits comfortably in the Bilgola Plateau suburb. The owner is looking to provide a clean and maintained space to both sides of the property utilising the existing placement of both the parking and decked areas. Making the most of the unused spaces the design maximises the existing dwelling & available area of land while maintaining the bulk. The development enhances the North and South aspect improving street appearance, access and liveability, while improving the lifestyle for the resident as well as making the residence much more energy efficient and environmentally friendly

### 3.4 Materials & Finishes Proposed To Be Used

Materials proposed to be used externally, are new, weatherproof, durable and aesthetically pleasing, reflecting and fitting in general with the existing built environment and surrounding materials and reflecting the existing materials and design of the existing residence.

External materials and colours selected for finishing to new works are generally matching existing or sympathetic to the existing materials, comprising of:

- Off-form concrete to pool & slabs
- Alloy windows and doors to all elevations
- Roofing in sheet metal medium colour
- Timber - painted to match existing house
- Rendered brick walls to match the existing
- Solid stone retaining blocks to fit within the garden space
- Hardwood decking boards blackbutt or similar

### 3.5 Height

The height of the new development does not change, all new building works is under existing ridge line. Will not exceed the 8.5m height limit

### 3.6 Site controls

Proposed Development	Proposed	Allowable
Site Area	1177.0m <sup>2</sup>	-
GFA (Gross Floor Area)	186.8m <sup>2</sup>	-
Height	5.830m (Existing)	8.5m
Built upon area	437.37m <sup>2</sup>	470.8m <sup>2</sup>
Landscaping	739.63m <sup>2</sup>	706.2m <sup>2</sup>

Proposed Development	Proposed	Allowable
Front Setback	14.666m (Proposed garage)	6.5m
Rear Setback	16.737m (Proposed Pool)	6.5m
side setbacks	Shared built to boundary Western side / pool 1.340m (Shortest point) Proposed garage /1.881M House 3.6m (Eastern side)	1m, 2.5m

### **3.8 Access & Traffic**

Consideration has been given to pedestrian and vehicular access. The proposal shows that the existing access to 157 Plateau Road is to be maintained with the driveway staying the same for easy access to new garage. The proposed development will have no detrimental impact on traffic flow.

### **3.9 Privacy, views & Outlook**

The positioning of windows and open space in the proposed residence at No 157 Plateau Road has minimal impact on the visual and acoustic privacy of adjoining properties. The siting and design of the proposed addition minimises overlooking into neighbours' living areas and recreational space. The new Decked areas do not directly impact neighbouring properties.

### **3.10 Solar Access & Overshadowing**

The site slopes from the North to South. The location of the proposed additions has been carefully designed to maximise the northerly aspect with no impact on neighbours' properties. The bulk of the wall and roof shadowing will be existing with very minimal change to existing overshadowing.

### **3.11 Acoustic Privacy**

Acoustic privacy has been maintained across the development. With appropriate glazing to new doors on deck, partition wall to be constructed from brickwork and privacy screening blocking noise transition to neighbouring properties. The proposed garage will help keep sound to a minimum from neighbouring properties. The planting of new landscaping and small trees will also provide a sound barrier between properties. The development imposes minimal noise impact to neighbours.

### **3.12 Water Management**

Suitable water management measures have been used in this development. A rainwater tank will be utilised to catch water from the existing south roof. All existing storm water drainage will not change.

## **4 ENERGY EFFICIENCY**

Energy preservation has been taken into careful consideration to promote sustainable design.

### **4.1 Orientation**

The living spaces in the existing dwelling will not be disturbed thus allowing for maximum use of natural light. Southern sun has been encouraged to enter south facing wall to lower cost of external heating and lighting needs. The Proposed pool has been located to enable daily sunlight.

### **4.2 Passive Solar Heating**

New works will be constructed to match the existing to continue with high thermal mass materials to maximise the heating potential of the sun. Reducing the need of active systems for heating of living spaces.

### **4.3 passive cooling**

Appropriate positioning of new windows and sunshades have been designed to prevent the sun from entering the house during the summer months. Cross ventilation from new south facade windows will encourage adequate airflow. As per Basix certificate new aluminium windows and doors with appropriate glass as per aspect to assist with passive cooling.

### **4.4 Natural light**

New doors will allow large amounts of natural light within existing living spaces from south facing aspects.

### **4.5 Solar Collectors**

potential Provisions will be incorporated to allowed for PV panels in the future when needed.

### **4.6 Insulation & Thermal Mass**

The New garage will be constructed from concrete slab on ground with cladded timber framed construction for walls R1.70 (including construction) will be incorporated with R1.74 foil backed blanket under medium colour metal sheeting. South facing brickwork to be removed will be replaced with new brickwork too match existing. An off-form concrete plunge pool will be placed in backyard with walls subject to direct sunlight.

### **4.7 Waste Management**

This proposal will have minimal impact on waste disposal. Space for the temporary storage of waste, rubbish and recycling has been allowed within the space to the side of the driveway. Household effluent will be disposed of to Sydney Water requirements. During construction onsite sedimentary controls, including hay bales and filter barriers, will be used to prevent stormwater pollution. On site sorting of construction waste will ensure maximum recycling. This proposal promotes waste minimisation minimising impact where necessary.

### **4.8 Siting & Setback**

Plateau Road shows uniformity as most houses incorporate parking provisions within the principal dwelling, both on the high side and low side of the road as on street parking is tight due to double lines and school parking nearby. 157 Plateau Road is a good example of this. It has its car parking off street and garage space minimising cars parked on the street. The sitting of the house is relevant to the shape of the block and neighbouring properties. The new Garage to the front of the property follows this design concept. Keeping the landscaped areas both at the rear and front of the property while enhancing street appeal.

## 4.9 Development on Sloping Land

No. 157 Plateau Road, Bilgola Plateau is **NOT** shown in Landslip Category H1 or other on Northern Beaches council Landslip Map. The development will not impact on or affect the existing subsurface flow conditions due to redesign of backyard. See plan.

## 4.10 Building Form

Residential buildings in Bilgola Plateau are uniformly single to double storey and similar in bulk. They are similar in shape but remain individually designed. The new works have been designed to maintain the overall look of the building from & to create modern design that suits the area.

## 4.11 Roof Form

The existing house has a terracotta tile. The proposed plans will provide the detached garage with a medium coloured sheet metal roofing material to enable a lightweight construction for minimum impact to the land. The height/pitch of the proposed garage roof will match the existing pitch of the dwelling.

## 4.12 Walls

The proposal is to update the existing heavy look of brickwork and terracotta tiles with a lightweight construction to match other garage constructions along Plateau road.

## 4.13 Windows and doors

A vast variety of different shapes of windows and doors can be found in Bilgola Plateau area. These individualise each of the homes giving each unique character. Windows are typically rectangular in shape and are a mix of vertical and horizontal proportion. The proposed windows and doors at 157 Plateau Road are to be constructed in alloy. Care has been taken not to create privacy issues with neighbouring properties and avoid ample natural light and airflow for the owners.

## 4.14 Garages and Carports

The existing carport is to be moved away from the Eastern boundary line by an extra 1.0m allowing 2 car spaces within. Space is also provided to allow off street parking for 4 vehicles

## 4.15 Colour Scheme

The colour scheme of the proposed addition will be in sympathy with the period of the original house. please refer to Appendix A.1 for the colour scheme schedule

## 4.16 Fences and gates

Fences and gates are to be maintained for this development.

## 4.17 Garden Elements

The garden areas are to be maintained to the entrance of the property where possible promoting the concept of a garden suburb. To the Rear of the property new planting/ turfed areas see chosen trees (A.23) and retaining will be constructed to enable a pool and new deck area to sit within the scope of the proposed.

## 5 CONCLUSIONS

This proposal is considered suitable for the site and provides a balance between low density living, amenity and outdoor space. The proposed changes to 157 Plateau Road are sympathetic and consistent with the existing character of the surrounding streetscape and residential density of Bilgola Plateau. The proposed design solution provides a private residence that is both architecturally and environmentally responsive to the needs of the site and local community. Window orientation, natural daylight, new ventilation capabilities and privacy screening through natural planting combined with the new deck and pool area will greatly improve immediate and future amenity of this residence. The proposed garage will sit comfortably behind the setback requirements and provide minimal impact on the street scape. These factors work together to minimise the impact of the proposed development on adjoining properties and enhance the amenity of the surrounding area. We consider that the proposal will impose minimal impact and request that council support the Development Application.

## APPENDIX 1 - Schedules

### 6.1 Schedule of finishes

Schedule of Exterior Material, Finish and Colours

EXTERIOR ELEMENT	MATERIAL	FINISH	AS 20071996 COLOUR
6.1.1 Wall	Cladded weatherboards	Paint	By Owner
6.1.2 Gutter	Colorbond	Medium	By Owner
6.1.3 Posts	Timber	Paint	By Owner
6.1.4 Door Frame	Alloy	Paint	By Owner
6.1.5 Door	Alloy & Glass	Paint	By Owner
6.1.6 Window	Alloy & Glass	Paint	By Owner
6.1.7 Roofing	Colourbond	Medium	By Owner
6.1.8 Retaining walls	Concrete	By owner	By Owner
6.1.9 pool	Concrete	Off-form	By Owner
6.1.10 decking	Timber	Natural / clear finish	By Owner
6.1.11 garage floor	Concrete	Brush finish	By owner